

23718 W US HWY 27  
High Springs, Florida 32643



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**HIGH SPRINGS PLAN BOARD  
COMMISSION CHAMBER  
AGENDA**

**April 15, 2024**

**6:30 P.M.**

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<b>CALL BOARD TO ORDER:</b>	<b>CHAIR – BRAD RIDDLE</b>
<b>PLEDGE OF ALLEGIANCE:</b>	<b>VICE CHAIR – TIM BOLLIGER</b>
<b>ROLL CALL:</b>	<b>PLANNING TECHNICIAN – KRISTYN ADKINS</b>
<b>APPROVAL OF MINUTES:</b>	<b>MARCH 18, 2024</b>

**NEW BUSINESS:**

- 1. SIP23-000008 – SADDLE RIDGE ESTATES CONSTRUCTION DOCUMENTS**
- 2. SIP24-000001 – AIR LIQUIDE SITE PLAN**
- 3. SIP24-000003 – MINOR REPLAT (SWOYER)**
- 4. ZRQ24-000001 – BRIDLEWOOD COMMUNITY DEVELOPMENT DISTRICT**

**AJOURN**

**PLEASE NOTE:** PURSUANT TO SECTION 286.015, FLORIDA STATUTES, IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLAN BOARD WITH RESPECT TO ANY MATTER CONSIDERED DURING THIS MEETING, HE OR SHE WILL NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, A PERSON WITH DISABILITIES NEEDING ANY SPECIAL ACCOMODATIONS TO PARTICIPATE IN CITY MEETING SHOULD CONTACT THE OFFICE OF THE CITY CLERK, 23718 W US HWY 27 HIGH SPRINGS, FLORIDA 32643. TELEPHONE (386) 454-1416 EXT 7237

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**HIGH SPRINGS  
PLAN BOARD  
MEETING MINUTES  
March 18, 2024**

Meeting called to order by Brad Riddle at 6:30PM.  
Pledge of Allegiance: Brad Riddle

**ROLL CALL PLAN BOARD:**

Chair Bradley Riddle – Present

Vice-Chair Tim Bolliger – Present

Member Rick Testa – Present

Member Mark Bertocci – Present

Member Steve Tapanes – Present

**STAFF PRESENT:**

Scott Walker, City Attorney  
Kristyn Adkins, Planning Technician

**Motion Member Bolliger to approve the minutes from December and January. Seconded by Member Bertocci. Motion passed 4-0.**

**NEW BUSINESS:**

**1. SWEAR IN NEW PLAN BOARD MEMBER: STEVE TAPANES**

The City Attorney swore in the new plan board member, Steve Tapanes.

**2. ELECT A CHAIR**

**Motion Member Bolliger to appoint Brad Riddle as the Chair. Seconded by Member Testa. Motion passed 5-0.**

**Motion Member Tapanes to appoint Tim Bolliger as the Vice Chair. Seconded by Member Testa. Motion passed 5-0.**



**UNFINISHED BUSINESS:**

**1. Z23-000043 – SPECIAL EXCEPTION – DUPLEXES (DAVID SUTTON)**

Staff gave a recap of the project for the new member, Steve Tapanes.

Chair Riddle asked whether Special Exceptions go to commission. Staff responded no, Special Exceptions end at Plan Board. Member Testa spoke of the existing design of the duplexes a few blocks over. Chair Riddle spoke of concerns for drainage. The City Attorney swore everyone in on the item. Member Bolliger spoke of the residential nature of the area.

Citizen Mary Lynch spoke on the item. She stated she lives next door, and has concerns on the traffic, infrastructure. She spoke of the truck traffic on 244<sup>th</sup>, and the road being in terrible condition. She stated she is against duplexes in that area.

Citizen John Lynch spoke on the item. He stated he's lived there 16 years, and it used to be quiet. He spoke of his concern with what was done to the property being an atrocity (tree removal).

Member Bertocci spoke regarding everything being destroyed there and gave an example regarding New York. He referenced the meeting minutes which quoted the applicant on why things had been removed without permits.

**Motion Member Tapanes to deny Z23-000043. Seconded by Member Bolliger. Motion passed 5-0.**

Citizen Lynn Dirk spoke on the item, and stated she supports the board.

**Motion Member Bolliger to adjourn. Seconded by Member Tapanes. Motion passed 5-0.**

**Meeting adjourned at 7:01PM.**

**NEW BUSINESS ITEM #1**

SIP23-000008

SADDLE RIDGE ESTATES CONSTRUCTION DOCUMENTS

1. DEVELOPMENT INFORMATION

A. PROJECT TITLE: SADDLE RIDGE ESTATES

B. PROJECT DESCRIPTION: SADDLE RIDGE ESTATES IS A 30 LOT RURAL RESIDENTIAL SUBDIVISION ON 154.06 ACRES, WITH A PAVED OPEN SWALE ROADWAY, THREE STORMWATER BASINS, AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS.

C. TAX PARCEL NO.: 01633-000-000, 01633-007-000

D. SEC/TOWN/RANGE: 22/08/17

E. ZONING: SINGLE FAMILY RESIDENTIAL (R-1)

F. FUTURE LAND USE (PER ALACHUA COUNTY FLU MAP): RURAL RESIDENTIAL

2. LOCATION OF SUBJECT PROPERTY: SEE LOCATION MAP THIS SHEET

3. CONTACT INFORMATION

A. PROPERTY OWNER/DEVELOPER: SANDERS AND SONS FARMS, LLC, CONTACT: CHARLES N. SANDERS, (352) 527-9400

B. CONSULTANT ENGINEER/PLANNER: JBROWN PROFESSIONAL GROUP INC., CONTACT: LOGAN B. PETERS, PE, (352) 375-8999

C. SURVEYOR: JBROWN PROFESSIONAL GROUP INC., CONTACT: RICHARD L. WHITE, PLS, (352) 375-8999

D. CITY STAFF: CITY OF HIGH SPRINGS, CONTACT: ASHLEY STATHATOS, (386) 454-2134

E. CITY PUBLIC WORKS: CITY OF HIGH SPRINGS PUBLIC WORKS, CONTACT: BRUCE GILLINGHAM, (383) 454-2134

4. ADDITIONAL DESIGN DATA

A. BUFFER AND SCREENING

i. PROPERTY BOUNDARY BUFFER: N/A

ii. STREET BUFFER: N/A

B. SINGLE FAMILY RESIDENTIAL MINIMUM YARD SETBACKS

- FRONT YARD = 50 FT
- SIDE YARD = 15 FT
- REAR YARD = 15 FT

C. LOT INFORMATION

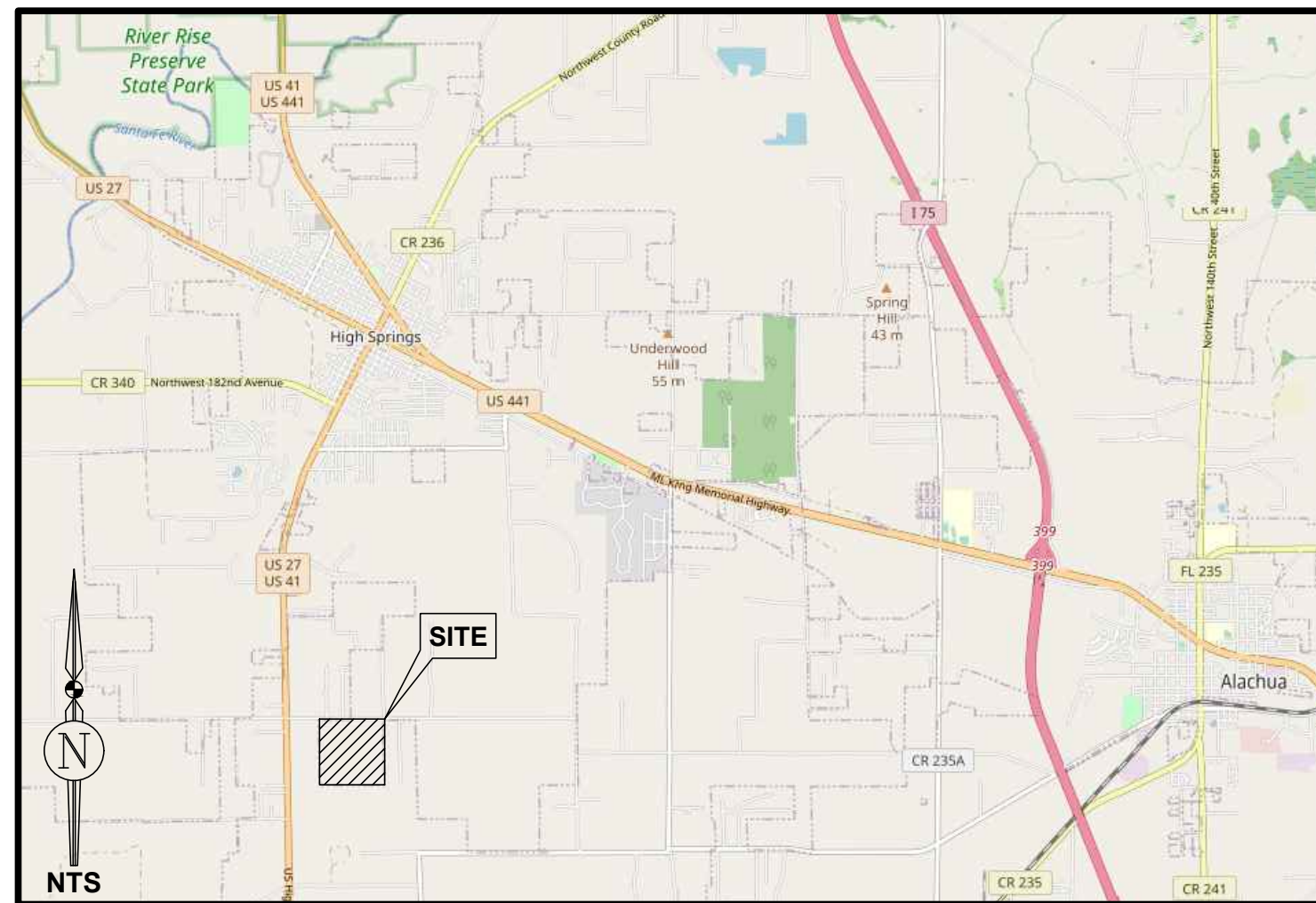
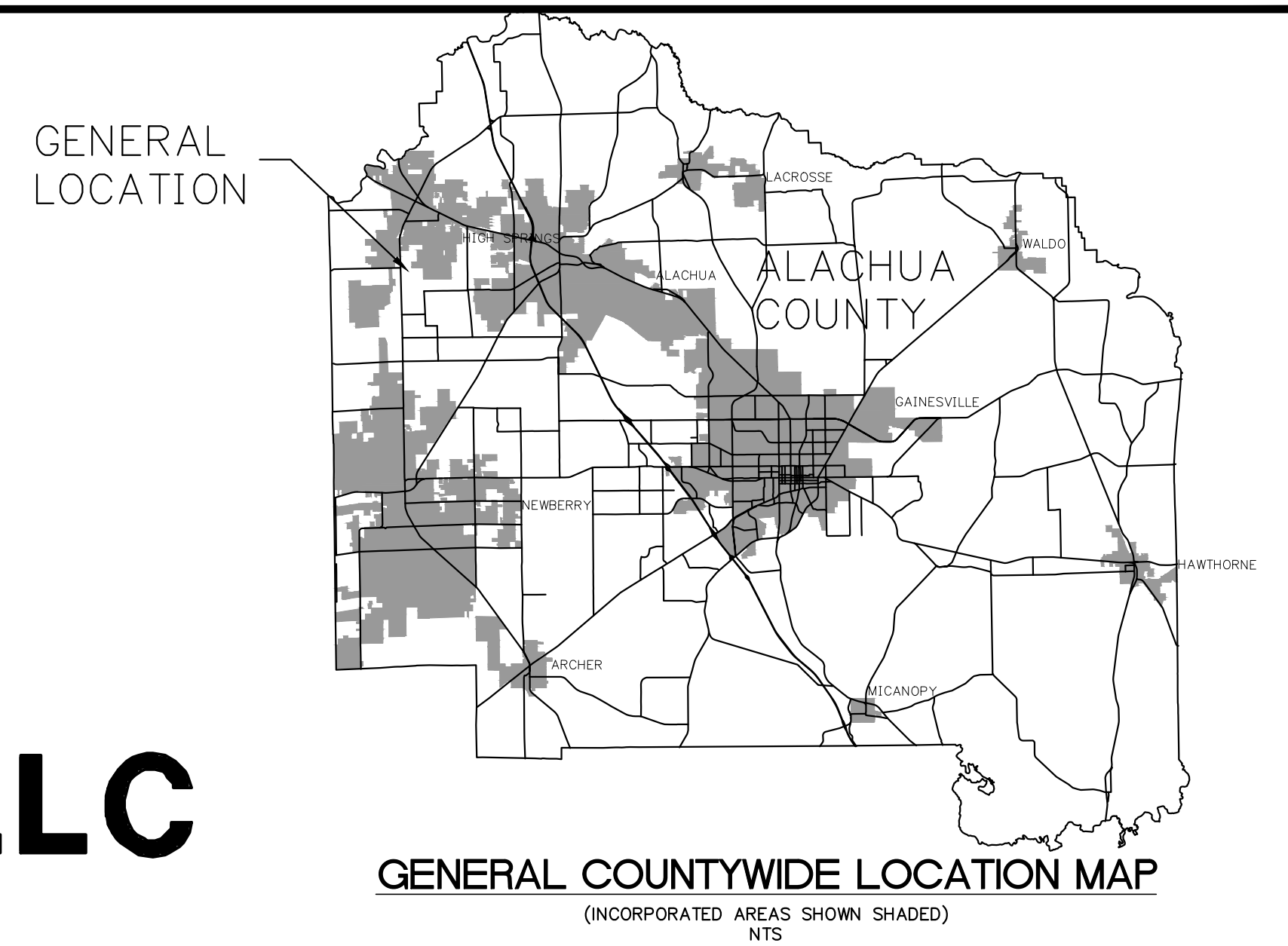
i. ONE SINGLE-FAMILY DWELLING UNIT PER LOT

ii. DENSITY PER GROSS ACRE = 30 DWELLING UNITS / 154.06 AC = 0.19

D. DEVELOPMENT DATA

	AREA (AC)	AREA (SF)	PERCENTAGE
PROJECT AREA	154.06 AC	6,711,024.5 SF	100%
RIGHT-OF-WAY	8.86 AC	385,941.6 SF	5.75%
RESIDENTIAL LOT AREA	79.20 AC	3,449,907.3 SF	51.41%
IMPERVIOUS AREA	3.60 AC	156,727.4 SF	2.34%
BASIN AREA	12.75 AC	555,475.5 SF	8.28%
OPEN/Common AREA	49.66 AC	2,162,972.7 SF	32.23%

CONSTRUCTION PLANS  
OF  
**SADDLE RIDGE ESTATES**  
FOR  
**DERS AND SONS FARMS, LLC**



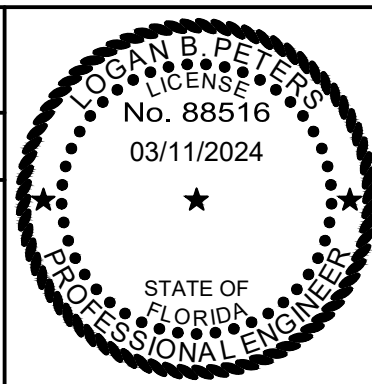
## LOCATION MAP

SUBMITTAL SCHEDULE	
MILESTONE	DATE
PRELIMINARY PLAT APPROVAL	9/28/2023
CONSTRUCTION DRAWINGS SUBMITTAL #1	9/21/2023
SRWMD SUBMITTAL #1	9/21/2023
SRWMD SUBMITTAL #2	1/16/2024
CONSTRUCTION DRAWINGS SUBMITTAL #2	3/11/2024

SADDLE RIDGE ESTATES	
SHEET INDEX	
SHEET NO.	TITLE
C0.0	COVER SHEET
C0.1	LEGEND, ABBREVIATIONS, AND NOTES
C0.2	STORMWATER POLLUTION PREVENTION PLAN
C1.0	DEMOLITION AND TREE PROTECTION PLAN (NORTH)
C1.1	DEMOLITION AND TREE PROTECTION PLAN (SOUTH)
C1.2	EROSION AND SEDIMENTATION CONTROL PLAN (NORTH)
C1.3	EROSION AND SEDIMENTATION CONTROL PLAN (SOUTH)
C2.0	MASTER DEVELOPMENT PLAN
C3.0	PRE-DEVELOPMENT MASTER DRAINAGE PLAN
C3.1	POST-DEVELOPMENT MASTER DRAINAGE PLAN
C3.2	LOT GRADING PLAN (NORTH)
C3.3	LOT GRADING PLAN (SOUTH)
C3.4	BASIN 1 GRADING PLAN
C3.5	BASIN 2 GRADING PLAN
C3.6	BASIN 3 GRADING PLAN
C4.0	TYPICAL ROADWAY SECTIONS AND UTILITY ALLOCATIONS
C4.1	PLAN AND PROFILE -- ROAD A
C4.2	PLAN AND PROFILE -- ROAD B
C4.3	PLAN AND PROFILE -- ROAD B
C4.4	PLAN AND PROFILE -- ROAD B
C4.5	PLAN AND PROFILE -- ROAD C
C4.6	PLAN AND PROFILE -- ROAD C AND D
C4.7	PLAN AND PROFILE -- ROAD D
C4.8	PLAN AND PROFILE -- ROAD D
C4.9	PLAN AND PROFILE -- ROAD E
C4.10	PLAN AND PROFILE -- ROAD E
C4.11	PLAN AND PROFILE -- ROAD E
C4.12	PLAN AND PROFILE -- ROAD E
C5.0	DETAILS AND NOTES
C5.1	DRIVEWAY CONNECTION DETAIL
1 - 7	BOUNDARY & TOPOGRAPHIC SURVEY
RP-1 -- RP-5	RECORD PLAT

[illegible]

ENGINEER OF RECORD:		LOGAN B. PETERS, PE FLORIDA LICENSE NO. 88516
THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY LOGAN B. PETERS, PE ON THE DATE ADJACENT TO THE SEAL.		
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.		



**3530 NW 43rd Street | Gainesville, Florida 32606**  
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Toll Free: (844) Go-JBPro | E-mail: [contact@jbpro.com](mailto:contact@jbpro.com)

SHEET TITLE:
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COVER SHEET

CLIENT:

CLIENT: SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA

SHEET NO:
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C0.0 (1 of 30)

DATE: **MARCH 2024**

PROJECT NO:  
**479-21-01**

PROJECT:
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## SADDLE RIDGE ESTATES

J:\479-21-01 - High Springs Residential Project\Production\Civil\Sheets\C0.0 (1 of 30) COVER SHEET.dwg, 3/6/2024 5:17:48 PM, Tino



1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND UTILITY PROVIDER TO COORDINATE REMEDIAL ACTION.
2. THE CITY OF HIGH SPRINGS SHALL BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION OF PERTINENT STAGES OF CONSTRUCTION WITHIN THEIR RESPECTIVE R/W. SUBGRADE PREPARATION, LIME/ROCK PLACEMENT, INSPECTION OF THE SWEPT LIME/ROCK BASE PRIOR TO THE PLACEMENT OF ASPHALT, AND OTHERS AS REQUIRED FOR APPROVAL.
3. IF UNDERDRAINS ARE NECESSARY, THE CITY OF HIGH SPRINGS PUBLIC SERVICES, DURING FIELD INSPECTION, SHALL DETERMINE THE EXACT LOCATION AND REQUIREMENTS. THE CONTRACTOR SHALL INSTALL UNDERDRAINS AS REQUIRED.
4. WHERE SUBSOIL EXCAVATION IS REQUIRED, THE LIMITS OF EXCAVATION SHALL BE A MINIMUM OF 24" BELOW THE LIME/ROCK BASE. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE CITY OF HIGH SPRINGS OR THE GEOTECHNICAL ENGINEER.
5. CONTRACTOR SHALL DISPOSE OF SUBSOIL EXCAVATED MATERIALS (UNSUITABLE FOR FILL) OFF SITE TO A PERMITTED LOCATION OR PER AN APPROVED DISPOSAL PLAN AND LOCATION SITE.
6. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.
7. EXISTING TOPOGRAPHY INFORMATION DEPICTED IS BASED ON THE PROJECT TOPOGRAPHIC SURVEY CONDUCTED BY JBRON PROFESSIONAL GROUP INC. ON 11/14/2022. THE CONTRACTOR SHALL VERIFY ALL ELEVATION DATA AND LOCATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER RUNOFF CONDITIONS PRIOR TO CONSTRUCTION. JBRON WILL ASSIST THE CONTRACTOR IN REVISING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER GRADING AND RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.
8. ALL STRUCTURES SHALL ADHERE TO THE 2020 FLORIDA BUILDING CODE(S), THE 2020 NATIONAL ELECTRIC CODE AND THE 2020 FLORIDA FIRE PREVENTION CODE, AS AMENDED.
9. ALL INTERSECTIONS OF PEDESTRIAN SIDEWALKS AND ROADWAYS SHALL COMPLY WITH THE 2020 FLORIDA ACCESSIBILITY CODE. DETECTABLE WARNINGS AND CURB RAMPS SHALL BE USED.
10. MIN FEE REFERS TO THE MINIMUM ELEVATION OF THE BUILDING FOUNDATION.

1. ALL DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE FDOT FY 2022-23 STANDARD PLANS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE CLEANED AND GRUBBED. TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS. TREES TO REMAIN SHALL BE PROTECTED PRIOR TO STARTING CONSTRUCTION AND SHALL BE PROTECTED THROUGHOUT SITE CONSTRUCTION.
3. ALL PROPOSED UNDERGROUND UTILITY INSTALLATIONS WITHIN THE LIMITS OF ROADWAY SUBGRADE, INCLUDING STORMWATER, POTABLE WATER, WASTEWATER, GAS, ELECTRICAL CONDUIT, AND SLEEVES FOR FUTURE UTILITIES, SHALL BE INSTALLED PRIOR TO STABILIZATION OF THE ROADWAY SUBGRADE.
4. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 6" - 12" LOOSE LIFTS AND COMPACTED TO 95% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
  - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 24" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
  - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL CONFORM TO SECTION 914 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUE OF 40 PER DESIGN SECTION.
  - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN A SINGLE OR TWO EQUAL COMPACTED LIFTS (PER DESIGN SECTION). BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
  - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE TYPE SP STRUCTURAL COURSE (TYPE AND THICKNESS PER DESIGN SECTION) AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330.
5. ALL ASPHALTIC CONCRETE MIX DESIGN AND PORTLAND CEMENT CEMENT MIX DESIGN SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ASPHALT MIX DESIGN MUST BE APPROVED BY THE CITY OF HIGH SPRINGS. DENSITY REPORTS AND ASPHALT MIX DESIGN REPORT SHALL BE SUBMITTED TO THE CITY OF HIGH SPRINGS FOR APPROVAL PRIOR TO PAVING BEING PERFORMED.
6. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, SPILLWAYS, CURBING, ETC. SHALL BE CLASS 1 CONFORMING TO SECTION 347.
7. CONCRETE SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522.
8. REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SECTION 449-4.
9. HIGH DENSITY POLY ETHYLENE (HDPE) SHALL CONFORM TO SECTION 431-2.3 AND 431-3.3.
10. ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED.
11. ALL TESTING REPORTS AND ASPHALT DESIGN REPORTS MUST BE SUBMITTED FOR APPROVAL BY THE CITY OF HIGH SPRINGS PRIOR TO ANY PAVEMENT INSTALLATION.

**MAINTENANCE RESPONSIBILITY.**

SANDERS AND SONS FARMS, LLC SHALL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER CONVEYANCE SYSTEM. THE CITY OF HIGH SPRINGS PUBLIC WORKS SHALL BE THE ENTITY RESPONSIBLE FOR MAINTAINING THE STORMWATER MANAGEMENT SYSTEM WITHIN THE CITY RIGHT-OF-WAY AND DESIGNATED DRAINAGE EASEMENTS.

**2. MAINTENANCE PLAN NOTES:**

A. STORM PIPES AND DRAINAGE STRUCTURES SHALL BE INSPECTED SEMI-ANNUALLY FOR STRUCTURAL SOUNDNESS AND OPERATIONAL FUNCTION. ANY DEFECTS DISCOVERED SHOULD BE REPAIRED TO ORIGINAL DESIGN CONDITION.

B. THE BASIN AND STORM PIPES SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS OR STORM PIPES ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION, THE BASIN BOTTOMS, AND STORM PIPES SHALL BE CLEANED OUT MORE OFTEN AS THE CONDITION DICTATES.

C. BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSPACES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET, ETC.). LANDSCAPE PLANTINGS WITHIN THE BASIN SHALL BE MAINTAINED PROPERLY.

D. STORMWATER MANAGEMENT BASINS THAT DO NOT DRAW DOWN PROPERLY AND MAINTAIN A MINIMUM WATER LEVEL FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.

E. ANY LANDSCAPING PROVIDED FOR EROSION CONTROL SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES AND SHALL BE REMOVED OR REPLACED IF NOT FUNCTIONING PROPERLY.

F. TREES AND SHRUBS SHALL NOT BE PLANTED WITHIN THE FOREBAY AREAS OF THE BASIN OR WITHIN 25' OF A CONTROL STRUCTURE. PLANTS THAT GROW WITHIN THESE AREAS MAY BE REMOVED TO RETAIN THE INTEGRITY OF THE STORMWATER BASIN FUNCTIONALITY.

G. ANY REPLACEMENT PLANTINGS SHALL BE NATIVE VEGETATION.

H. PERMANENT IRRIGATION IS NOT PROPOSED WITHIN THE BASIN. TEMPORARY IRRIGATION MAY BE USED TO ESTABLISH NEW PLANTINGS.

J. MAINTENANCE SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF VEGETATION WHICH IS DEAD OR DAMAGED OR VEGETATION THAT BE A DETRIMENT TO THE FUNCTIONING OF THE STORMWATER MANAGEMENT AREA.

K. IN THE EVENT A SINKHOLE OR OTHER GEOLOGICAL FEATURE DEVELOPS, THE OWNER SHALL CONTRACT WITH A CIVIL ENGINEERING OR GEOTECHNICAL ENGINEERING CONSULTING FIRM TO DIRECT THE OWNER TO AN APPROPRIATE REMEDIATION CONSTRUCTION TECHNIQUE TO PLUG OR STABILIZE THE FEATURE AND PREVENT GROUNDWATER CONTAMINATION. THE REMEDIATION CONSTRUCTION TECHNIQUES SHALL FOLLOW GENERALLY ACCEPTED METHODS AND PRACTICES. THE REMEDIATION MEASURES TO BE TAKEN AT THE ALLOWAY RIVER WATER MANAGEMENT DISTRICT (SRWMD). THE SRWMD SHALL BE NOTIFIED OF ANY EVENT OCCURRING AND THE REMEDIATION MEASURES TAKEN TO CORRECT THE GEOLOGIC FEATURE

L. ALL CONDITIONS OF THE SRWMD ENVIRONMENTAL RESOURCE PERMIT (ERP) SHALL BE ADHERED TO INCLUDING REQUIRED INSPECTIONS AND REPORTING.

1. THE CONTRACTOR IS REQUIRED TO FILE THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) (RULE 62-621.300(4), F.A.C.). CONSTRUCTION ACTIVITY SHALL NOT COMMENCE PRIOR TO OBTAINING AN EROSION AND SEDIMENTATION CONTROL DESIGNER REVIEW AND APPROVAL. THE PROJECT IS COVERED BY THE GENERIC PERMIT, AND THE PROJECT IDENTIFICATION NO. IS ESTABLISHED. CONTRACTOR SHALL PROVIDE THE EOR AND PROPERTY OWNER WITH A COPY OF THE FDEP ACKNOWLEDGEMENT LETTER VERIFYING COVERAGE.
2. THE CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CGP AT ALL TIMES THROUGHOUT CONSTRUCTION, AND UTILIZE ALL APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFFSITE DURING CONSTRUCTION.
3. EROSION AND SEDIMENTATION CONTROL BMP'S SHALL BE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL, DATED 2013. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE BMP'S TO UTILIZE ALL BMP'S, AS NECESSARY THROUGHOUT CONSTRUCTION, AND MAY UTILIZE MULTIPLE BMP'S OR OTHER MEANS AND METHODS DEEMED APPROPRIATE TO CONTROL EROSION AND SEDIMENTATION DISCHARGE.
4. THE CONTRACTOR SHALL UTILIZED A STATE OF FLORIDA CERTIFIED EROSION AND SEDIMENTATION CONTROL (ESC) INSPECTOR DURING CONSTRUCTION TO ABIDE BY THE TERMS OF THE NOI PERMIT COVERAGE. AT A MINIMUM THE CERTIFIED INSPECTOR SHALL INSPECT ALL LARGE FLOOD CONTROL STRUCTURES AND MAINTAINANCE STRUCTURES TO UTILIZE ALL CONTROLS AND CONSTRUCTION ENTRANCES/EXITS AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER EVERY 1/4 INCH OR GREATER STORM EVENT. MAJOR OBSERVATIONS AND INCIDENTS OF NON-COMPLIANCE SHOULD BE RECORDED IN THE INSPECTION REPORT, AS WELL AS CORRECTIVE ACTIONS AND MAINTENANCE UNLESS OTHERWISE SPECIFIED. MAINTENANCE MUST OCCUR WITHIN SEVEN (7) CALENDAR DAYS OF THE INSPECTION. THESE INSPECTIONS MUST BE DOCUMENTED AND SIGNED BY A QUALIFIED INSPECTOR AS DEFINED BY THE CGP. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH CONSTRUCTION ACTIVITY AND CONSTRUCTION GENERAL PERMIT (CGP) WHEN THE REPORTS DO NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
5. UPON SATISFACTORY COMPLETION OF THE PROJECT CONSTRUCTION AND SITE STABILIZATION, THE CONTRACTOR SHALL FILE THE NPDES STORMWATER NOTICE OF TERMINATION (NOT) (RULE 62-621.300(6), F.A.C.) WITH FDEP. THE PERMIT COVERAGE IS DEEMED COMPLETE WHEN ALL SOIL DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND STABILIZATION OF ALL DISTURBED OPEN AREAS HAVE REACHED AT LEAST 70% VEGETATIVE COVER OR PERMANENT VEGETATION IS IN PLACE. A COPY OF THE NOT SHALL BE PROVIDED TO THE EOR AND PROPERTY OWNER.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL TESTING FOR EACH SPECIFIED DESIGN COURSE, SUBGRADE, BASE COURSE, AND PAVEMENT. TESTING REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF HIGH SPRINGS PUBLIC SERVICES CONSTRUCTION AND INSPECTION STANDARDS AND FDOT CONSTRUCTION AND INSPECTION STANDARDS. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER FOR REVIEW AND APPROVAL OF CONFORMANCE TO DESIGN SPECIFICATIONS PRIOR TO CONSTRUCTION OF THE SUBSEQUENT COURSE.
2. IN THE EVENT THE CONTRACTOR PROCEEDS TO THE NEXT COURSE PRIOR TO SUBMITTING AND RECEIVING APPROVAL OF THE TEST RESULTS, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE AND RECONSTRUCT ANY WORK NECESSARY TO BRING ALL DESIGN COURSES INTO COMPLIANCE WITH THE DESIGN SECTION SPECIFICATIONS.
3. TESTING REPORTS WITH GEOTECHNICAL TESTING RESULTS SHALL DENOTE THE TESTING LOCATIONS.
4. TESTING ALONG ROADWAYS SHALL BE PROVIDED AT A MINIMUM 200 LF SPACING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL TESTING FOR ALL MATERIAL USED ON RESIDENTIAL HOME SITES. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER FOR REVIEW AND APPROVAL.

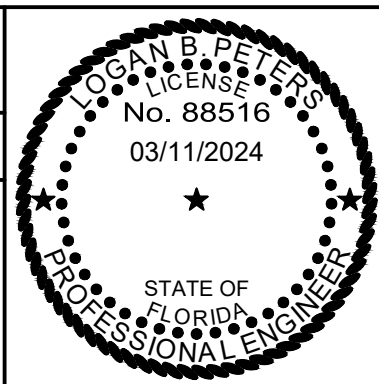
1.	PRIOR TO CONSTRUCTION INSTALLATION OF SPECIFIC WORK SCOPE ITEMS THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SUBMITTAL INFORMATION TO THE EOR FOR REVIEW AND APPROVAL. THESE SUBMITTALS SHALL INCLUDE: SOURCE PROVIDER, MANUFACTURER LITERATURE, CUT SHEETS, DIMENSIONED DRAWINGS, FABRICATION DRAWINGS, SKETCHES, DETAILS AND ANY OTHER INFORMATION NECESSARY FOR THE EOR TO REVIEW AND APPROVE AS TO COMPLIANCE WITH THE DESIGN DRAWINGS AND SPECIFICATIONS.	ADJ ALUM APT ASPH B&I BC BCCMP BLDG BM BOP BSL C&G CI CATV CET CF CI CIP CL CLF CMP CMPA CMU CO COHS COMM COMM
2.	THE FOLLOWING SCOPE ITEMS SHALL REQUIRE SUBMITTALS:	
A.	STORM SEWER STRUCTURES, PIPING, AND APPURTENANCES	
B.	EROSION CONTROL MATERIALS AND DEVICES	
C.	ELECTRICAL EQUIPMENT, MATERIALS, AND APPURTENANCES	
D.	ASPHALT MIX DESIGN(S)	
E.	CONCRETE MIX DESIGN(S)	
F.	EARTHWORK SOIL IMPORT SOURCE	
G.	GRASSING / SOD TYPE AND SOURCE	
3.	MATERIALS SHALL NOT BE DELIVERED ONSITE OR INSTALLED UNTIL SUBMITTAL APPROVAL IS PROVIDED BY THE EOR OR EOR'S REPRESENTATIVE.	
4.	CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED TO REVISE ANY WORK COMPLETED PRIOR TO SUBMITTAL APPROVAL. THE OWNER OR EOR ARE NOT RESPONSIBLE FOR COSTS INCURRED IF ANY MATERIALS ARE PURCHASED, DELIVERED, OR INSTALLED PRIOR TO SUBMITTAL REVIEW AND APPROVAL.	
5.	THE CONTRACTOR SHALL PROVIDE A LIST OF SUB-CONTRACTORS THAT WILL BE PERFORMING ANY PHASES OF WORK ON THE PROJECT. THE LIST SHALL INCLUDE NAME OF COMPANY, ADDRESS, PHONE NUMBERS, AND EMAIL ADDRESSES OF INDIVIDUALS RESPONSIBLE FOR THE SUB-CONSULTANT WORK. PURCHASED, DELIVERED, OR INSTALLED PRIOR TO SUBMITTAL REVIEW AND RESPONSIBLE CHARGE OF PERFORMING THE WORK IN THE FIELD.	

ADJ	ADJACENT	MES	MITERED END SECTION
ALUM	ALUMINUM	MH	MANHOLE
APT	APARTMENT	MIN	MINIMUM
ASPH	ASPHALT	MO	MONTH
B&J	BORE AND JACK	N	NORTH
BC	BACK OF CURB	N/A	NOT APPLICABLE
BCCMP	BITUMINOUS COATED CORRUGATED METAL PIPE	NE	NORTH EAST
BLDG	BUILDING	NG	NATURAL GRADE
BM	BENCHMARK	NIC	NOT IN CONTRACT
BOP	BEGINNING OF PROFILE	NO	NUMBER
BSL	BUILDING SETBACK LINE	NTS	NOT TO SCALE
C&G	CURB AND GUTTER	NW	NORTH WEST
C1	CURVE ONE	OC	ON CENTER
CATV	CABLE TELEVISION	PCPE	PERFORATED CORRUGATED POLYETHYLENE PIPE
CET	CURB END TAPER	PE	PRIMARY ELECTRIC
CF	CUBIC FEET	POB	POINT OF BEGINNING
CI	CAST IRON	POE	POINT OF ENDING
CIP	CAST-IN-PLACE	PL	PROPERTY LINE
CL	CENTER LINE	PRVT	PRIVATE
CLF	CHAIN LINK FENCE	PRI	PRIMARY
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CMPA	CORRUGATED METAL PIPE ARCHED	PT	PRESSURE TREATED (NON ARSENIC)
CMU	CONCRETE MASONRY UNIT	PUD	PLANNED URBAN DEVELOPMENT
CO	CLEAN OUT	PUE	PUBLIC UTILITY EASEMENT
COHS	CITY OF HIGH SPRINGS	PVC	POLYVINYL CHLORIDE
COMM	COMMUNICATIONS	PWMT	PAVEMENT
COMP	COMPENSATION	P&P	PLAN AND PROFILE
CONC	CONCRETE	R/W	RIGHT OF WAY
CPE	CORRUGATED POLYETHYLENE PIPE	R1'	ONE FOOT RADIUS
CY	CUBIC YARD	RB	REACTION BLOCK
DBI	DITCH BOTTOM INLET	RCP	REINFORCED CONCRETE PIPE
DCBP	DOUBLE CHECK BACKFLOW PREVENTER	REF	REFERENCE
DEG	DEGREES	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
DHWL	DESIGN HIGH WATER LEVEL	REQ'D	REQUIRED
DI	DUCTILE IRON	RT	RIGHT
DIA	DIAMETER	RW	RESILIENT WEDGE
DIM	DIMENSION	S	SOUTH
DIP	DUCTILE IRON PIPE	S/W	SIDEWALK
DIST	DISTANCE	SE	SOUTH EAST
E	EAST	SE	SECONDARY ELECTRIC
E/M	EASEMENT	SEC	SECONDARY
EL	ELEVATION	SF	SQUARE FEET
ELEC	ELECTRIC	SG	SWITCH GEAR
EOP	END OF PROFILE	SI	SURFACE INLET
EP	EDGE OF PAVEMENT	SRWMD	SUWANNEE RIVER WATER MANAGEMENT DISTRICT
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	SMU	STORMWATER MANAGEMENT UTILITY
EX	EXISTING	SPA	SPACE
FC	FACE OF CURB	SPT	STANDARD PENETRATION TEST
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	SSL	STAINLESS STEEL
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	ST	STORM
FFE	FINISH FLOOR ELEVATION	ST.	STREET
FG	FINISH GRADE	STA	STATION
FH	FIRE HYDRANT	STD	STANDARD
FL	FIRE LINE	STL	STEEL
FLI	FLOW LINE	SW	SOUTH WEST
FM	FORCE MAIN	SY	SQUARE YARD
FO	FIBER OPTIC	TBC	TRAFFIC BEARING COVER
FP	FLOOD PLAIN	TBM	TEMPORARY BENCHMARK
FT	FEET	TBR	TO BE REMOVED
FUT	FUTURE	TEL	TELEPHONE
GALV	GALVANIZED	TFMR	TRANSFORMER
GV	GATE VALVE	TV	TELEVISION
HC	HANDICAP	TW	TOP OF WALL
HORIZ	HORIZONTAL	TYP	TYPICAL
HP	HIGH POINT	UD	UNDER DRAIN
HR	HOOR	UTIL	UTILITIES
INV	INVERT	VCP	VITRIFIED CLAY PIPE
IRR	IRRIGATION	VEH	VEHICLE
LF	LINEAR FEET	W	WEST
L1	LINE ONE	W/	WITH
LAT	LATITUDE	W/WW	WATER/WASTEWATER
LONG	LONGITUDE	WM	WATER MAIN
LTG	LIGHT	WS	WATER SERVICE
LP	LOW POINT	WW	WASTEWATER
LT	LEFT	YR	YEAR
MAINT	MAINTENANCE		

	EXISTING STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS SERVICE LINE
	EXISTING CATV & TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING WATER MAIN
	EXISTING CONTOUR LINE
	EXISTING FENCE
	NATURAL GROUND SPOT ELEVATION
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED ASPHALT PAVEMENT
	PROPOSED 4" CONC SIDEWALK
	PROPOSED 6" CONC PAVEMENT
	PROPOSED GRAVEL PAVEMENT
	PROPOSED HORSE TRAIL
	PROPOSED FINISH ELEVATION CONTOUR
	PROPOSED FINISH SPOT ELEVATION
	PROPOSED DIRECTIONAL FLOW ARROW
	DRAINAGE AREA DIVIDE
	PROPOSED SILT FENCE
	PROPOSED TREE BARRICADE FENCE
	PROPOSED CENTERLINE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER MAIN
	PROPOSED PRIMARY ELECTRIC SERVICE CONDUIT
	PROPOSED SECONDARY ELECTRIC SERVICE CONDUIT
	PROPOSED CATV SERVICE
	PROPOSED SANITARY SEWER
	PROPOSED PUE
	PROPOSED DRAINAGE SWALE
	RIGHT-OF-WAY
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED STREET / PARKING LOT LIGHT
	PROPOSED PVC SANITARY SEWER SERVICE LATERAL WITH CLEANOUT
	PROPOSED WATER MAIN WITH SERVICE TAP & 2 WATER METERS
	PROPOSED WATER MAIN WITH SERVICE TAP & 1 WATER METER
	PROPOSED WATER MAIN WITH FIRE HYDRANT ASSEMBLY
	PROPOSED WATER MAIN WITH BLOW-OFF ASSEMBLY & SAMPLE POINT
	PROPOSED WATER MAIN W/ GATE VALVE & BOX
	EXISTING GATE TO BE REMOVED
	PAVEMENT SAWCUT
	GRAVEL FILTER BAG

[illegible]

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CLIENT: SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA

## SADDLE RIDGE ESTATES

PROJECT NO:  
**479-21-01**

**A. PROJECT NAME AND LOCATION**

PROJECT NAME: SADDLE RIDGE ESTATES  
LOCATION:  
ADDRESS: N/A  
SECTION: 22  
TOWNSHIP: 08  
RANGE: 17  
COUNTY: ALACHUA  
LATITUDE: 29.785177  
LONGITUDE: -82.606718

THE SITE MAP IS DEPICTED ON SHEET C2.0 – MASTER DEVELOPMENT PLAN.

SADDLE RIDGE ESTATES IS A 30 LOT RURAL RESIDENTIAL SUBDIVISION ON 154.06 ACRES, WITH A PAVED OPEN SWALE ROADWAY, THREE STORMWATER BASINS, AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS.

1. INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL PLAN
2. SITE GRADING.
3. ROADWAY SUBGRADE.
4. CONSTRUCTION OF ROADSIDE SWALES.
5. FINISHED GRADING OF LOTS AND STABILIZATION OF THE SITE.
6. ASPHALT PAVING.
7. FINAL GRASSING AND LANDSCAPING.
8. CLEANING SEDIMENT FROM STORM SEWER SYSTEM AND BASIN OUTFALL.

F. TOTAL AREA OF THE SITE TO BE DISTURBED: 35.18± ACRES

1. SOILS ARE VARIABLE WITH VARYING DEPTHS OF FINE SAND, LOAMY SAND, LOAMY FINE SAND, SANDY LOAM, FINE SANDY LOAM, AND SANDY CLAY LOAM.
2. THERE IS A CONFINING LAYER AT THIS LOCATION IN THE CLAYEY SOIL LAYER AT ROUGHLY 8'± BELOW THE SURFACE.
3. THE SOIL TYPE WITHIN THE PROJECT AREA IS CLASSIFIED PER NCRS AS ARREDONDO BASIN.
4. THE ESTIMATED 100 YEAR FLOOD PLAIN IS EXPECTED TO BE AT ELEV = 83.76' FOR BASIN 1.
5. THE ESTIMATED 100 YEAR FLOOD PLAIN IS EXPECTED TO BE AT ELEV = 80.56' FOR BASIN 1B.
6. THE ESTIMATED 100 YEAR FLOOD PLAIN IS EXPECTED TO BE AT ELEV = 72.99' FOR BASIN 2.
7. THE ESTIMATED 100 YEAR FLOOD PLAIN IS EXPECTED TO BE AT ELEV = 72.42' FOR COMP BASIN 2C.
8. THE ESTIMATED 100 YEAR FLOOD PLAIN IS EXPECTED TO BE AT ELEV = 81.73' FOR BASIN 3.

STORMWATER BASIN NO.	DRAINAGE AREA	LOCATION OF DISCHARGE POINT	RECEIVING WATERS
BASIN 1	26.56 AC	N/A	N/A
BASIN 1B	69.49 AC	N/A	N/A
BASIN 2	113.74 AC	N/A	COMP BASIN 2C
COMP BASIN 2C	12.76 AC	N/A	N/A
BASIN 3	32.11 AC	N/A	N/A

1. PRIOR TO SOIL DISTURBING ACTIVITIES THE CONTRACTOR SHALL INSTALL THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
2. THE CONTRACTOR SHALL CONTROL AND RESTRICT SITE ACCESS. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MATERIALS AT THE ACCESS POINT, AS REQUIRED, TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND, OR STORMWATER TRANSPORT.
3. THE CONTRACTOR SHALL CONSTRUCT, INSTALL, AND STABILIZE STORMWATER BASINS. SITE GRADING SHALL DIRECT STORMWATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. UPON INSTALLATION, THE CONTRACTOR SHALL PROTECT THE STORM AND SANITARY SEWER SYSTEMS WITH HAYBALES AND/OR FILTER FABRIC TO PREVENT DEBRIS AND SEDIMENTS FROM ENTERING THESE SYSTEMS.
5. THE CONTRACTOR SHALL UTILIZE TEMPORARY CONTROLS SUCH AS SEEDING, MULCHING, GEOTEXTILES, WATERING, SOO STABILIZATION, OR OTHER MEANS TO PREVENT EROSION OF EXPOSED SOILS FROM WIND, WIND, OR RAIN.

1. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE STORMWATER RUNOFF DOES NOT LEAVE THE PROJECT SITE WITHOUT FIRST PASSING THROUGH A SEDIMENT BASIN TO ALLOW SETTLING OF SUSPENDED SOLIDS IN THE STORMWATER PRIOR TO DISCHARGE FROM THE PROJECT SITE.
2. THE CONTRACTOR SHALL INSTALL SILT FENCING AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
3. THE CONTRACTOR SHALL CONSTRUCT, INSTALL, AND STABILIZE STORMWATER BASINS. SITE GRADING SHALL DIRECT STORMWATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. THE CONTRACTOR SHALL USE SILT FENCING, TEMPORARY SWALES, EARTHEN DIKES, CHECK DAMS, OR OTHER MEANS TO DIRECT STORMWATER RUNOFF TEMPORARY SETTLING BASINS OR STORMWATER BASINS DURING CONSTRUCTION.

1. THE CONTRACTOR SHALL CONSTRUCT, INSTALL, AND STABILIZE STORMWATER BASINS OR SUMP OUTFALLS. THE CONTRACTOR SHALL USE THESE FACILITIES AS TEMPORARY SEDIMENT BASINS DURING THE SITE CONSTRUCTION PHASE. SITE GRADING SHALL DIRECT STORMWATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
2. THE CONTRACTOR SHALL CLEAN STORMWATER BASINS OF SILT AND SEDIMENT DEPOSITS AT THE END OF CONSTRUCTION AND DISPOSE OF THE MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

1. THE COMPLETED PROJECT HAS THREE (3) PERMANENT STORMWATER MANAGEMENT FACILITIES. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE PERMITTED AND APPROVED BY THE CITY OF HIGH SPRINGS AND THE SRWMD.
2. THE COMPLETED PROJECT WILL INCORPORATE AND MAINTAIN PERMANENT GRASSING, LANDSCAPING, AND/OR GROUND COVERS TO PROTECT SITE SOILS FROM EROSION AND TRANSPORT.

1. WASTE DISPOSAL: WASTE CONSTRUCTION MATERIALS, DEBRIS, AND GARBAGE WILL BE PLACED IN APPROPRIATE CONTAINERS. THE CONTRACTOR SHALL DISPOSE OF THESE MATERIALS IN AN APPROPRIATE MANNER AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. NO WASTE MATERIALS SHALL BE BURIED ON SITE.
2. OFFSITE VEHICLE TRACKING: THE CONTRACTOR SHALL CONTROL AND RESTRICT SITE ACCESS. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MATERIALS AT THE VEHICLE ACCESS POINT, AS REQUIRED, TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND, OR STORMWATER TRANSPORT.
3. FERTILIZERS, HERBICIDES, AND PESTICIDES: FLORIDA FRIENDLY FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED APPLICATION RATES. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
4. TOXIC SUBSTANCES: THE CONTRACTOR SHALL NOT STORE FUELS, PAINT, CHEMICALS, OR OTHER MATERIALS THAT ARE CONSIDERED TO BE TOXIC ON SITE. SHOULD THE CONTRACTOR DESIRE TO STORE SUCH MATERIALS ON SITE, THE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN PLAN TO ADDRESS STORAGE, SPILL PREVENTION, AND CLEANUP PRIOR TO STORING THE MATERIALS ON SITE.
5. OTHER: PORT-O-LETS OR OTHER TEMPORARY SANITATION FACILITIES SHALL BE LOCATED AWAY FROM THE INLET POINTS TO THE STORM SEWER SYSTEM AND AWAY FROM THE STORMWATER BASINS. THE CONTRACTOR SHALL NOT ALLOW VEHICLE MAINTENANCE ON SITE.

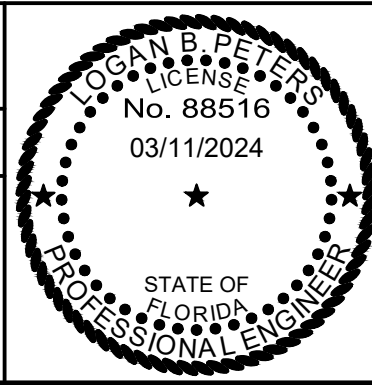
1. THE CONTRACTOR SHALL MAINTAIN PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES IN ACCORDANCE WITH THE PLANS AND TECHNICAL SPECIFICATIONS.
2. SILT FENCING SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND ANY NECESSARY REPAIRS TO SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT FROM THE SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE VEHICULAR ACCESS POINT TO PREVENT TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND, OR STORMWATER TRANSPORT.
4. THE CONTRACTOR SHALL INSPECT INLETS, MANHOLES, AND OUTFALLS IMMEDIATELY AFTER EACH RAINFALL EVENT AND REPAIR THE CONTROLS NECESSARY TO PREVENT SILT AND SEDIMENTS FROM ENTERING THE STORM AND SANITARY SEWERS OR FROM DISCHARGING OFFSITE.
5. MULCH OR SOD THAT HAS WASHED OUT SHALL BE REPLACED IMMEDIATELY.
6. THE CONTRACTOR SHALL MAINTAIN ALL AREAS OF THE PROJECT SITE WITH PROPER EROSION AND SEDIMENT CONTROLS THROUGHOUT THE SITE CONSTRUCTION PERIOD OF THE PROJECT.

1. QUALIFIED PERSONNEL WILL INSPECT ALL POINTS OF DISCHARGE, ALL DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN STABILIZED, ACTIVE CONSTRUCTION AREAS, VEHICULAR ACCESS POINTS AND ALL BEST MANAGEMENT PRACTICES AT LEAST EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCHES OR GREATER. AREAS OF THE PROJECT SITE THAT HAVE BEEN STABILIZED SHALL BE INSPECTED AT LEAST ONCE A MONTH. THESE INSPECTIONS SHALL CONTINUE UNTIL A NOTICE OF TERMINATION IS FILED.

1. IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES MAY OCCUR FROM THE SITE DURING CONSTRUCTION: FIRE FLOW TESTS OR FLUSHING, WATER FROM UTILITY LINE FLUSHING, PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED), AND UNCONTAMINATED GROUNDWATER (FROM DEWATERING ACTIVITIES).
2. DEWATERING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NONCONTAMINATED SITE ACTIVITY.
3. IF NON-STORMWATER DISCHARGES DO OCCUR, WATERS SHOULD BE DIRECTED TO STORMWATER BASINS OR TEMPORARY BASINS PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. TURBID WATERS FROM STORMWATER PONDS SHALL NOT BE PUMPED OFFSITE OR DIRECTLY TO OFFSITE RECEIVING WATERS.
5. ANY PUMPED WATER FROM THE STORMWATER PONDS SHALL BE TREATED SO AS NOT TO ALLOW DISCHARGE OF POLLUTED WATERS FROM THE PROJECT SITE. TREATMENT OPTIONS INCLUDE SILT FENCES, SETTLING PONDS, PROPERLY USED FLOCCULATING AGENTS, OR OTHER APPROPRIATE MEANS.

[illegible][illegible]

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SHEET TITLE:

CLIENT: SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA

SHEET NO:

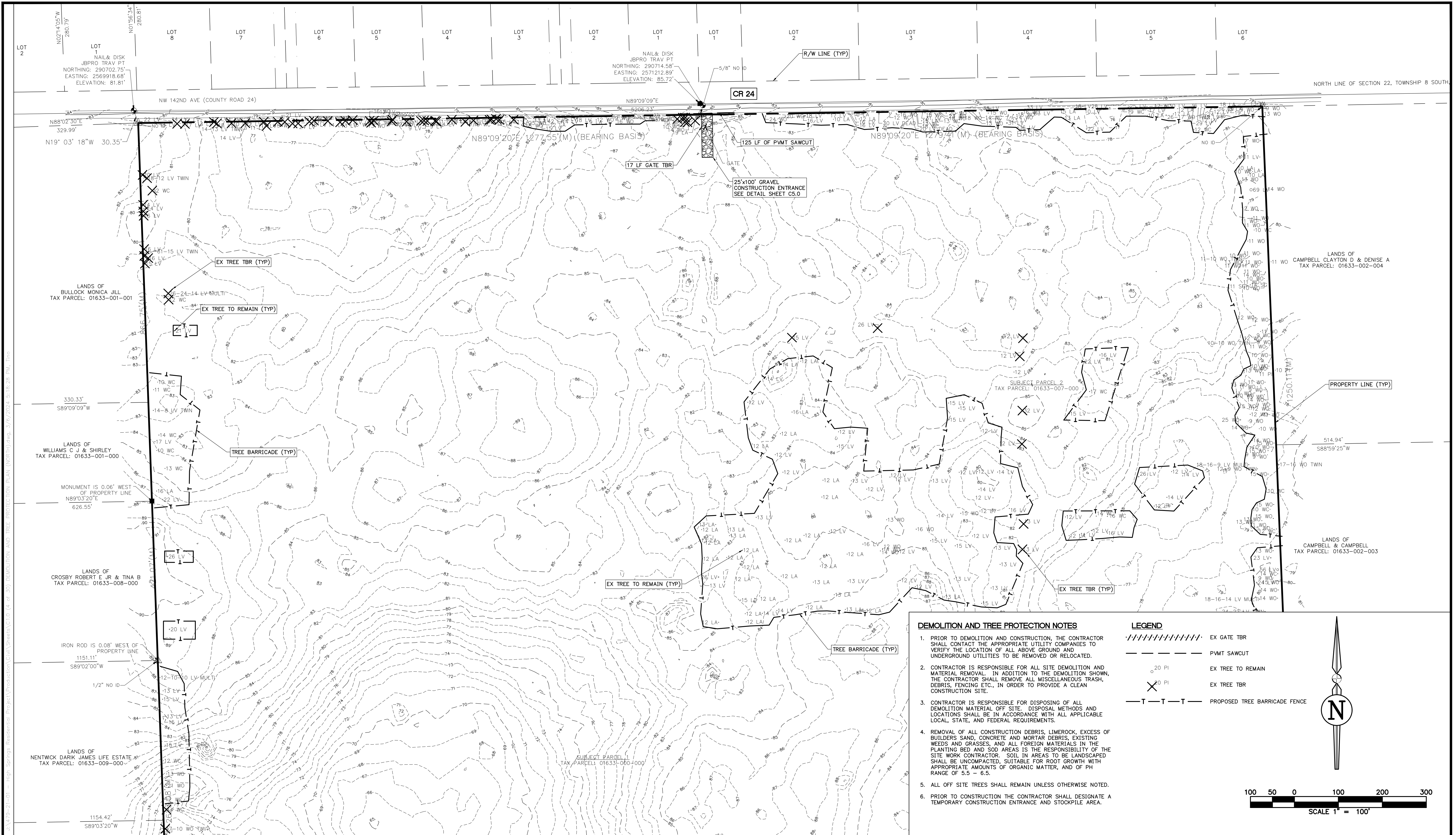
## SADDLE RIDGE ESTATES

DATE: \_\_\_\_\_

**MARCH 2024**

PROJECT NO:  
**479-21-01**



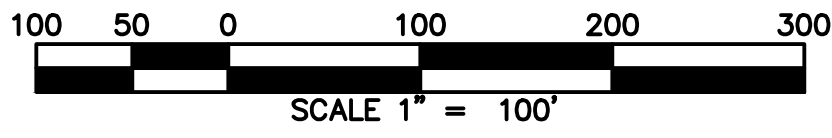
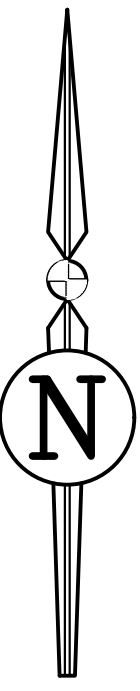


**DEMOLITION AND TREE PROTECTION NOTES**

1. PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
3. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
4. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
5. ALL OFF SITE TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.

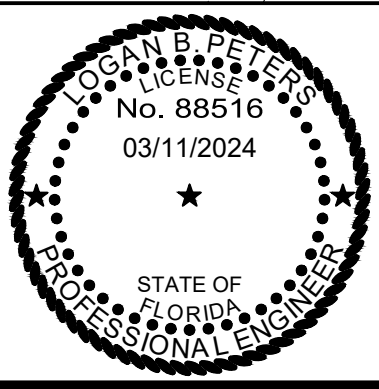
**LEGEND**

- EX GATE TBR
- PVMT SAWCUT
- 20 PI EX TREE TO REMAIN
- ✕ 20 PI EX TREE TBR
- T-T-T- PROPOSED TREE BARRICADE FENCE



REVISIONS			
NO.	DATE	DESCRIPTION	DRWN APPR

ENGINEER OF RECORD:		LOGAN B. PETERS, PE FLORIDA LICENSE NO. 88516 03/11/2024
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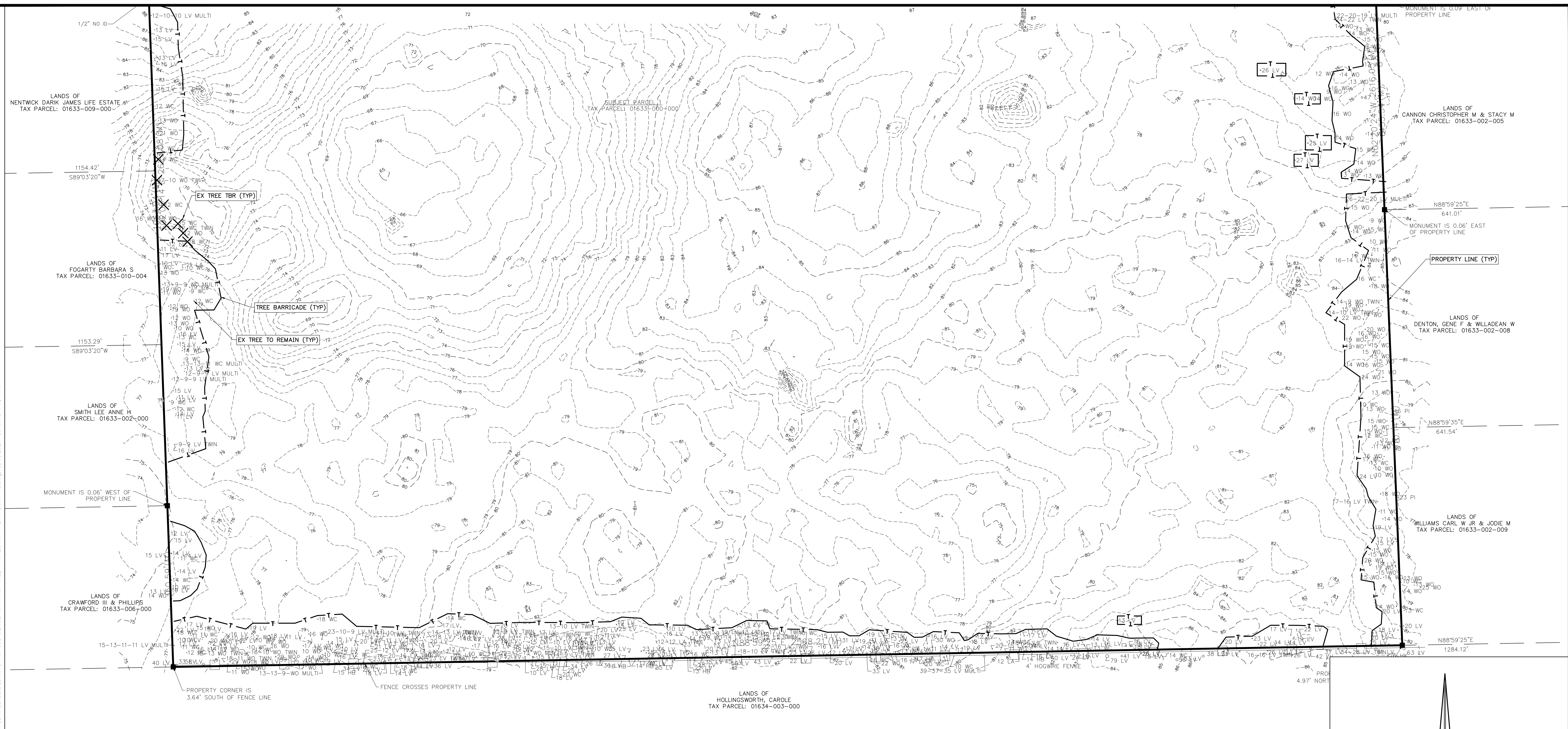


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SHEET TITLE: **DEMOLITION AND TREE PROTECTION PLAN (NORTH)**  
CLIENT: SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA

SHEET NO: **C1.0 (4 of 30)**  
PROJECT: **SADDLE RIDGE ESTATES**  
DATE: **MARCH 2024**  
PROJECT NO: **479-21-01**

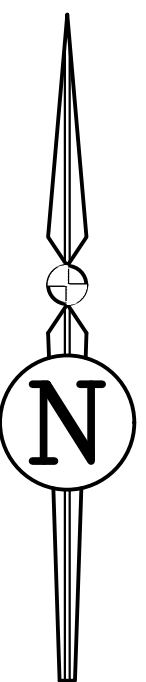


DEMOLITION AND TREE PROTECTION NOTES

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2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
3. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
4. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
5. ALL OFF SITE TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.

### LEGEND

//////////	EX GATE TBR
-----	PVMT SAWCUT
○ <sup>20</sup> PI	EX TREE TO REMAIN
✕ <sup>20</sup> PI	EX TREE TBR
—T—T—T—	PROPOSED TREE BARRICADE FENCE

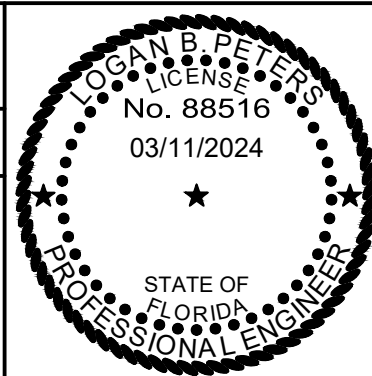


100 50 0 100 200 300

SCALE 1" = 100'

[illegible]

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SHEET TITLE:
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## DEMOLITION AND TREE PROTECTION PLAN (SOUTH)

CLIENT:

CLIENT: **SANDERS AND SONS FARMS, LLC**  
**LECANTO, FLORIDA**

SHEET NO:
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C1.1 (5 of 30)

DATE: **MARCH 2024**

PROJECT NO:  
**479-21-01**

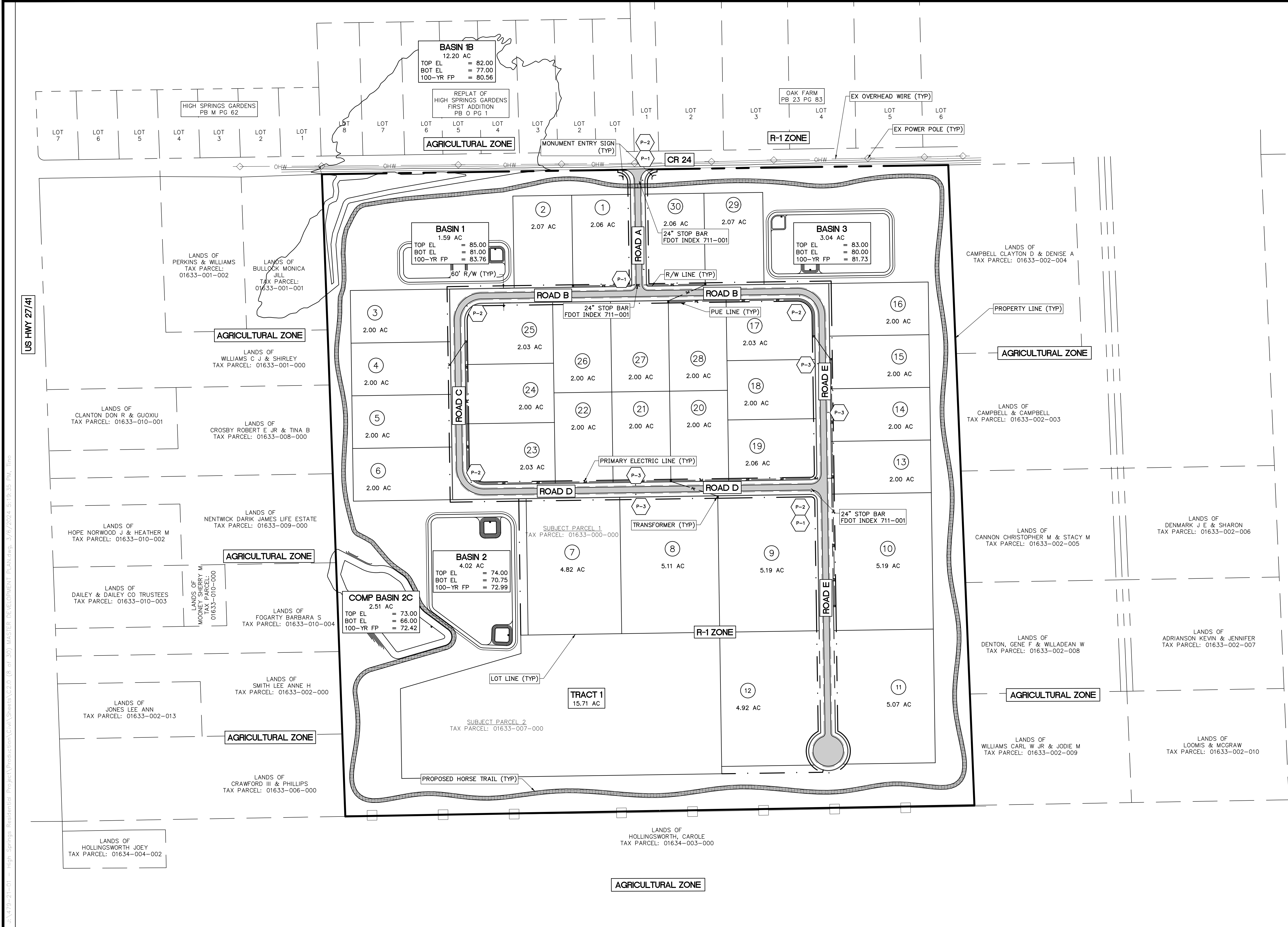
## SADDLE RIDGE ESTATES











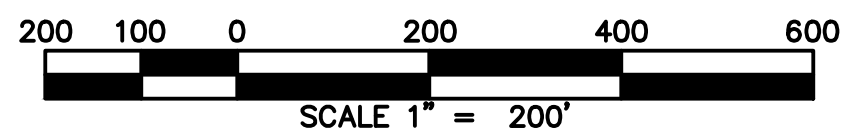
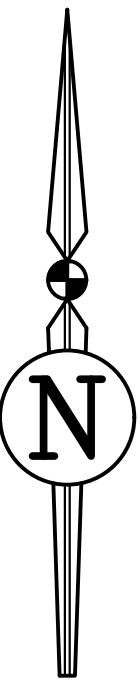
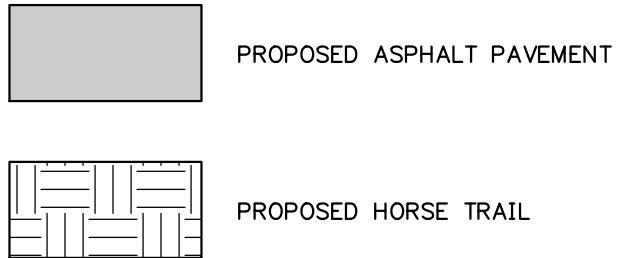
DIMENSION NOTES

- BOUNDARY INFORMATION SHOWN IS BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY J.BROWN PROFESSIONAL GROUP DATED 11/14/2022.
- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS, AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
- ALL DIMENSIONS AND RADII SHOWN ARE DIMENSIONED TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE SPECIFIED.
- ALL STRIPING SHALL CONFORM TO FDOT STANDARD INDEX 711-001.
- ALL SIGNAGE TO BE INSTALLED SHALL CONFORM TO MUTCD REQUIREMENTS, 2009 VERSION W/ REV. NO. 1&2, INCORPORATED 2012.
- STREET SIGNS TO BE ADDED TO THE POLES OF ALL STOP SIGNS
- DESIGN IS PARALLEL AND PERPENDICULAR TO THE NORTH PROPERTY LINE.

PROPOSED SIGNS

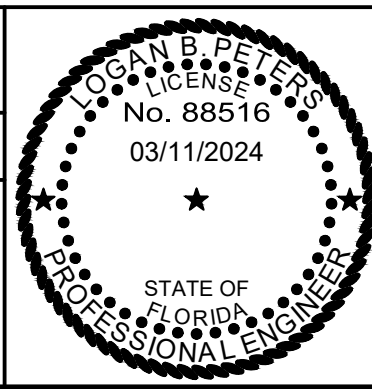
ID	DESCRIPTION	COLOR	MUTCD	SIZE	SIGN
P-1	STOP	RED	R1-1	30" X 30" OCTAGON	STOP
P-2	STREET NAME SIGN	GREEN	D3-1	24" X 8"	ROAD A
P-3	SPEED LIMIT SIGN	WHITE	R2-1	24" X 30"	SPEED LIMIT 25

LEGEND



REVISIONS				
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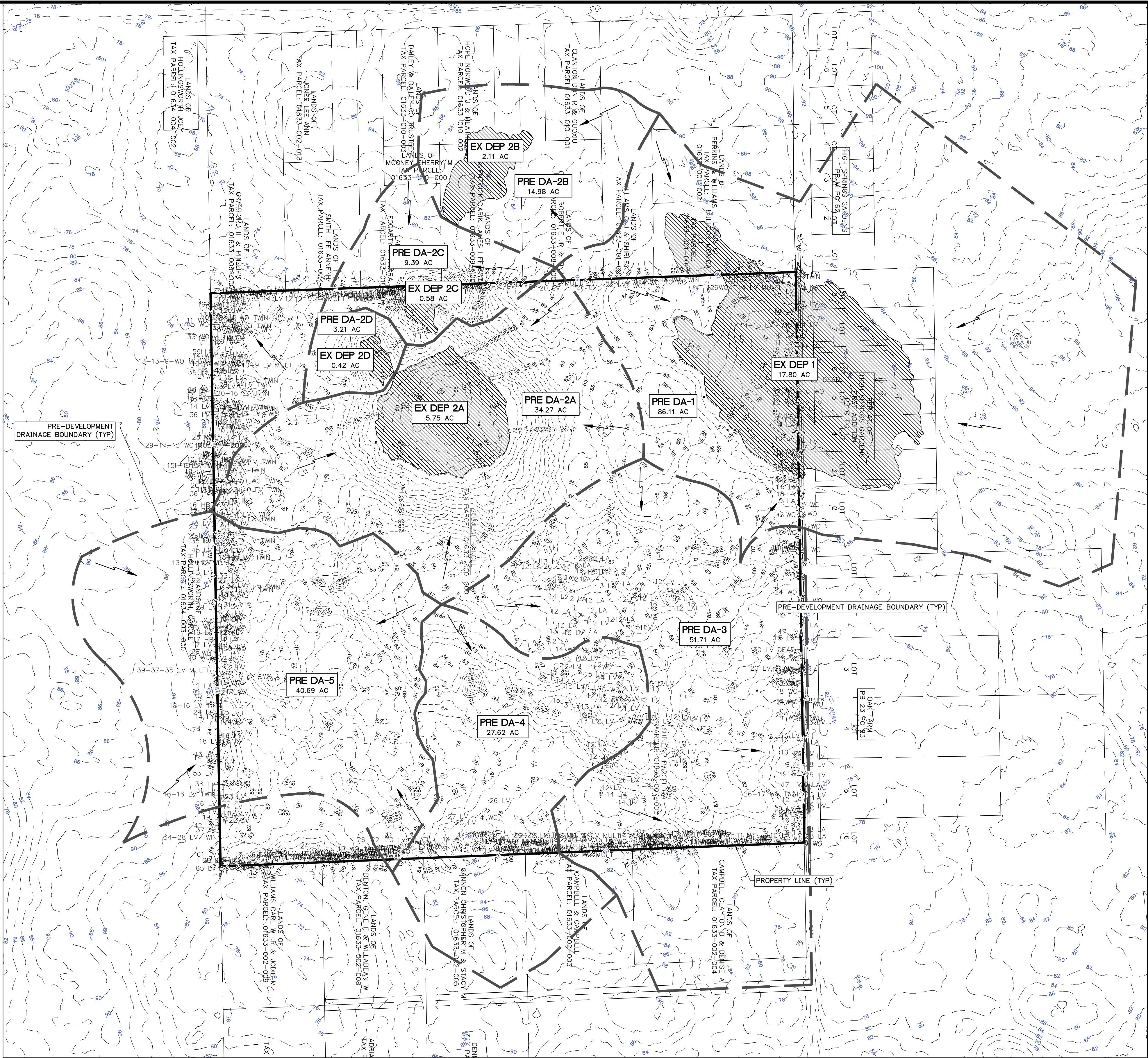
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Toll Free: (844) Go-JBPro | E-mail: [contact@jbpro.com](mailto:contact@jbpro.com)

SHEET TITLE:  
**MASTER DEVELOPMENT PLAN**  
CLIENT:  
**SANDERS AND SONS FARMS, LLC**  
LECANTO, FLORIDA

SHEET NO:  
**C2.0 (8 of 30)**  
DATE:  
**MARCH 2024**  
PROJECT NO:  
**479-21-01**  
PROJECT:  
**SADDLE RIDGE ESTATES**

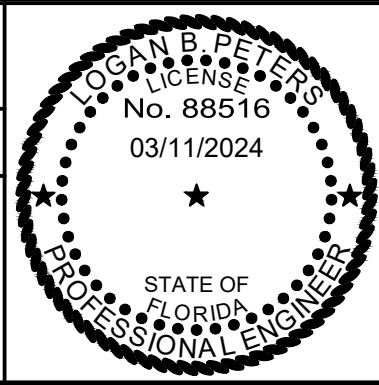


J:\779-21-01 - High Springs Residential Project\Production\C3.0 Sheet\C3.0 (9 of 30) PRE-DEVELOPMENT MASTER DRAINAGE PLAN.dwg, 3/6/2024 2:20:14 PM, Tim



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ENGINEER OF RECORD:	LOGAN B. PETERS, PE FLORIDA LICENSE NO. 88516 03/11/2024
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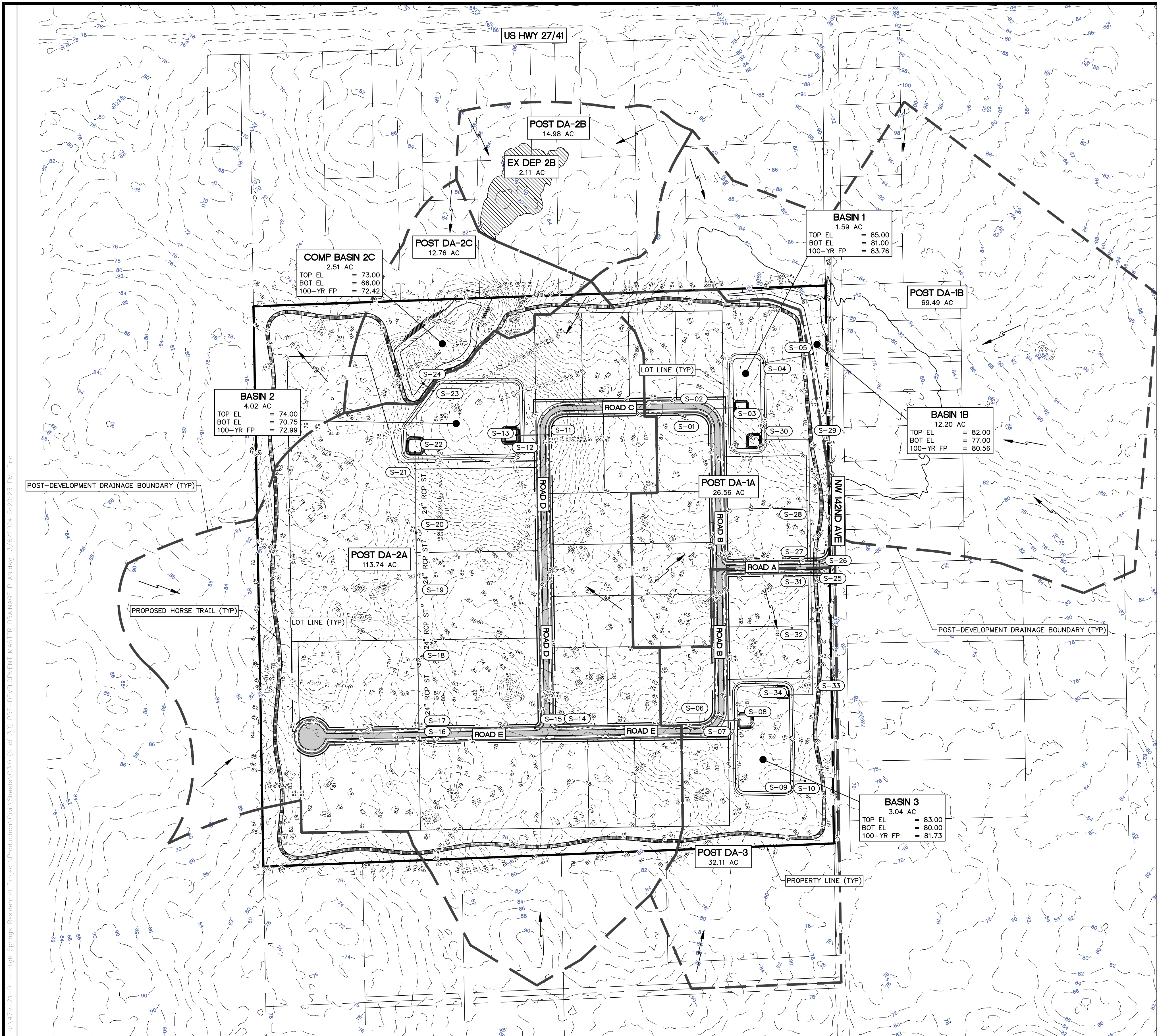
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SHEET TITLE: **PRE-DEVELOPMENT  
MASTER DRAINAGE PLAN**  
  
CLIENT: **SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA**

SHEET NO: **C3.0 (9 of 30)**  
DATE: **MARCH 2024**  
PROJECT NO: **479-21-01**  
  
**SADDLE RIDGE ESTATES**





STORM STRUCTURE SCHEDULE

DITCH BOTTOM INLETS

S-01  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 82.10  
NW INV EL = 79.10 (18" RCP)

S-02  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 82.10  
N INV EL = 78.95 (24" RCP)  
SE INV EL = 78.95 (18" RCP)

S-04  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 84.90  
N INV EL = 80.00 (15" RCP)

S-06  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 80.45  
NE INV EL = 77.35 (18" RCP)

S-07  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 80.45  
N INV EL = 77.20 (18" RCP)  
SW INV EL = 77.20 (18" RCP)

S-09  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 82.90  
N INV EL = 79.20 (15" RCP)

S-11  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 69.95  
S INV EL = 66.85 (18" RCP)

S-12  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 69.99  
S INV EL = 66.70 (30" RCP)  
N INV EL = 66.70 (18" RCP)

S-14  
MITERED END SECTION  
FDOT INDEX 430-022  
GRATE EL = 76.81  
S INV EL = 75.10 (18" RCP)

S-15  
MITERED END SECTION  
FDOT INDEX 430-022  
GRATE EL = 76.46  
N INV EL = 74.75 (18" RCP)

S-16  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 74.90  
W INV EL = 71.85 (18" RCP)

S-17  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 74.90  
W INV EL = 71.70 (24" RCP)  
E INV EL = 71.70 (18" RCP)

S-23  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 81.00  
SW INV EL = 70.00 (36" RCP)

S-27  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 82.90  
W INV EL = 81.25 (15" RCP)

S-31  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 82.90  
E INV EL = 81.25 (15" RCP)

MITERED END SECTIONS

S-03  
TYPE 8 MANHOLE  
FDOT INDEX 430-022  
S INV EL = 78.65 (24" RCP)

S-05  
MITERED END SECTION  
FDOT INDEX 430-022  
S INV EL = 77.00 (15" RCP)

S-08  
MITERED END SECTION  
FDOT INDEX 430-022  
S INV EL = 77.00 (18" RCP)

S-10  
MITERED END SECTION  
FDOT INDEX 430-022  
S INV EL = 79.00 (15" RCP)

S-13  
MITERED END SECTION  
FDOT INDEX 430-022  
N INV EL = 66.40 (30" RCP)

S-22  
MITERED END SECTION  
FDOT INDEX 430-022  
E INV EL = 67.45 (24" RCP)

S-24  
MITERED END SECTION  
FDOT INDEX 430-022  
NE INV EL = 66.00 (36" RCP)

S-25  
MITERED END SECTION  
FDOT INDEX 430-022  
W INV EL = 82.71 (18" RCP)

S-26  
MITERED END SECTION  
FDOT INDEX 430-022  
E INV EL = 82.83 (18" RCP)

S-30  
MITERED END SECTION  
FDOT INDEX 430-022  
N INV EL = 78.75 (18" RCP)

S-34  
MITERED END SECTION  
FDOT INDEX 430-022  
N INV EL = 79.00 (18" RCP)

MANHOLES

S-18  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 79.62  
E INV EL = 70.70 (24" RCP)  
W INV EL = 70.70 (24" RCP)

S-19  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 83.95  
E INV EL = 69.70 (24" RCP)  
W INV EL = 69.70 (24" RCP)

S-20  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 83.09  
E INV EL = 68.70 (24" RCP)  
W INV EL = 68.70 (24" RCP)

S-21  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 73.07  
E INV EL = 67.70 (24" RCP)  
W INV EL = 67.70 (24" RCP)

S-28  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 84.19  
E INV EL = 80.45 (15" RCP)  
W INV EL = 80.45 (15" RCP)

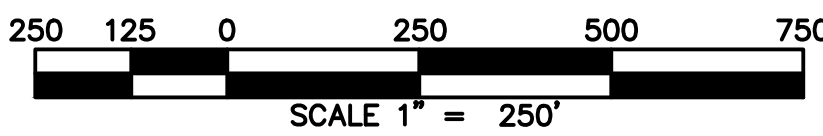
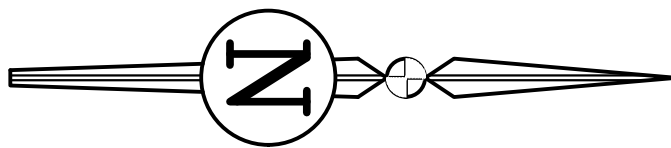
S-29  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 6.30  
E INV EL = 79.50 (15" RCP)  
S INV EL = 79.50 (18" RCP)

S-32  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 6.12  
W INV EL = 80.45 (15" RCP)  
E INV EL = 80.45 (15" RCP)

S-33  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 6.30  
W INV EL = 79.50 (15" RCP)  
S INV EL = 79.50 (18" RCP)

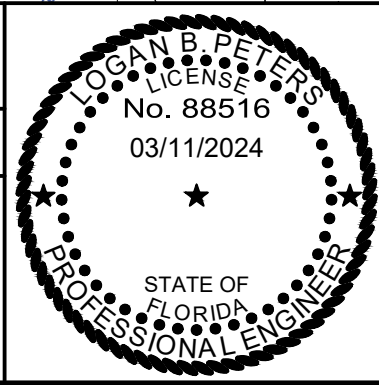
STORM PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
S-01	S-02	18" RCP	50'	0.30%
S-02	S-03	24" RCP	93'	0.32%
S-04	S-05	15" RCP	232'	1.30%
S-06	S-07	18" RCP	50'	0.30%
S-07	S-08	18" RCP	68'	0.29%
S-09	S-10	15" RCP	56'	0.36%
S-11	S-12	18" RCP	50'	0.30%
S-12	S-13	30" RCP	92'	0.33%
S-14	S-15	18" RCP	110'	0.32%
S-16	S-17	18" RCP	50'	0.30%
S-17	S-18	24" RCP	300'	0.33%
S-18	S-19	24" RCP	300'	0.33%
S-19	S-20	24" RCP	300'	0.33%
S-20	S-21	24" RCP	295'	0.34%
S-21	S-22	24" RCP	72'	0.35%
S-23	S-24	36" RCP	55'	7.34%
S-26	S-25	18" RCP	41'	0.30%
S-27	S-28	15" RCP	260'	0.31%
S-28	S-29	15" RCP	300'	0.32%
S-29	S-30	18" RCP	222'	0.34%
S-31	S-32	15" RCP	260'	0.31%
S-32	S-33	15" RCP	300'	0.32%
S-33	S-34	18" RCP	106'	0.47%



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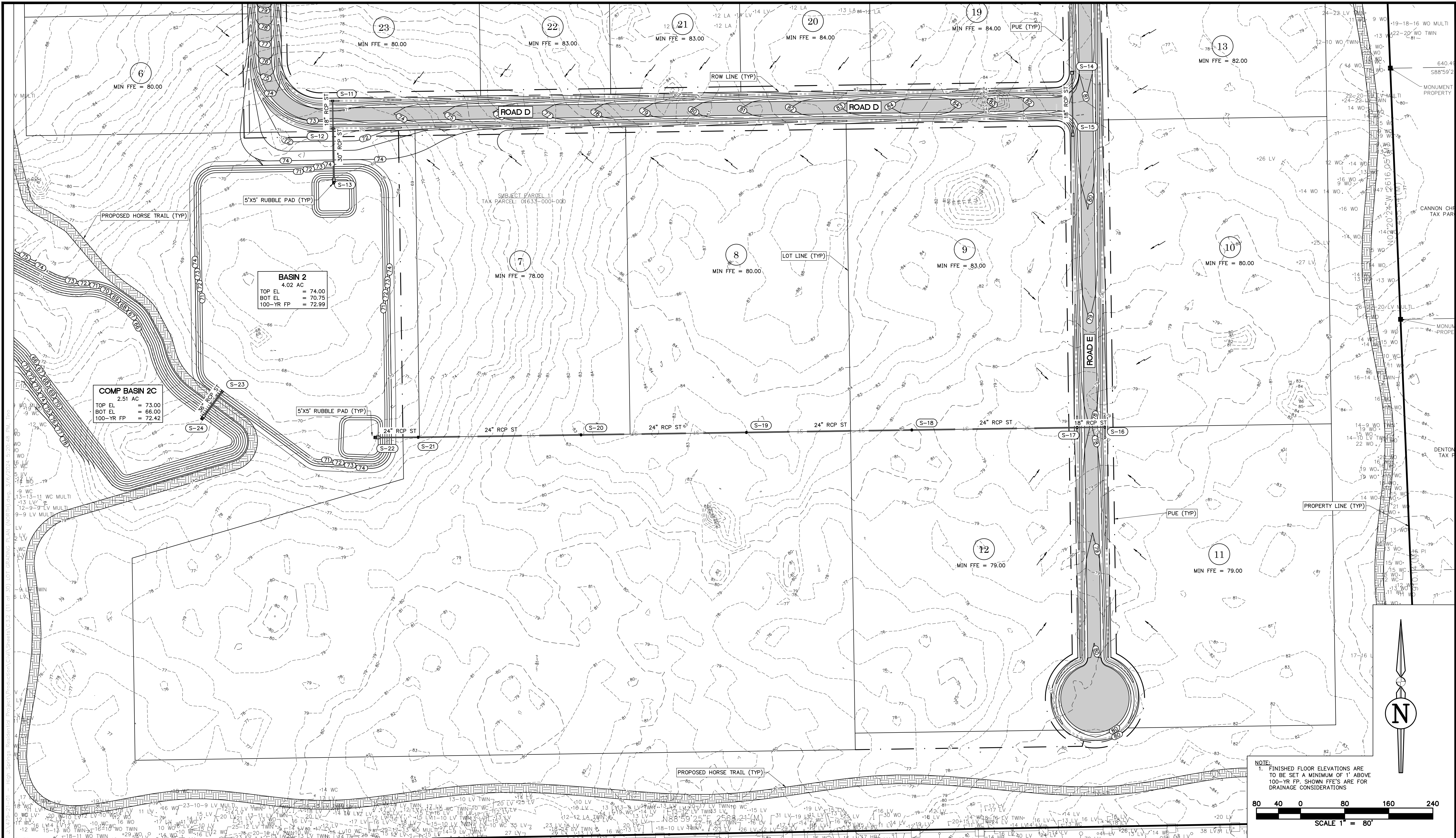
SHEET TITLE:  
**POST-DEVELOPMENT  
MASTER DRAINAGE PLAN**  
CLIENT:  
**SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA**

SHEET NO.:  
**C3.1 (10 of 30)**  
DATE:  
**MARCH 2024**  
PROJECT NO.:  
**479-21-01**  
PROJECT:  
**SADDLE RIDGE ESTATES**



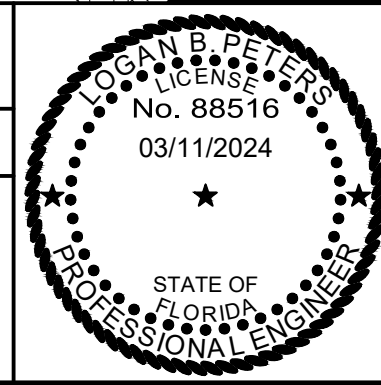






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SHEET TITLE:  
**LOT GRADING PLAN (SOUTH)**

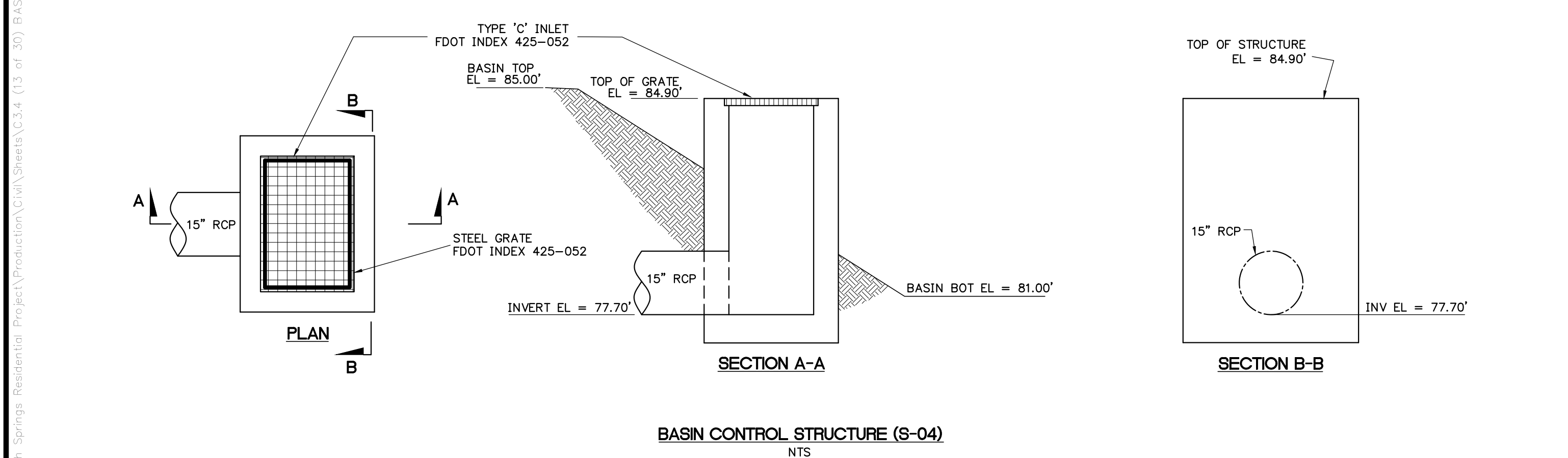
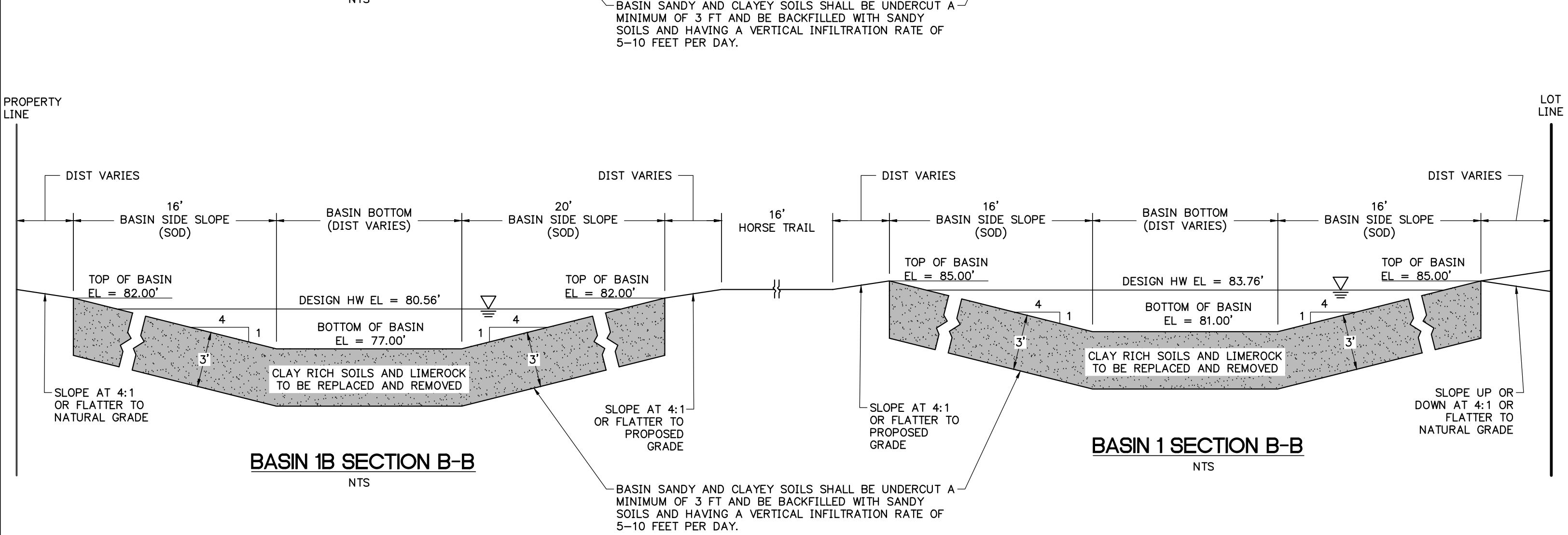
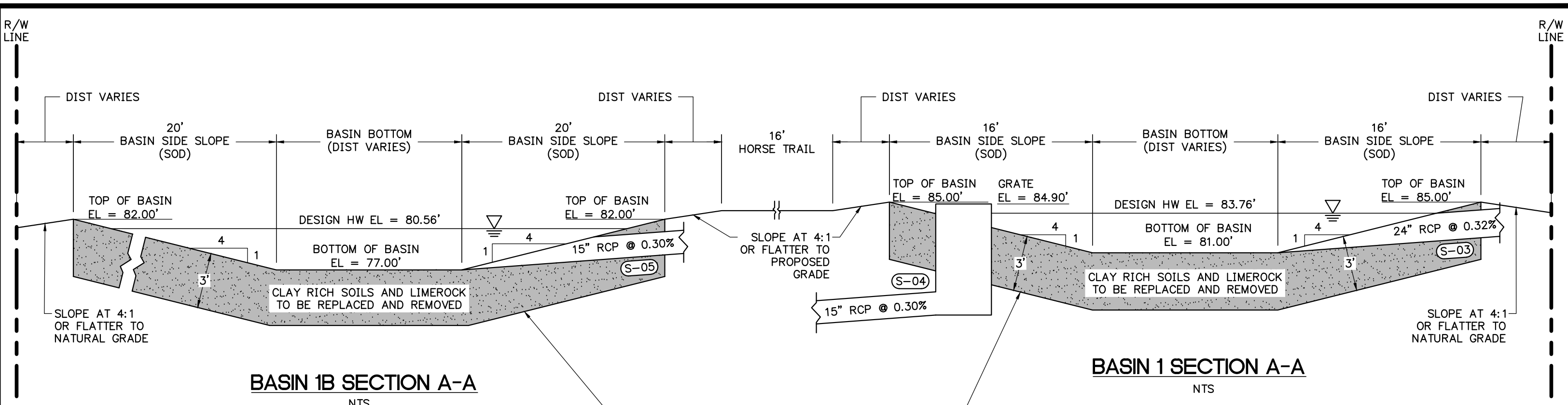
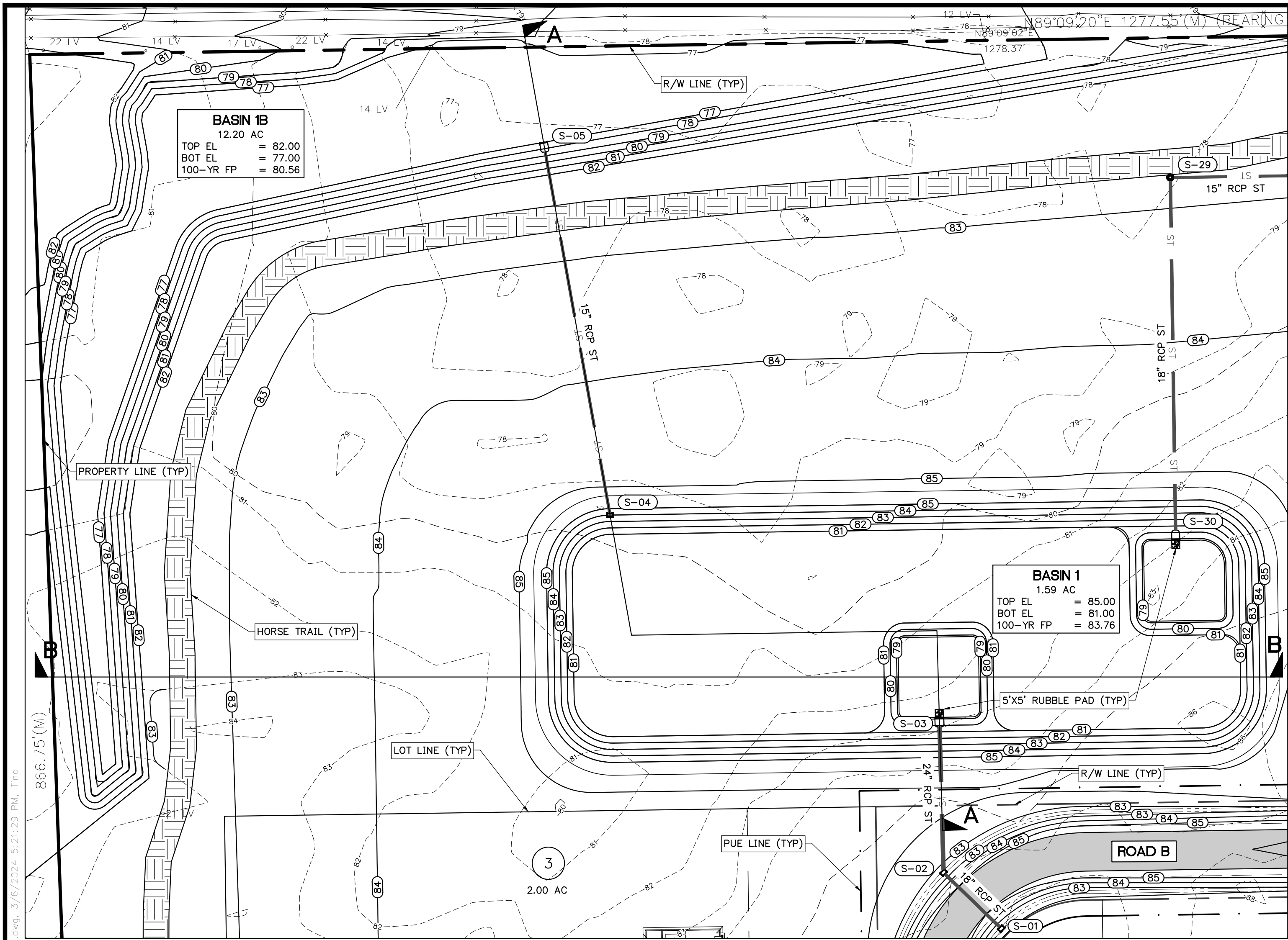
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LECANTO, FLORIDA

SHEET NO.:  
**C3.3 (12 of 30)**

DATE:  
**MARCH 2024**

PROJECT NO.:  
**479-21-01**

**SADDLE RIDGE ESTATES**



STORM STRUCTURE SCHEDULE

DITCH BOTTOM INLETS

S-01

TYPE C DBI

FDOT INDEX 425-052

GRATE EL = 82.10

NW INV EL = 79.10 (18" RCP)

S-02

TYPE C DBI

FDOT INDEX 425-052

GRATE EL = 82.10

N INV EL = 78.95 (24" RCP)

SE INV EL = 78.95 (18" RCP)

S-04

TYPE C DBI

FDOT INDEX 425-052

GRATE EL = 84.90

N INV EL = 80.00 (15" RCP)

MITERED END SECTIONS

S-03

MITERED END SECTION

FDOT INDEX 430-022

S INV EL = 78.65 (24" RCP)

S-05

MITERED END SECTION

FDOT INDEX 430-022

S INV EL = 77.00 (15" RCP)

S-30

MITERED END SECTION

FDOT INDEX 430-022

N INV EL = 78.75 (18" RCP)

STORM PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
S-01	S-02	18" RCP	50'	0.30%
S-02	S-03	24" RCP	93'	0.32%
S-04	S-05	15" RCP	232'	1.30%
S-28	S-29	15" RCP	300'	0.32%
S-29	S-30	18" RCP	222'	0.34%

MANHOLES

S-29


TYPE B MANHOLE

FDOT INDEX 425-010

RIM EL = 6.30

E INV EL = 79.50 (15" RCP)

S INV EL = 79.50 (18" RCP)



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NO.	DATE	DESCRIPTION	DRWN	APPR

ENGINEER OF RECORD:

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No. 88516  
03/11/2024  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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SHEET TITLE:

BASIN 1 GRADING PLAN

CLIENT:

SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA

SHEET NO.:

C3.4 (13 of 30)

PROJECT:

SADDLE RIDGE ESTATES

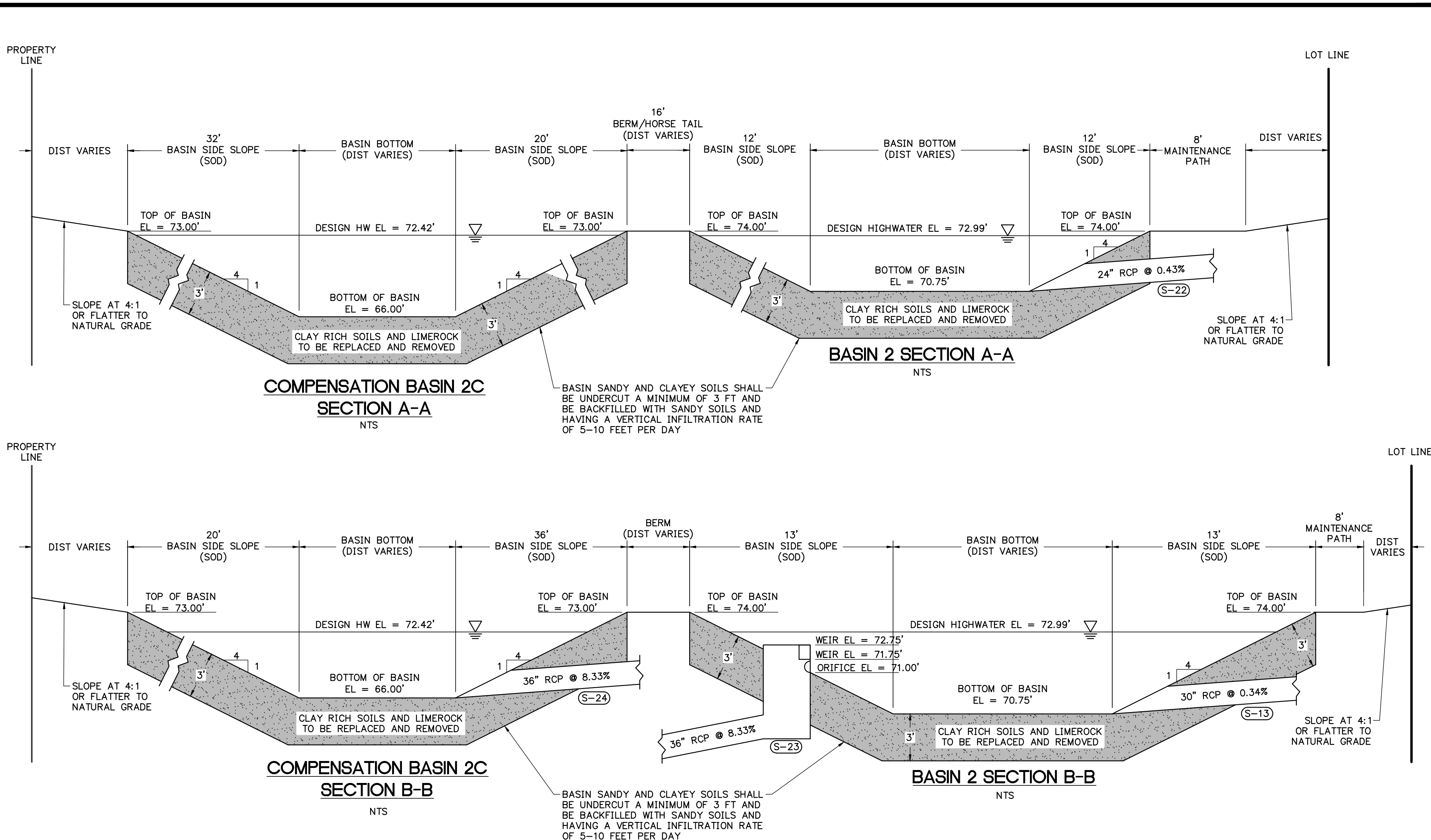
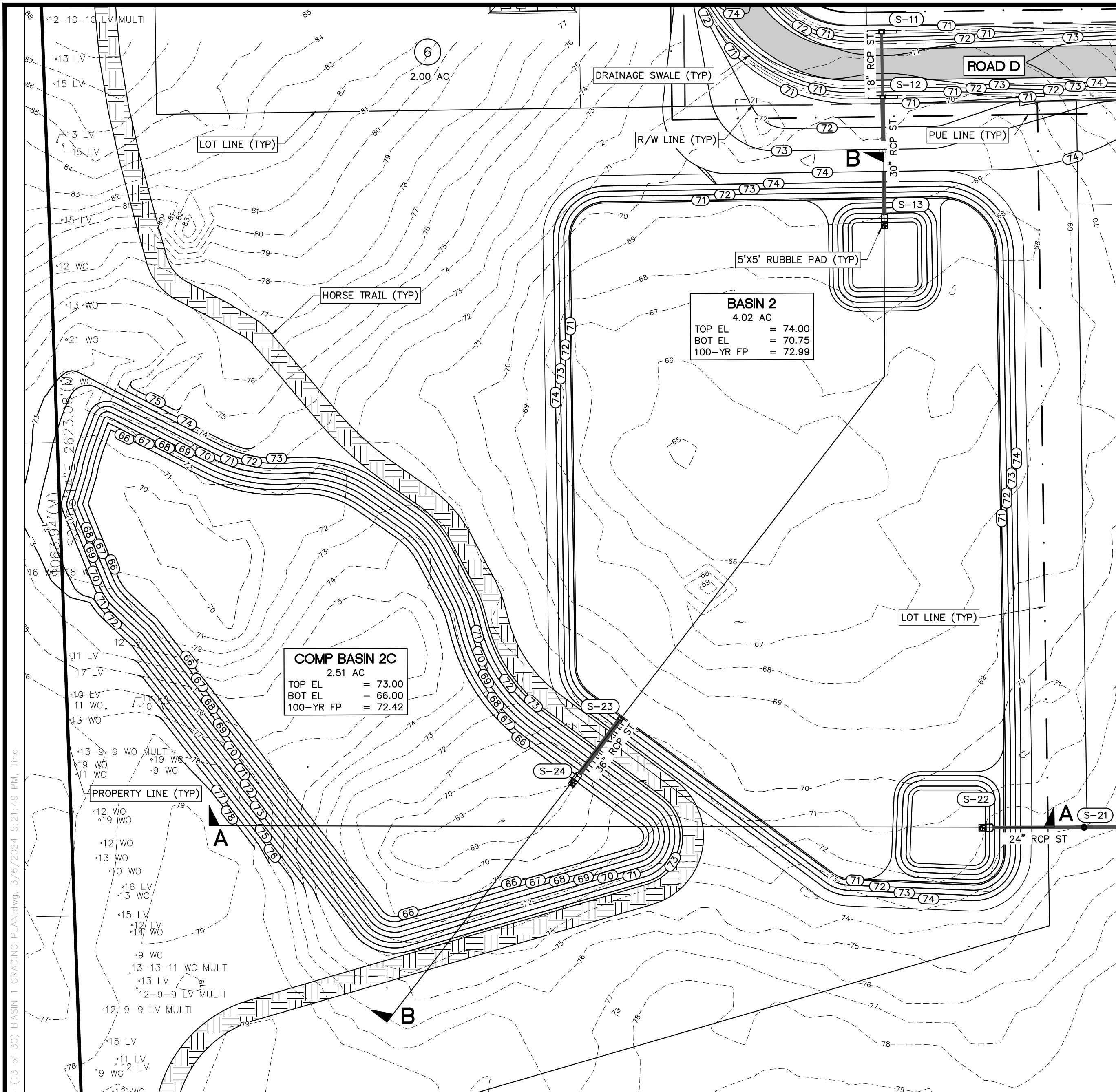
DATE:

MARCH 2024

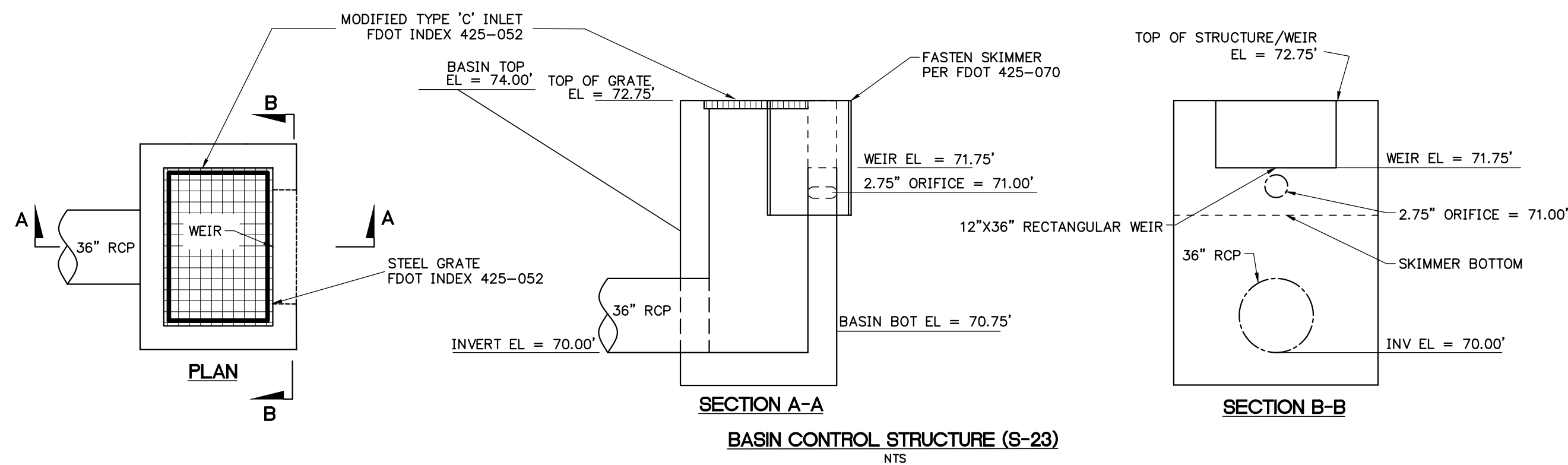
PROJECT NO.:

479-21-01





STORM STRUCTURE SCHEDULE					STORM PIPE TABLE					
MITERED END SECTIONS		DITCH BOTTOM INLETS		MANHOLES		UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
S-13 MITERED END SECTION FDOT INDEX 430-022 N INV EL = 66.40 (30" RCP)	S-24 MITERED END SECTION FDOT INDEX 430-022 NE INV EL = 66.00 (36" RCP)	S-11 TYPE C DBI FDOT INDEX 425-052 GRATE EL = 69.85 S INV EL = 66.85 (18" RCP)	S-23 TYPE C DBI FDOT INDEX 425-052 GRATE EL = 81.00 SW INV EL = 70.00 (36" RCP)	S-21 TYPE 8 MANHOLE FDOT INDEX 425-010 RIM EL = 73.07 E INV EL = 67.70 (24" RCP) W INV EL = 67.70 (24" RCP)	S-11	S-12	18" RCP	50'	0.30%	
					S-12	S-13	30" RCP	92'	0.33%	
					S-21	S-22	24" RCP	72'	0.35%	
					S-23	S-24	36" RCP	55'	7.34%	
S-22 MITERED END SECTION FDOT INDEX 430-022 E INV EL = 67.45 (24" RCP)		S-12 TYPE C DBI FDOT INDEX 425-052 GRATE EL = 69.99 S INV EL = 66.70 (30" RCP) N INV EL = 66.70 (18" RCP)								



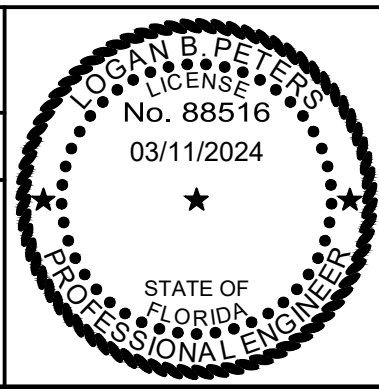
C:\Users\jbp\OneDrive\Documents\BASIN 2 GRADING PLAN.dwg, 2/6/2024, 5:21:43 PM, jbp

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SHEET TITLE: **BASIN 2 GRADING PLAN**

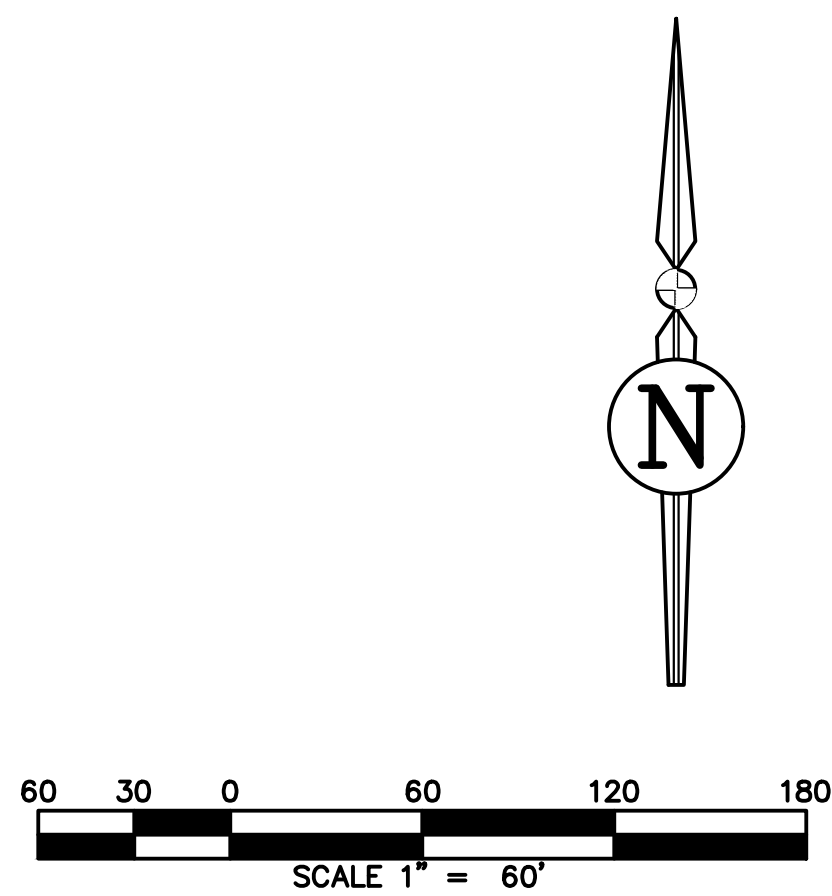
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LECANTO, FLORIDA

SHEET NO: **C3.5 (14 of 30)**

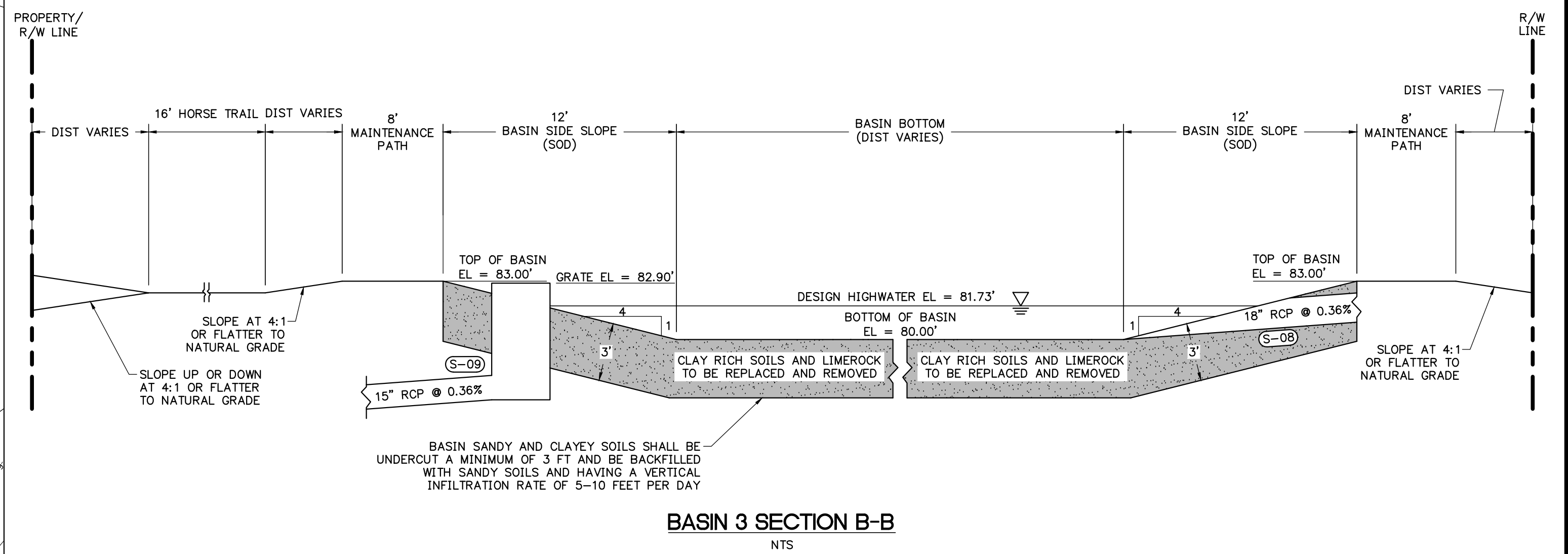
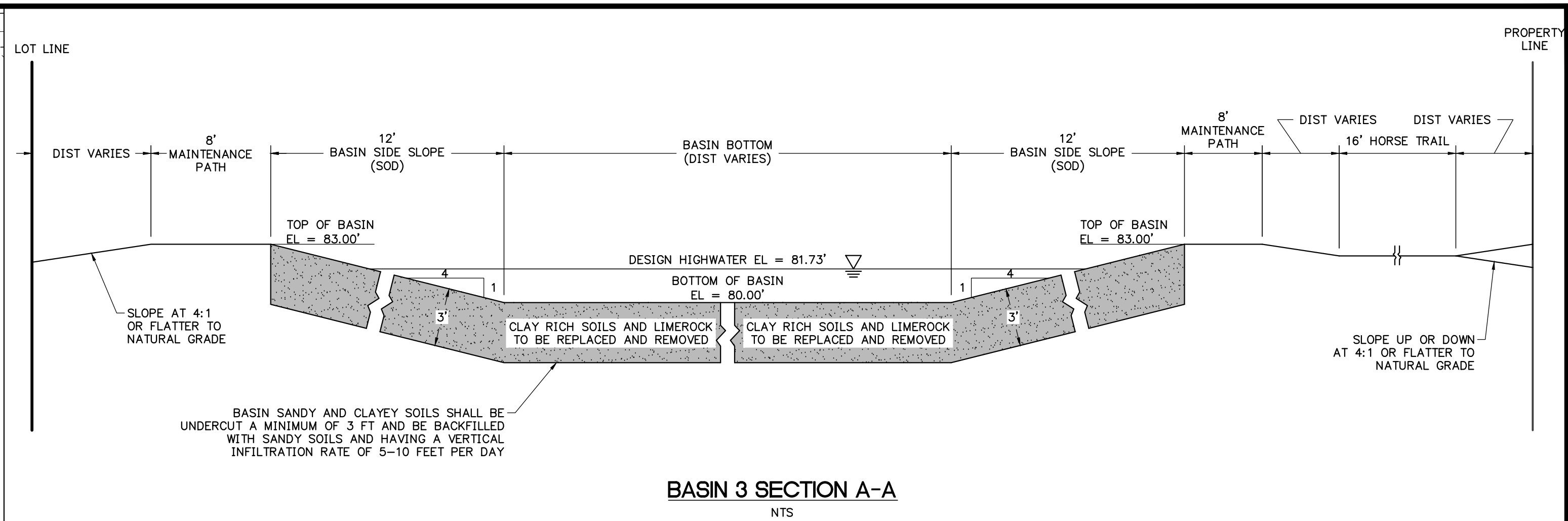
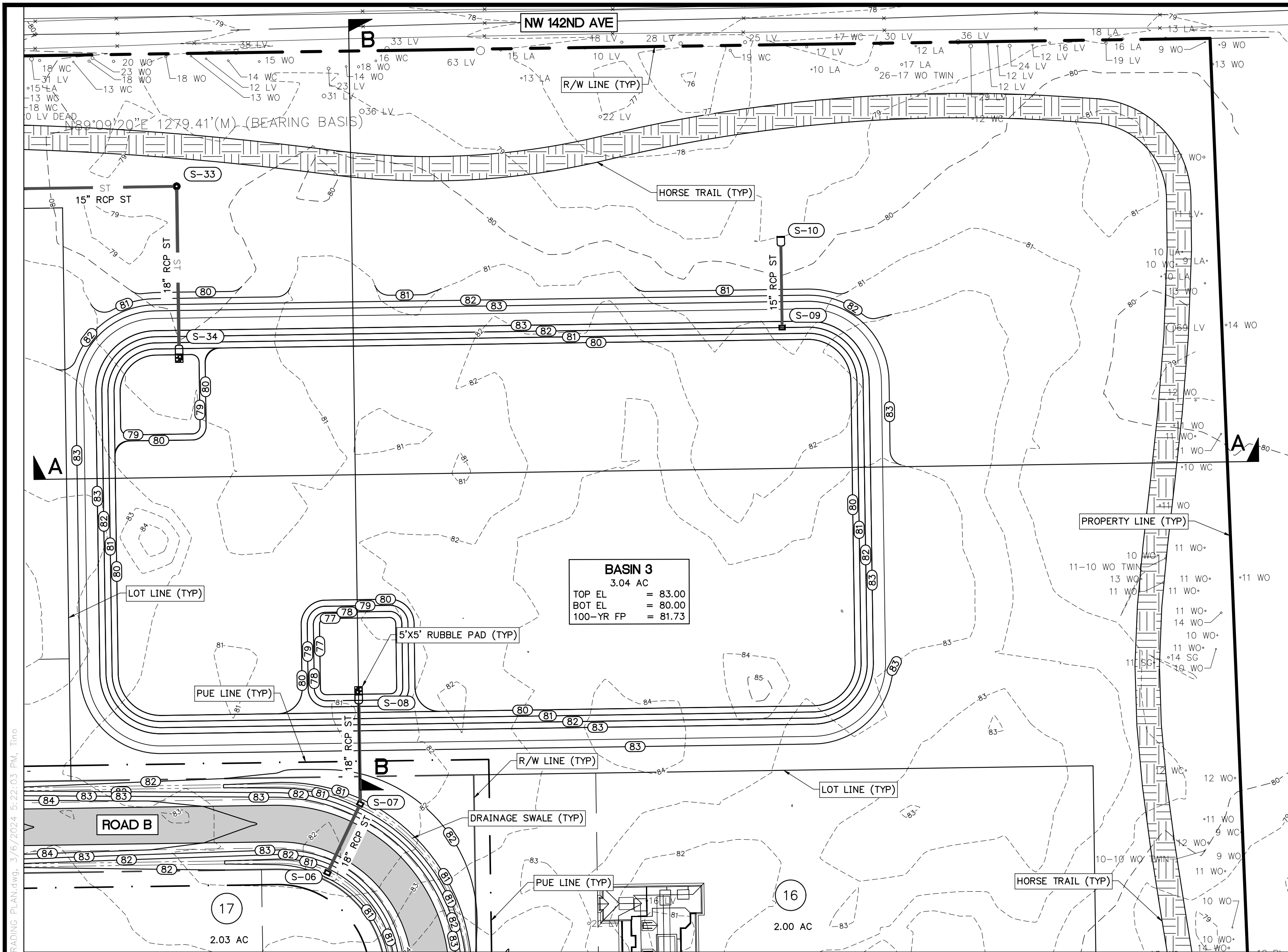
DATE: **MARCH 2024**

PROJECT NO: **479-21-01**

**SADDLE RIDGE ESTATES**







STORM STRUCTURE SCHEDULE

MITERED END SECTIONS

S-08  
MITERED END SECTION  
FDOT INDEX 430-022  
S INV EL = 77.00 (18" RCP)  
S-10  
MITERED END SECTION  
FDOT INDEX 430-022  
S INV EL = 79.00 (15" RCP)  
S-34  
MITERED END SECTION  
FDOT INDEX 430-022  
PMT EL = 81.80  
N INV EL = 79.00 (18" RCP)

MANHOLES

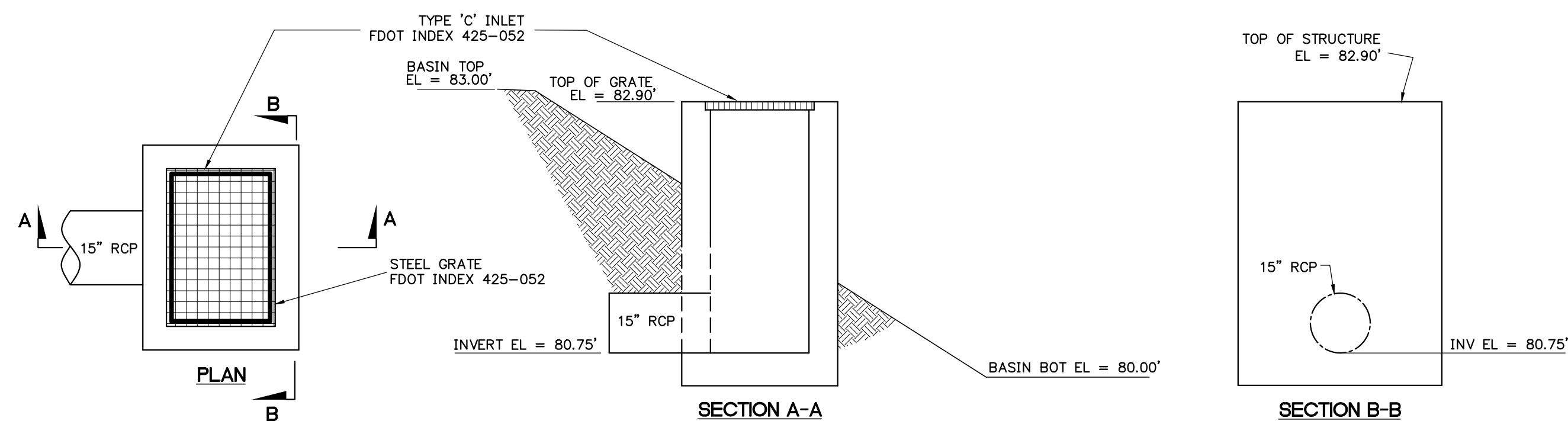
S-33  
TYPE 8 MANHOLE  
FDOT INDEX 425-010  
RIM EL = 6.30  
W INV EL = 79.50 (15" RCP)  
S INV EL = 79.50 (18" RCP)

DITCH BOTTOM INLETS

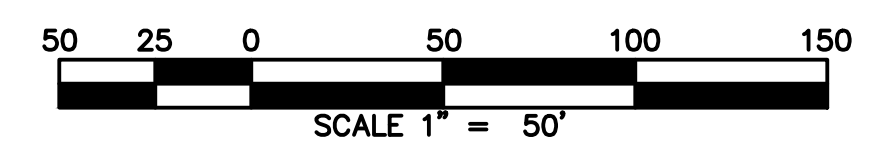
S-06  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 80.45  
NE INV EL = 77.35 (18" RCP)  
S-07  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 80.45  
N INV EL = 77.20 (18" RCP)  
SW INV EL = 77.20 (18" RCP)  
S-09  
TYPE C DBI  
FDOT INDEX 425-052  
GRATE EL = 82.90  
N INV EL = 79.20 (15" RCP)

STORM PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
S-06	S-07	18" RCP	50'	0.30%
S-07	S-08	18" RCP	68'	0.29%
S-09	S-10	15" RCP	56'	0.36%
S-32	S-33	15" RCP	300'	0.32%
S-33	S-34	18" RCP	106'	0.47%

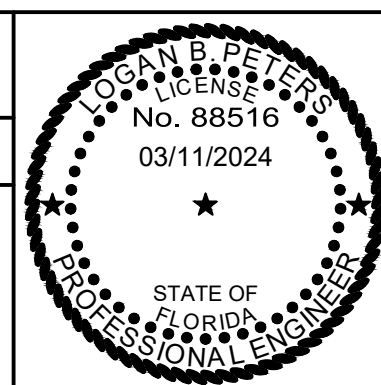


BASIN CONTROL STRUCTURE (S-09)  
NTS



REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

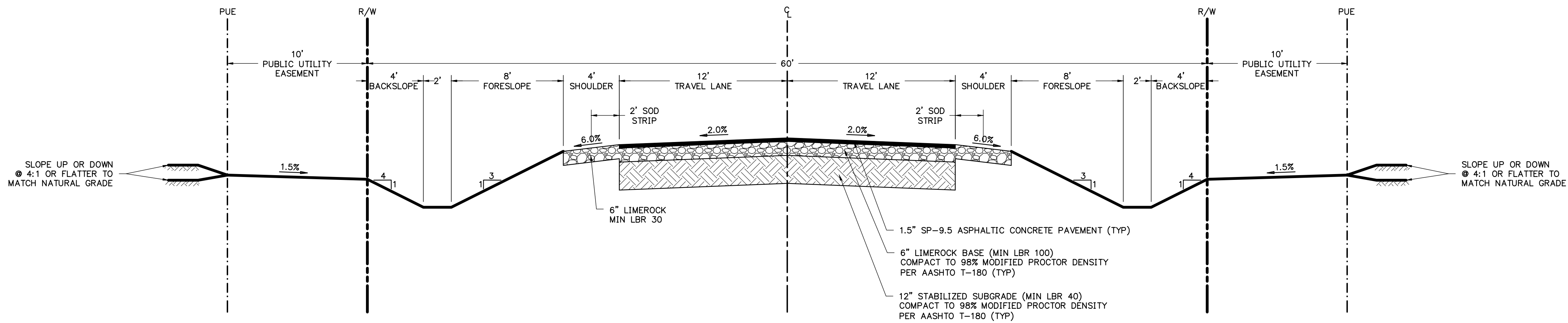
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SHEET TITLE:  BASIN 3 GRADING PLAN		SHEET NO:  C3.6 (15 of 30)		DATE: MARCH 2024	
CLIENT: SANDERS AND SONS FARMS, LLC LECANTO, FLORIDA		PROJECT:  SADDLE RIDGE ESTATES		PROJECT NO: 479-21-01	

J:\479-21-01 - High Springs Residential Project\Production\Civil\Sheet\C4.0 (16 of 30) TYPICAL ROADWAY SECTIONS AND UTILITY ALLOCATIONS.dwg, 3/6/2024 9:22:20 PM, Title

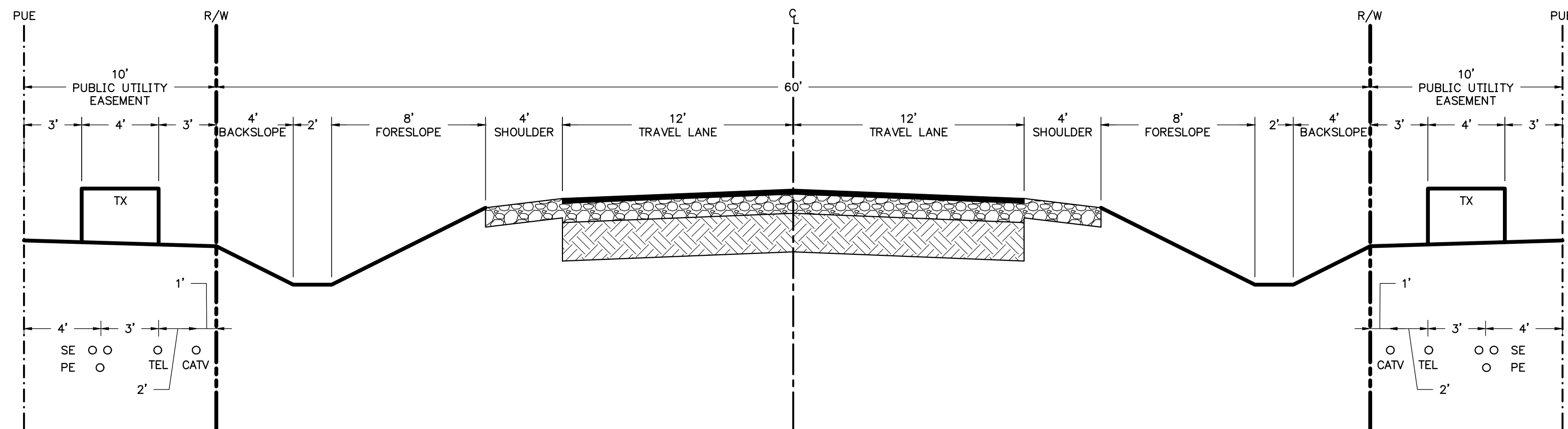


TYPICAL ROADWAY SECTION - 60' R/W

HORIZONTAL: 1" = 5'  
VERTICAL: 1" = 2.5'

NOTES:

- DESIGN SPEED = 25 MPH
- PROVIDE SOD ALONG ALL PAVED AREAS AS SHOWN.
- SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS WITH SLOPES LESS THAN OR EQUAL TO 4:1.
- ALL DISTURBED AREAS WITH SLOPES BETWEEN 4:1 AND 3:1 SHALL BE SODDED.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PINNED SOD.

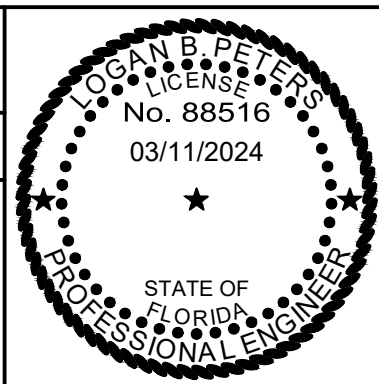


TYPICAL UTILITY ALLOCATIONS - 60' R/W

HORIZONTAL: 1" = 5'  
VERTICAL: 1" = 2.5'

REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

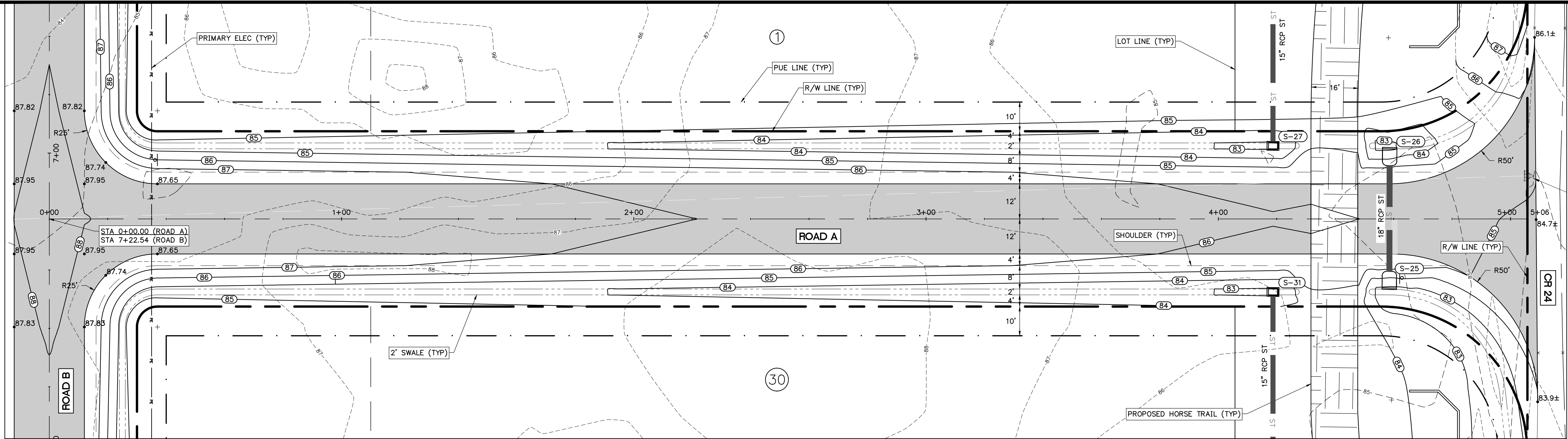
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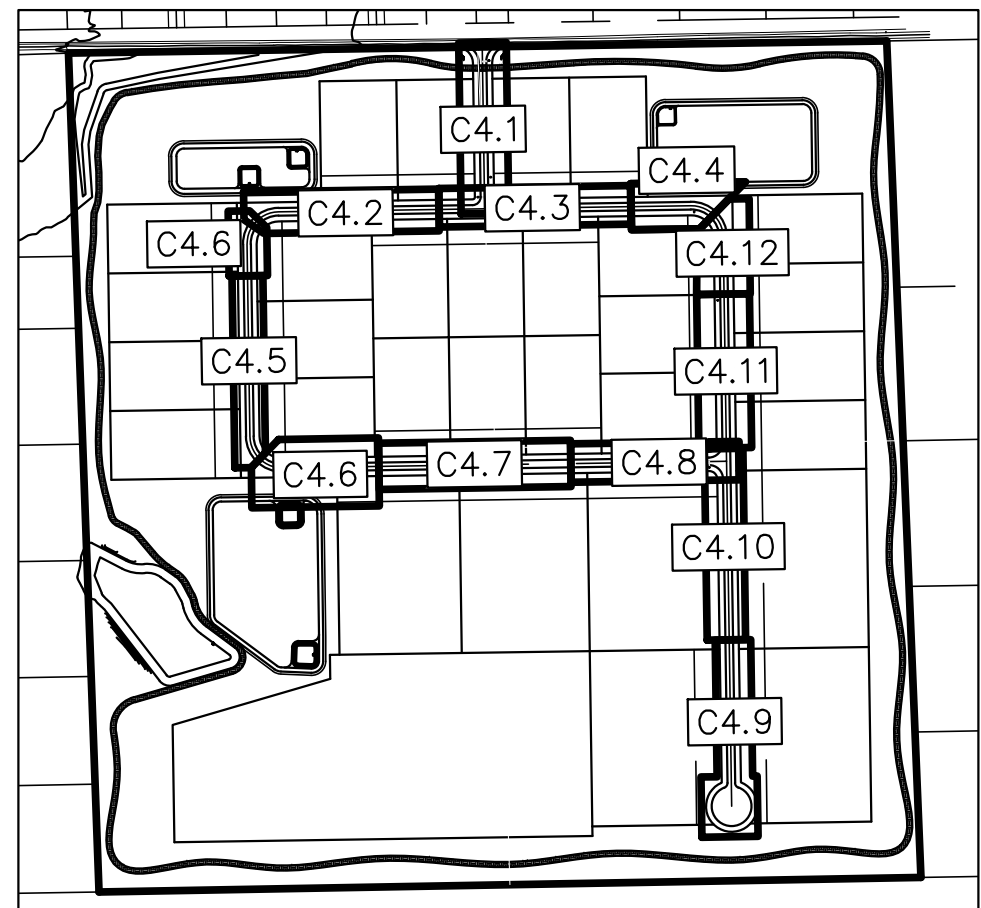
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SHEET TITLE:		TYPICAL ROADWAY SECTIONS AND UTILITY ALLOCATIONS
CLIENT:		SANDERS AND SONS FARMS, LLC LECANTO, FLORIDA

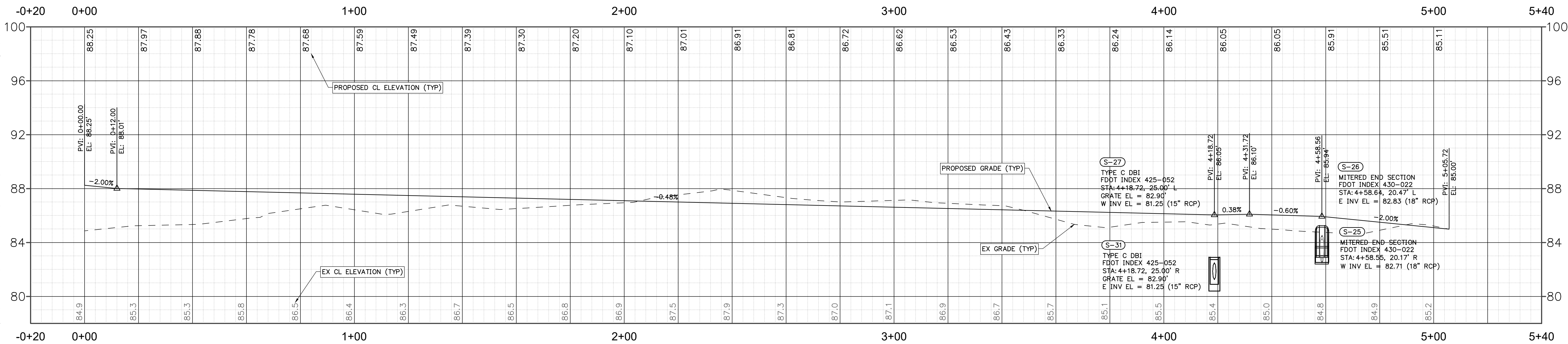
SHEET NO:		C4.0 (16 of 30)
DATE:		MARCH 2024
PROJECT NO:		479-21-01
PROJECT:		SADDLE RIDGE ESTATES



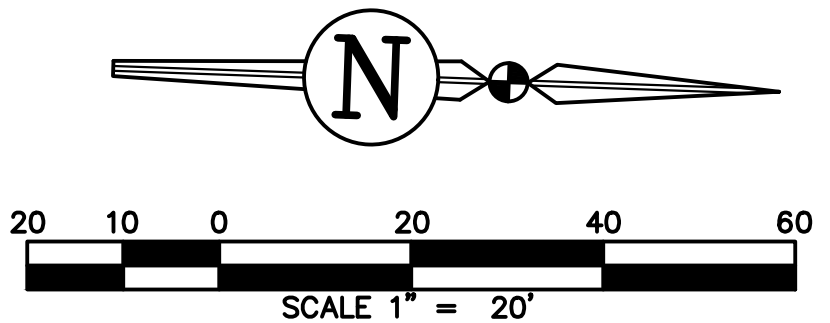
PLAN VIEW - ROAD A  
1" = 20'



KEY MAP  
1" = 600'



PROFILE VIEW - Alignment - Road A  
1"=20' H, 1"=4' V

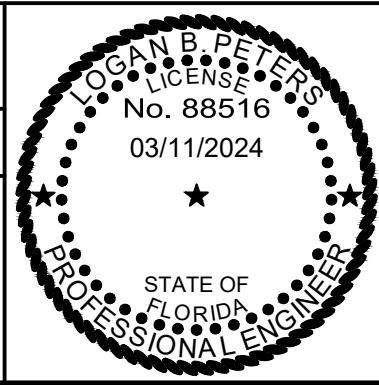


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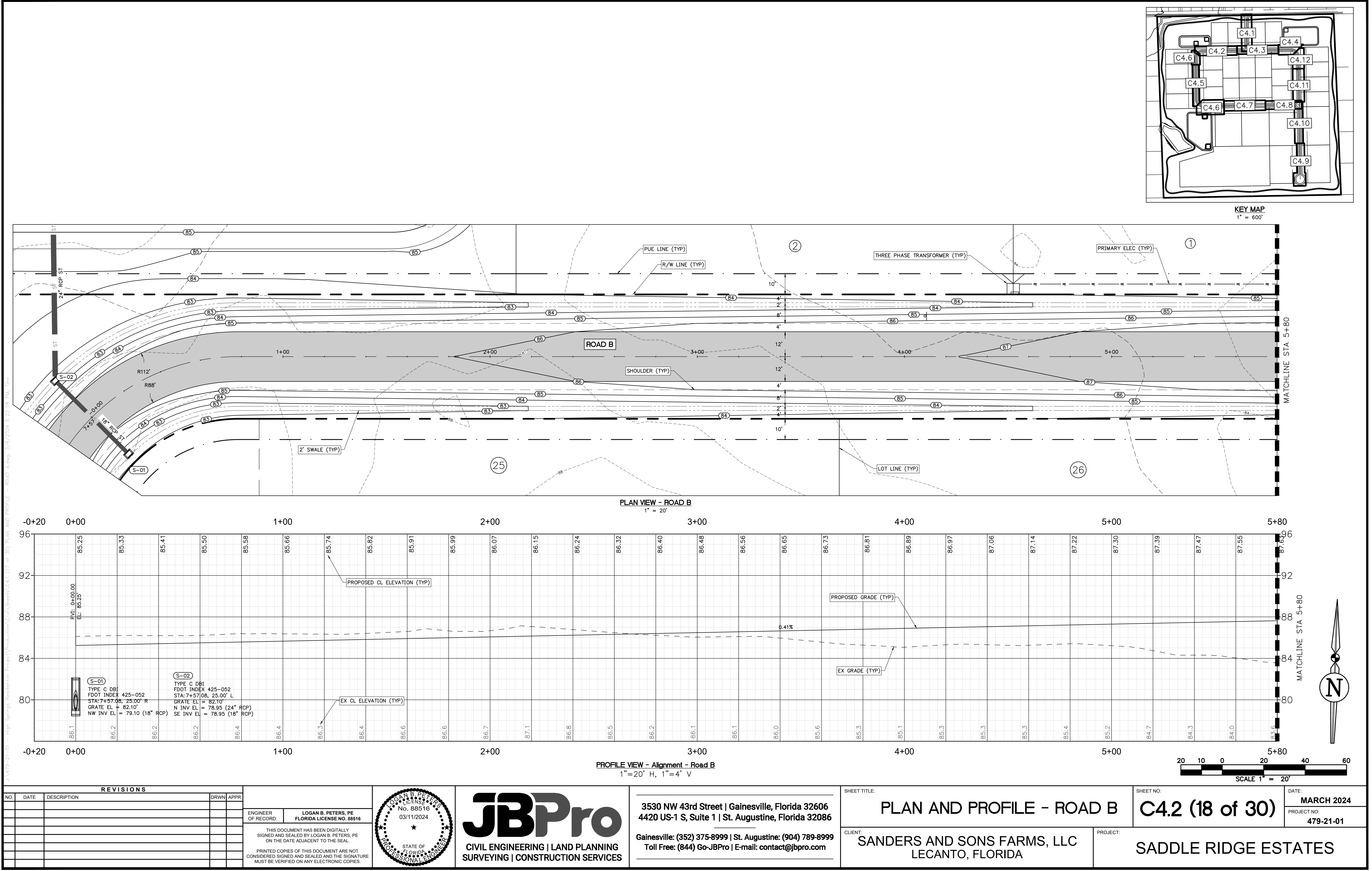
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CLIENT: **SANDERS AND SONS FARMS, LLC**  
LECANTO, FLORIDA

SHEET NO: **C4.1 (17 of 30)**

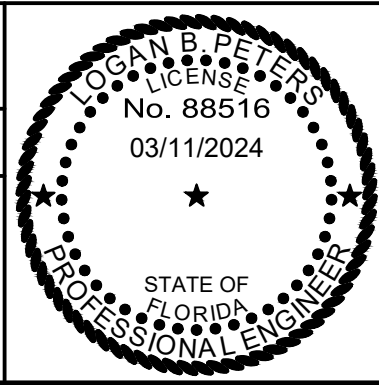
DATE: **MARCH 2024**  
PROJECT NO: **479-21-01**

**SADDLE RIDGE ESTATES**



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SHEET TITLE:  
**PLAN AND PROFILE - ROAD B**

CLIENT:  
**SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA**

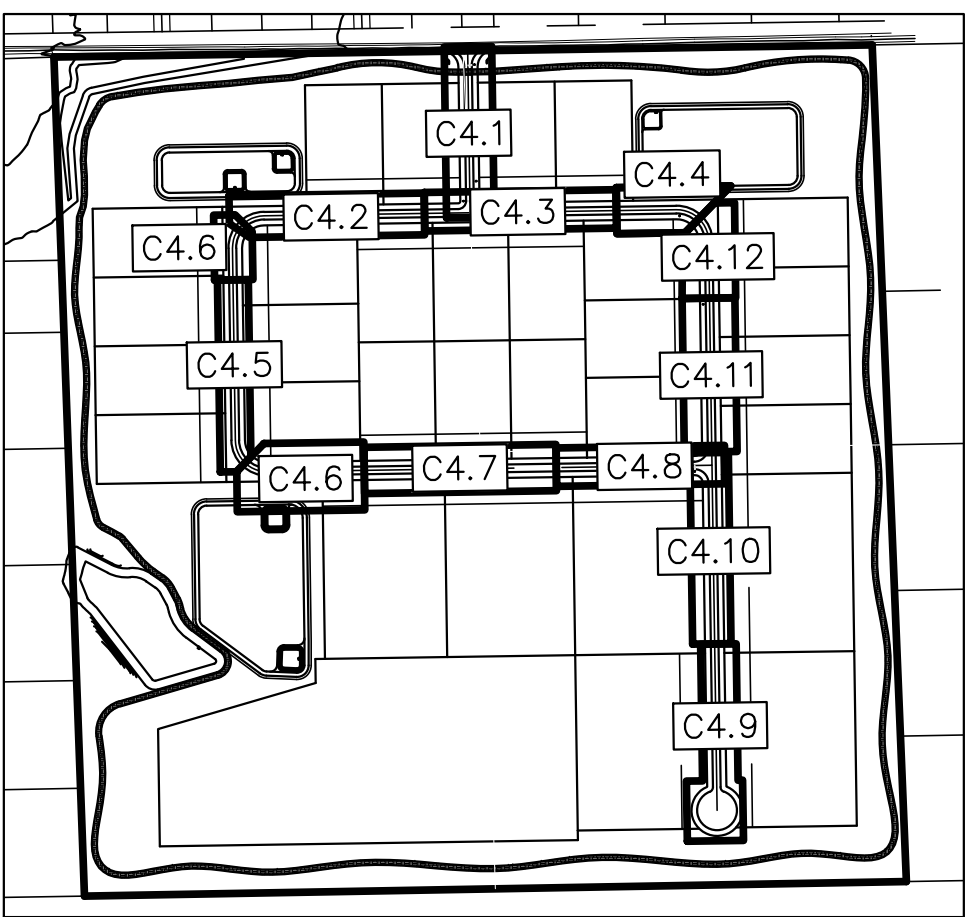
SHEET NO.:  
**C4.2 (18 of 30)**

DATE:  
**MARCH 2024**

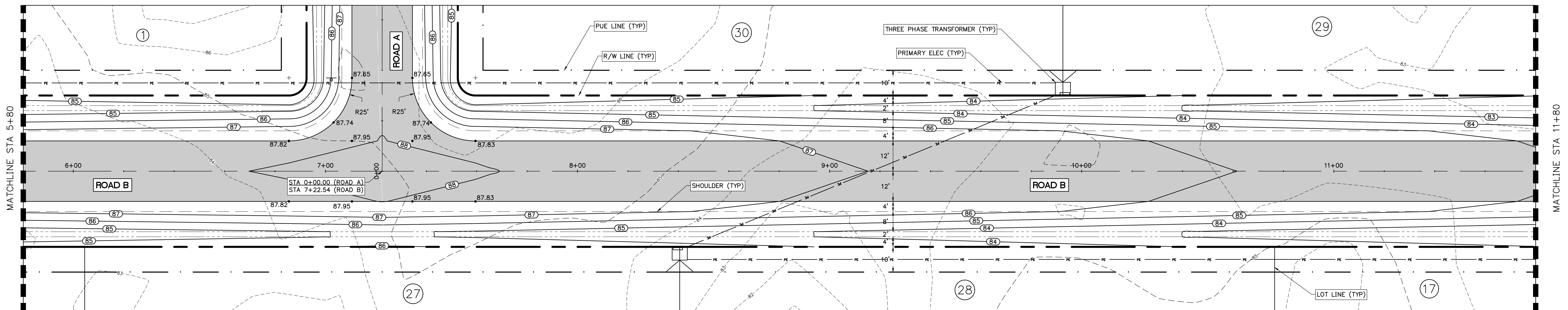
PROJECT NO.:  
**479-21-01**

PROJECT:  
**SADDLE RIDGE ESTATES**

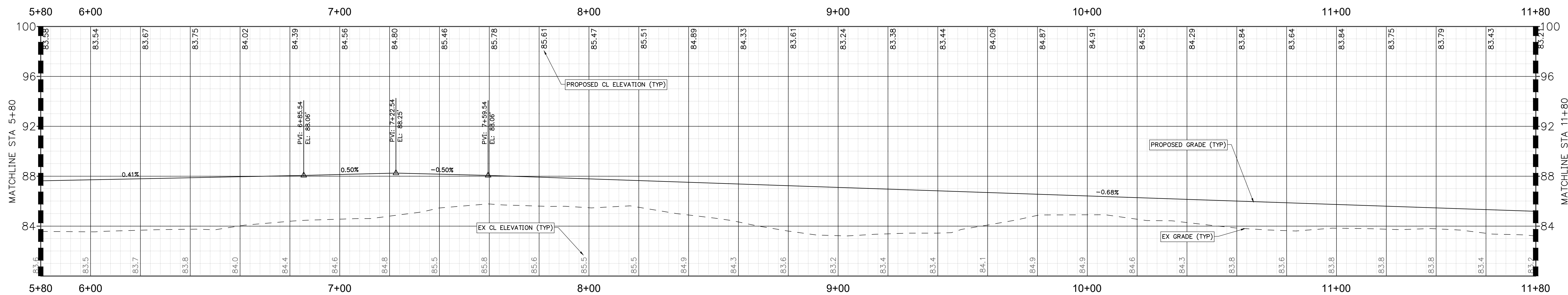




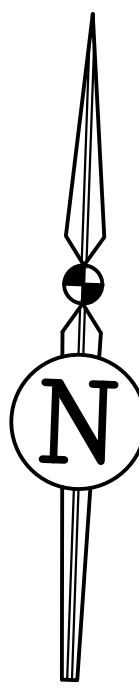
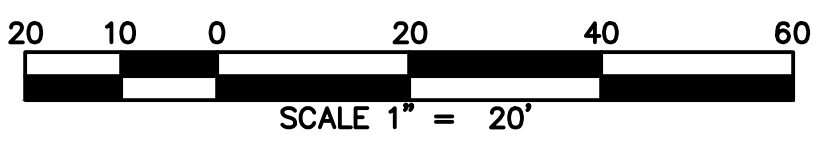
KEY MAP  
1" = 600'



PLAN VIEW - ROAD B  
1" = 20'

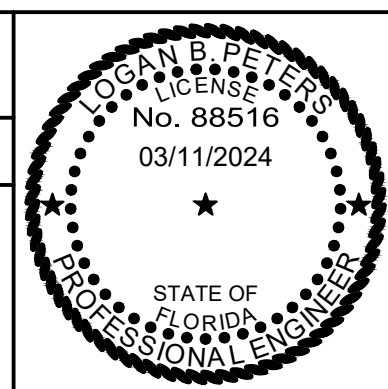


PROFILE VIEW - Alignment - Road B  
1" = 20' H, 1" = 4' V



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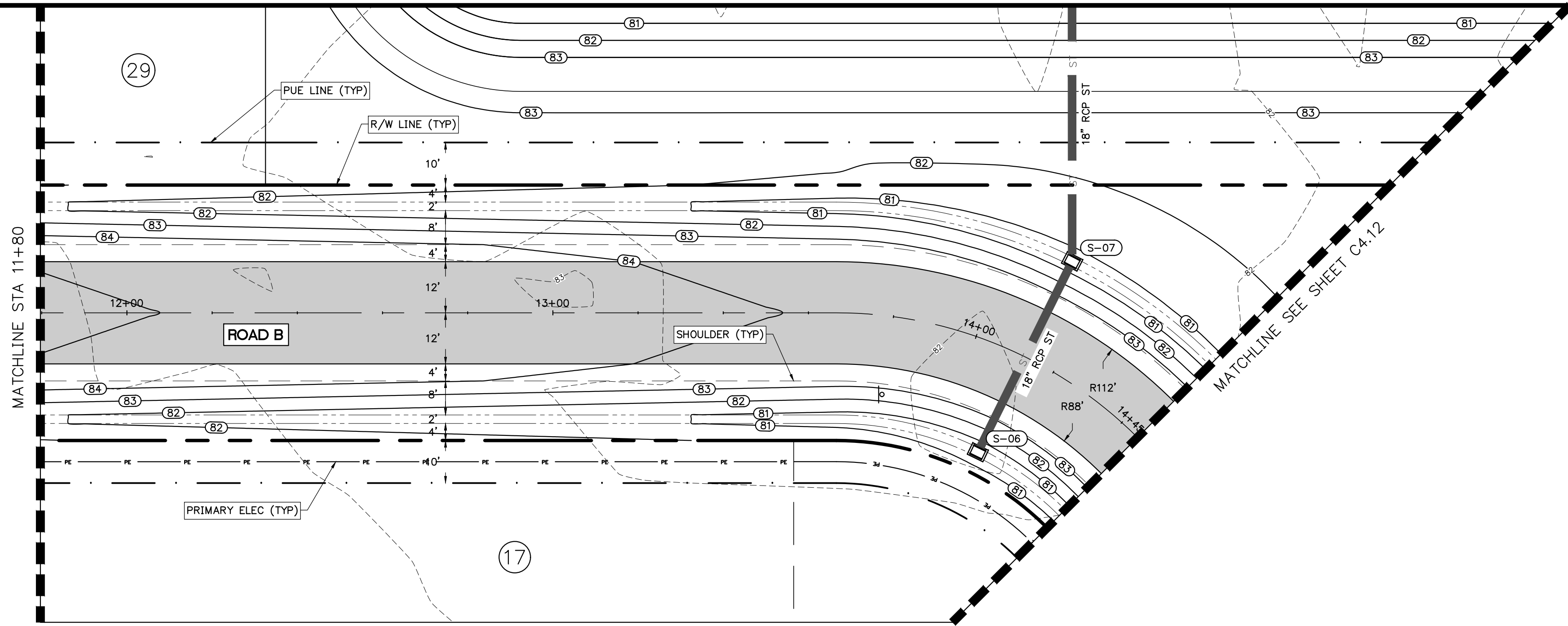


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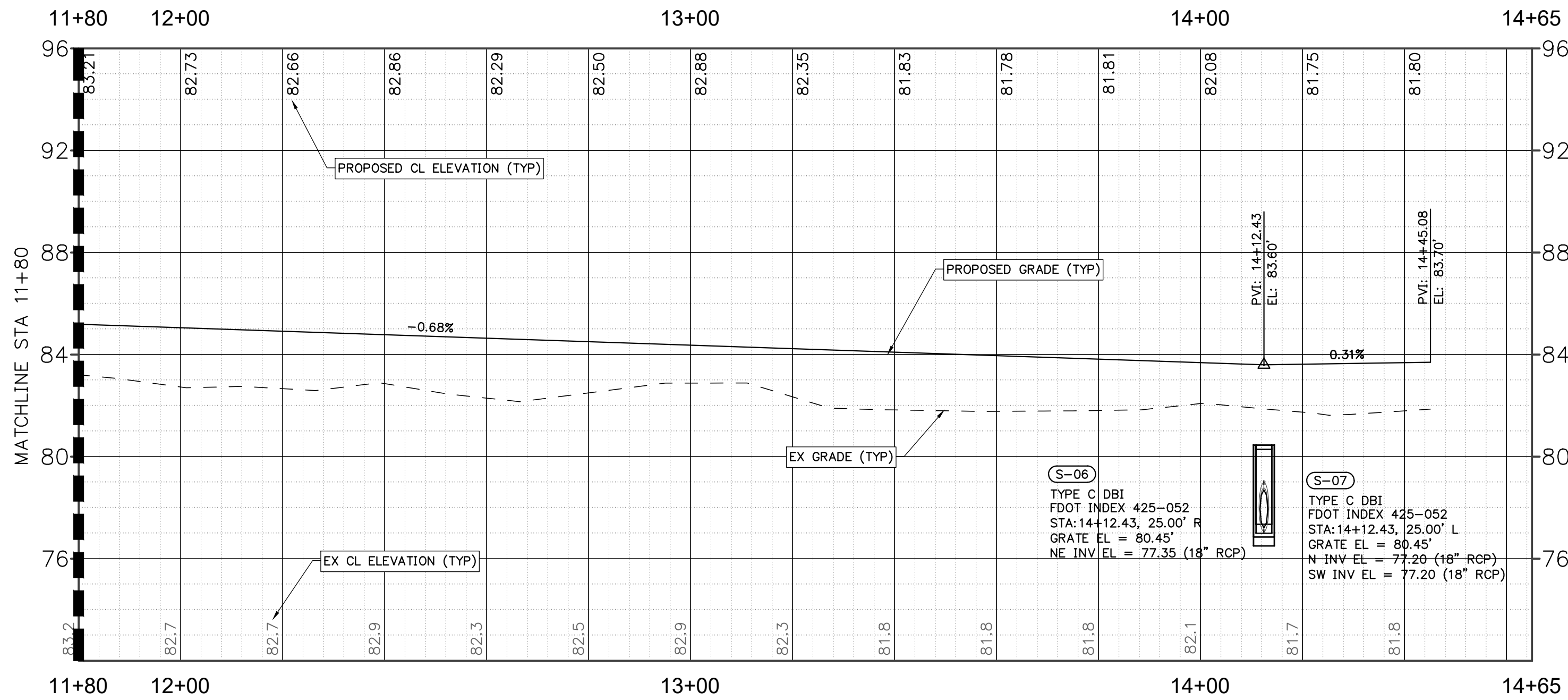
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SHEET TITLE:  
**PLAN AND PROFILE - ROAD B**  
CLIENT:  
**SANDERS AND SONS FARMS, LLC**  
**LECANTO, FLORIDA**

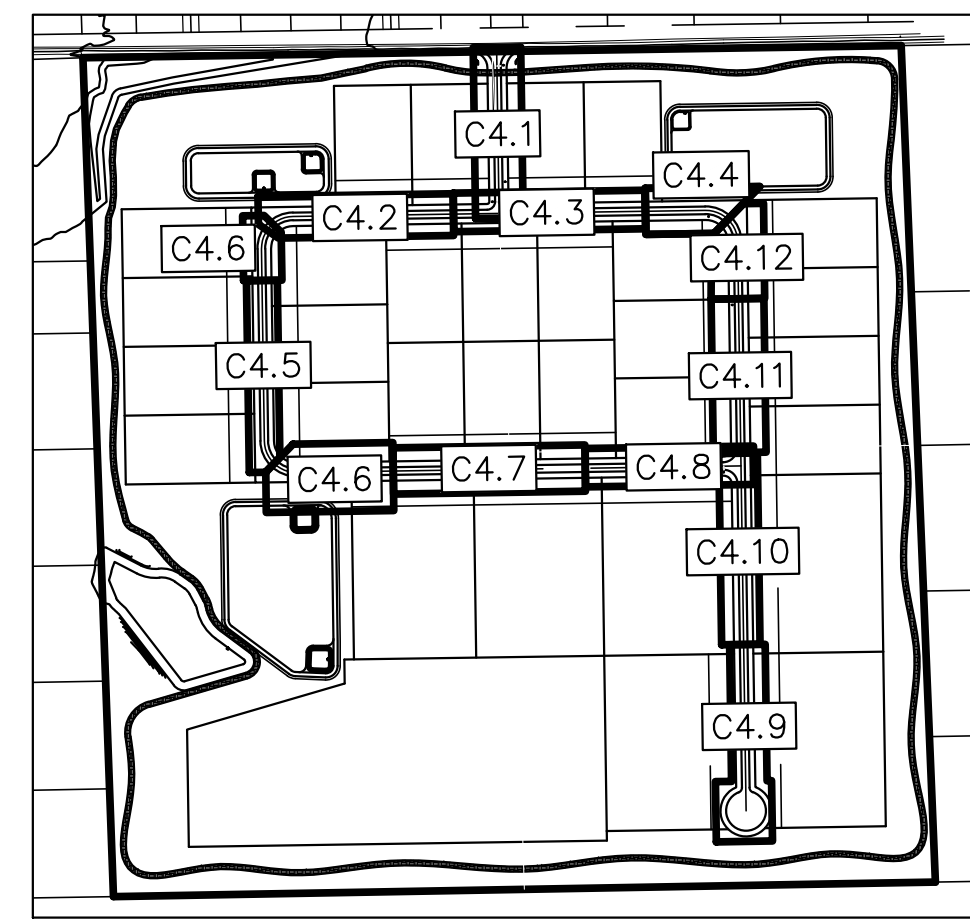
SHEET NO:  
**C4.3 (19 of 30)**  
PROJECT:  
**SADDLE RIDGE ESTATES**  
DATE:  
**MARCH 2024**  
PROJECT NO:  
**479-21-01**



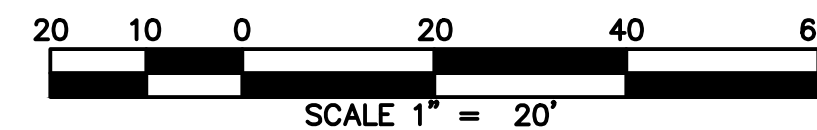
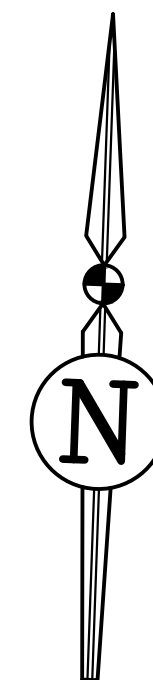
PLAN VIEW - ROAD B  
1" = 20'



PROFILE VIEW - Alignment - Road B  
1"=20' H, 1"=4' V

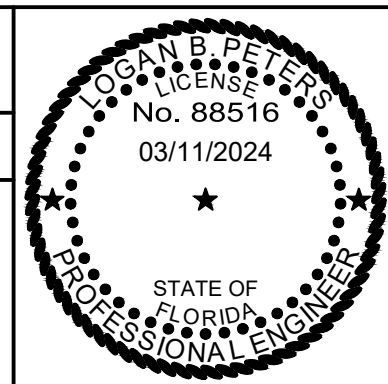


KEY MAP  
1" = 600'



REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

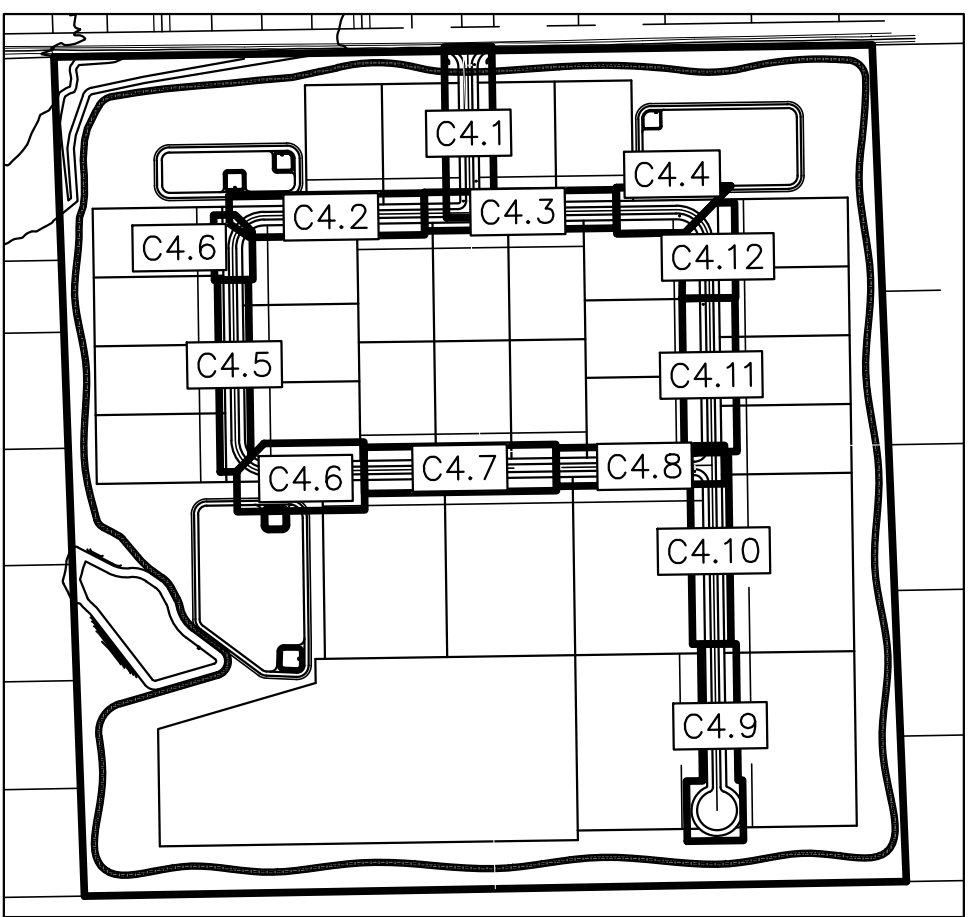
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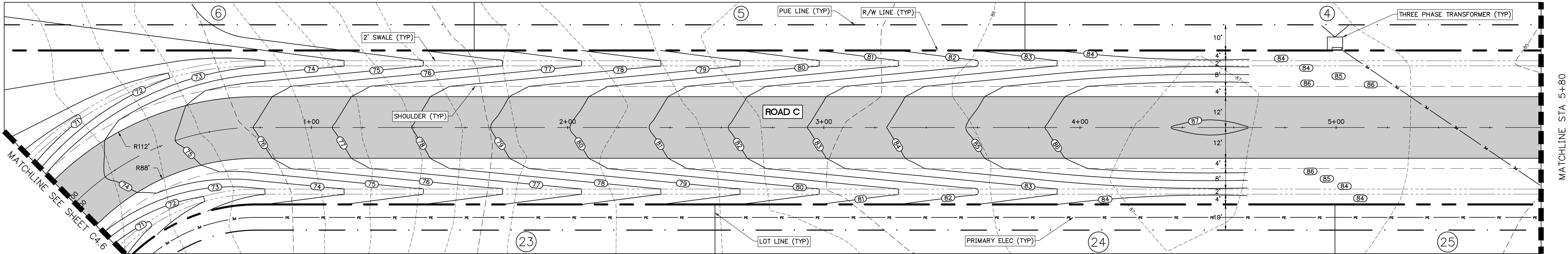
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SHEET TITLE: PLAN AND PROFILE - ROAD B	
CLIENT: SANDERS AND SONS FARMS, LLC LECANTO, FLORIDA	PROJECT: SADDLE RIDGE ESTATES

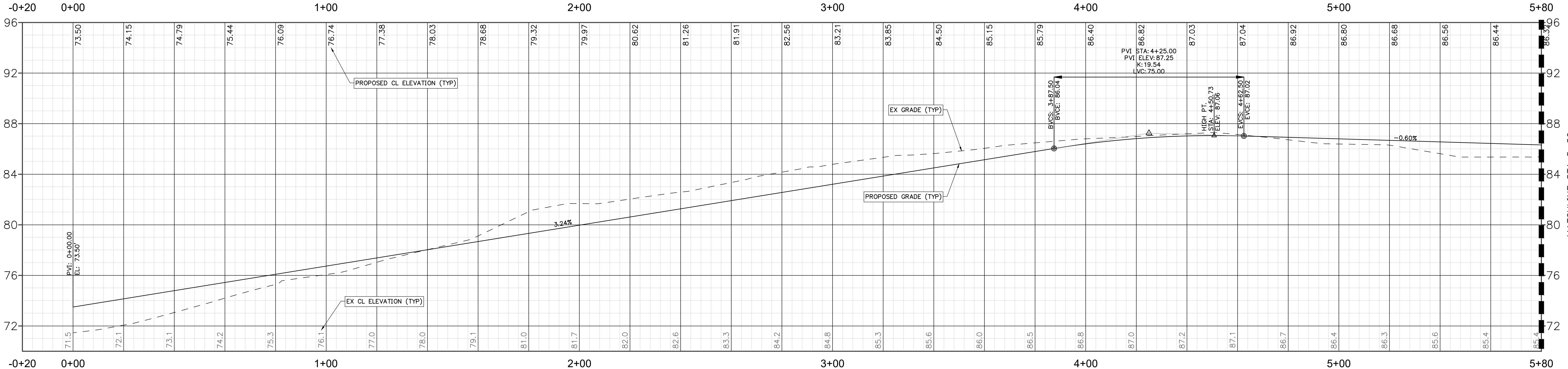
SHEET NO: C4.4 (20 of 30)	DATE: MARCH 2024
PROJECT NO: 479-21-01	



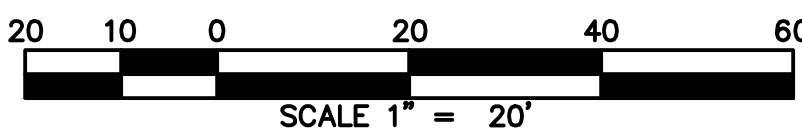
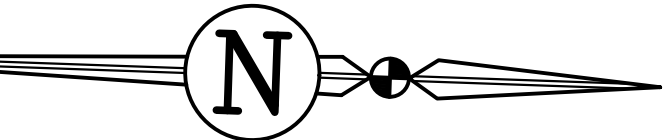
KEY MAP  
1" = 600'



PLAN VIEW - ROAD C  
1" = 20'



PROFILE VIEW - Alignment - Road C  
1"=20' H, 1"=4' V

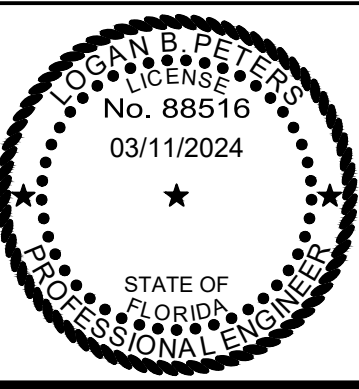


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SHEET TITLE: **PLAN AND PROFILE - ROAD C**

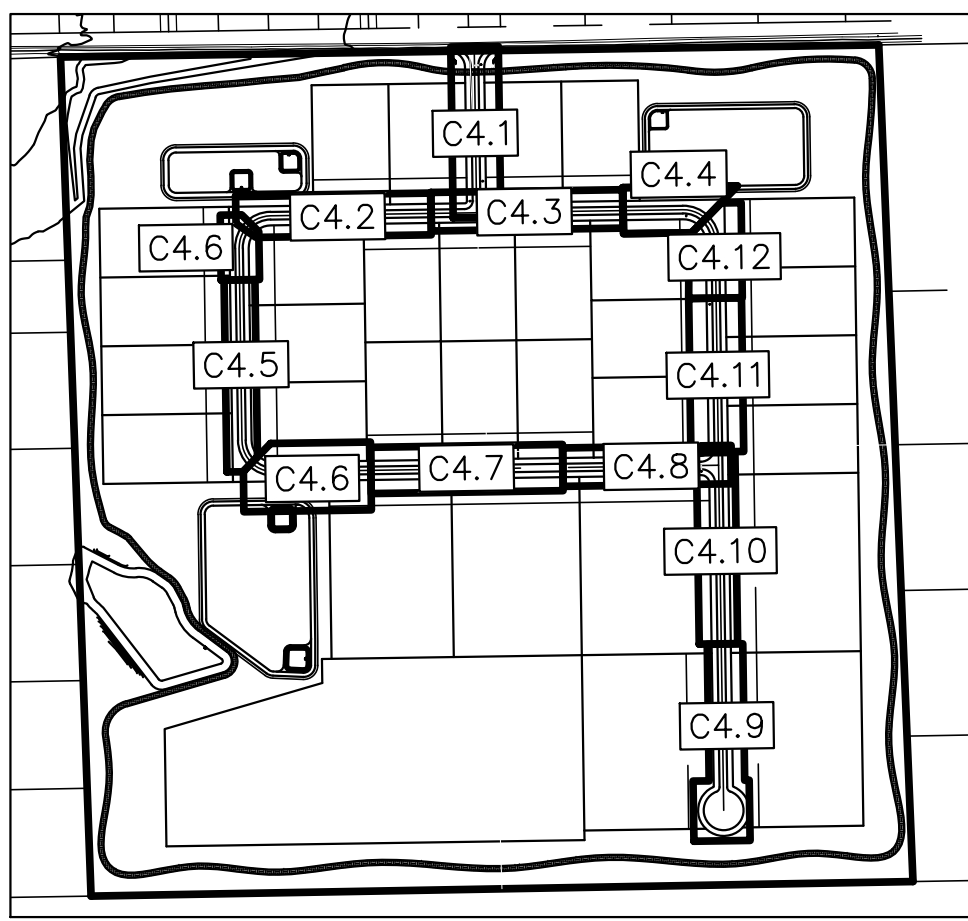
CLIENT: **SANDERS AND SONS FARMS, LLC**  
LECANTO, FLORIDA

SHEET NO: **C4.5 (21 of 30)**

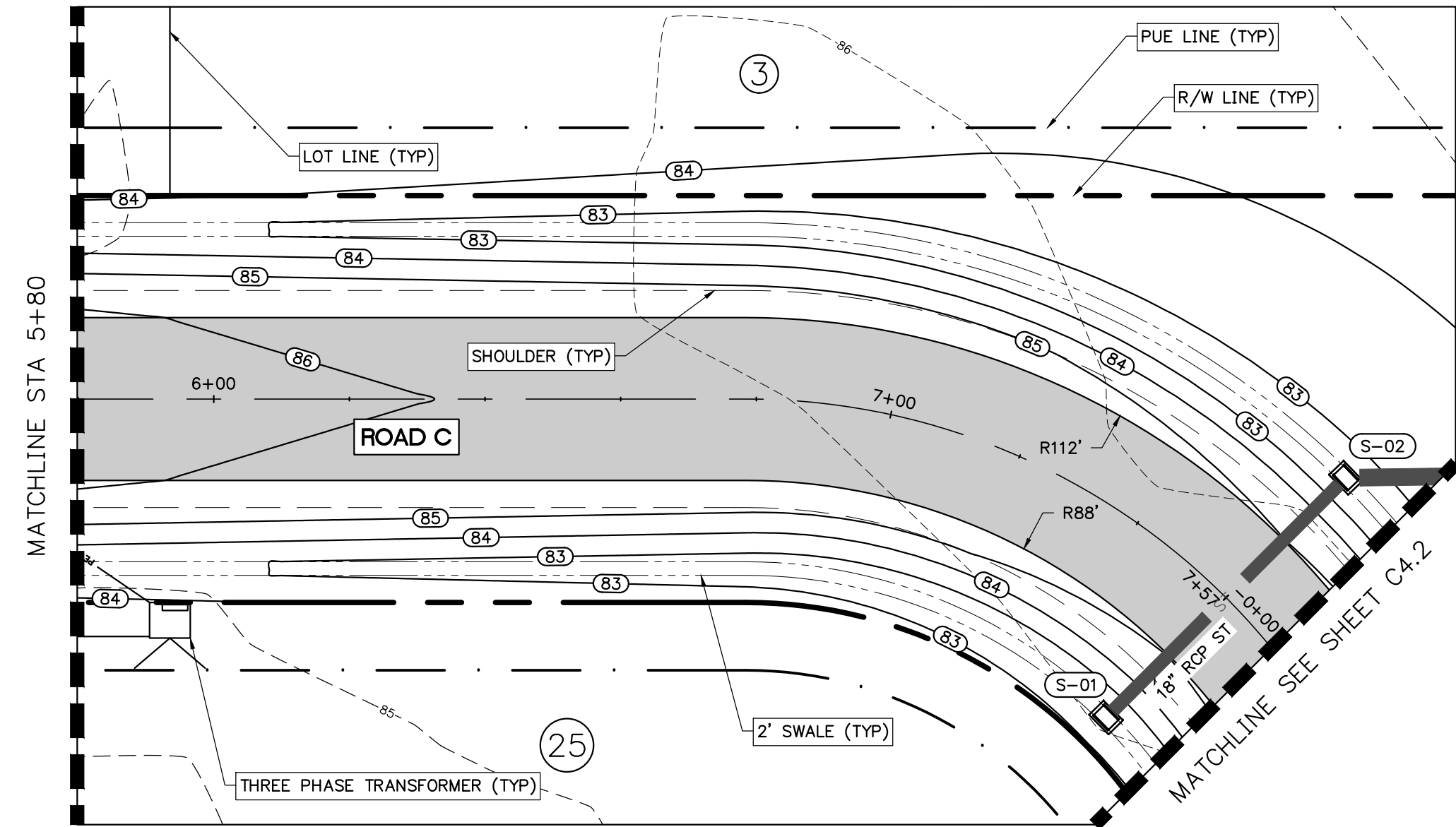
DATE: **MARCH 2024**

PROJECT NO: **479-21-01**

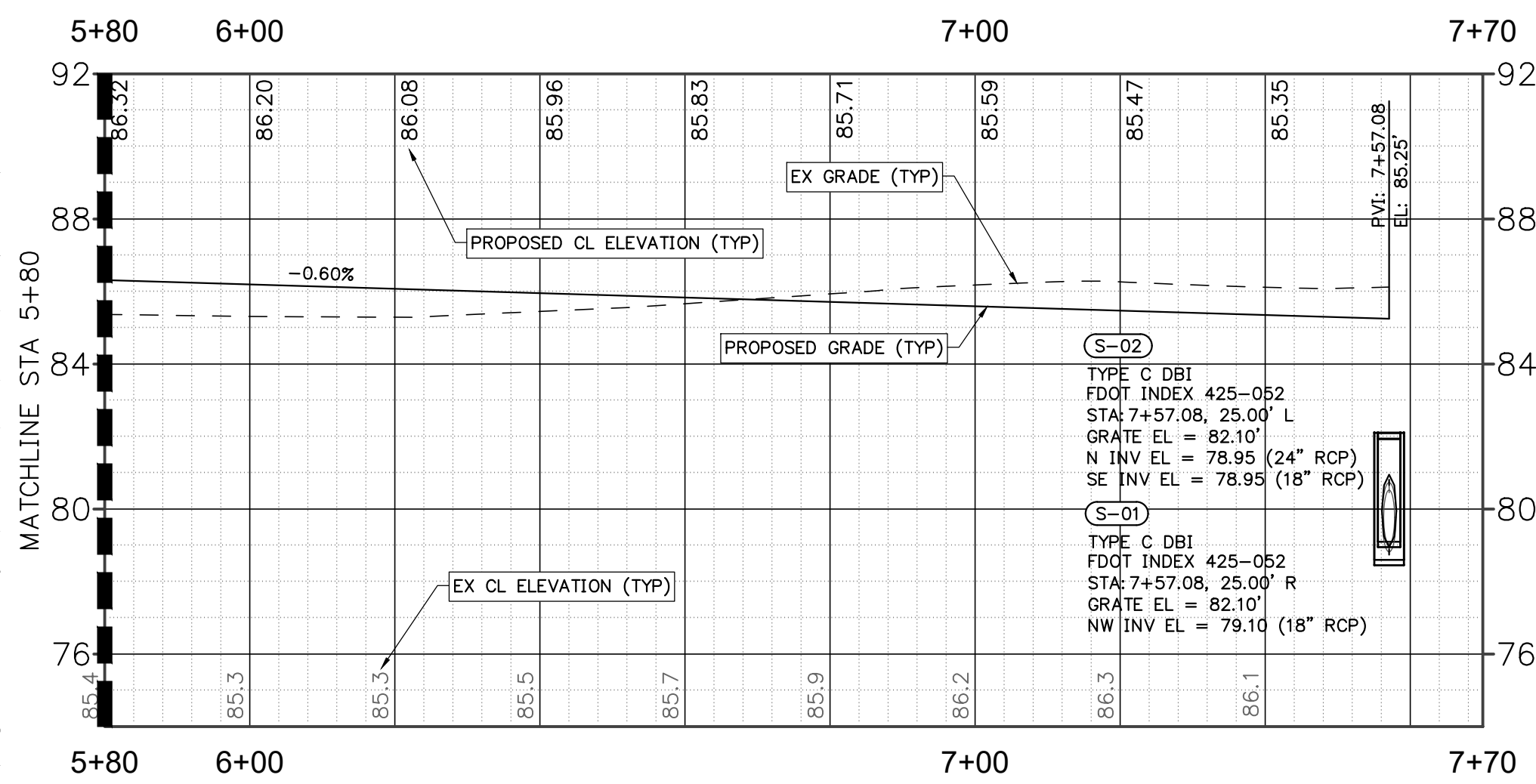
PROJECT: **SADDLE RIDGE ESTATES**



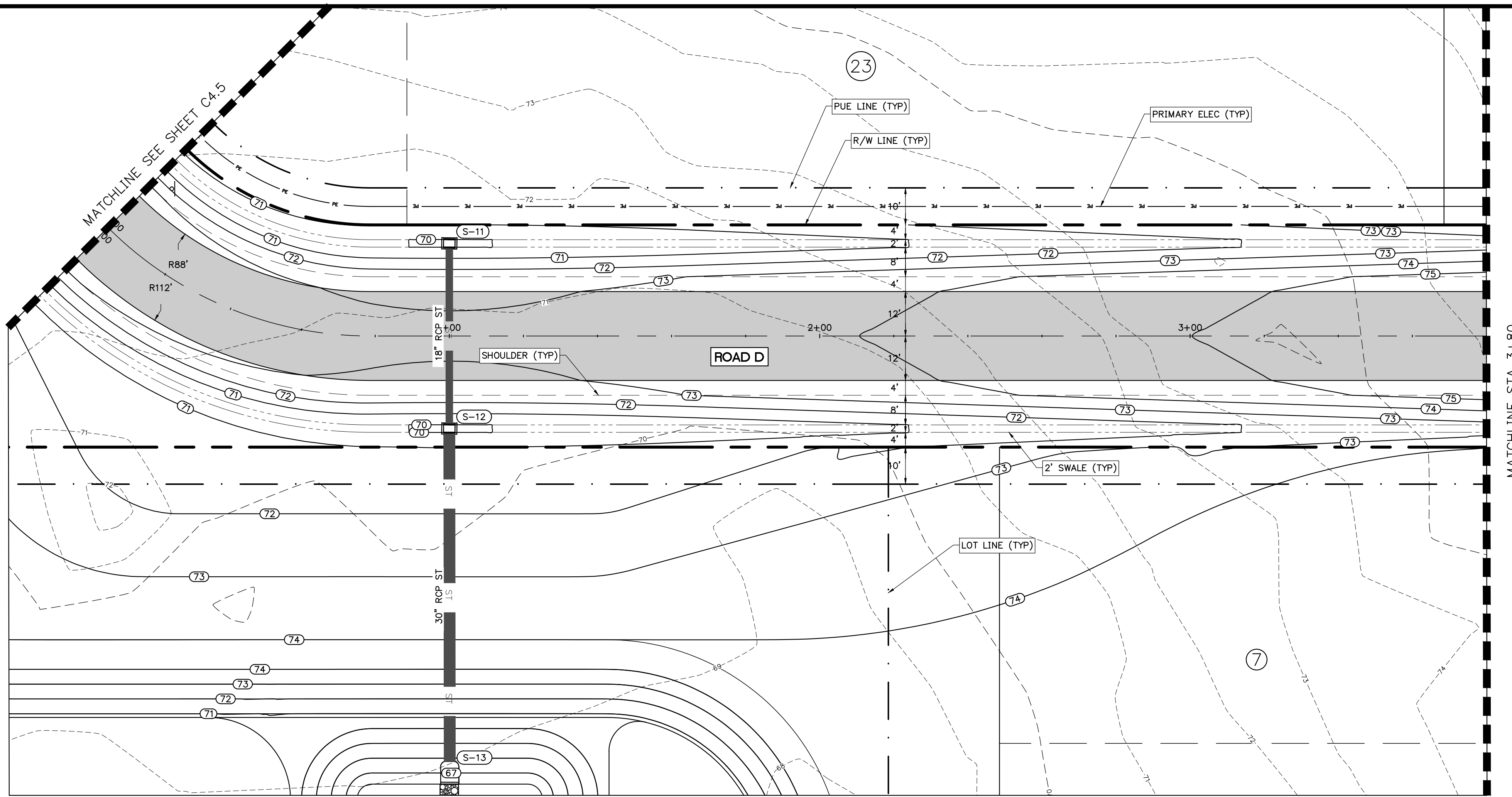
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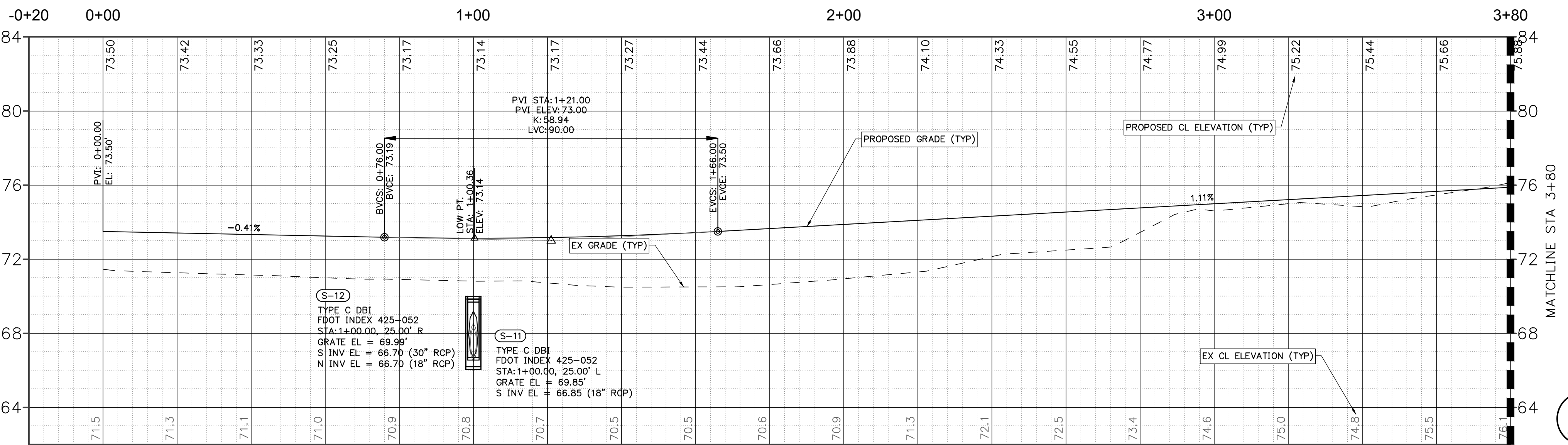
PLAN VIEW - ROAD C  
1" = 20'



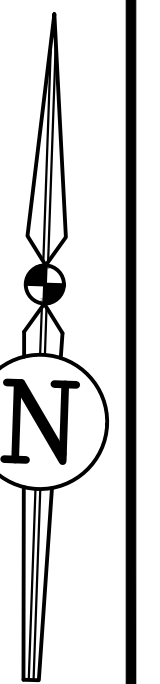
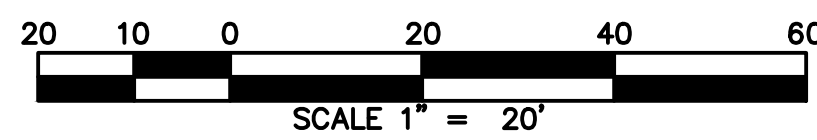
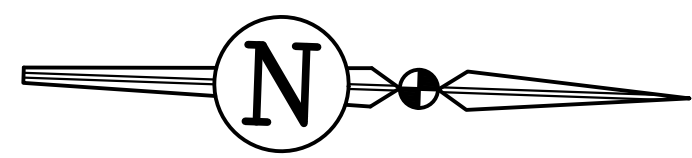
PROFILE VIEW - Alignment - Road C  
1"=20' H, 1"=4' V



PLAN VIEW - ROAD D  
1" = 20'

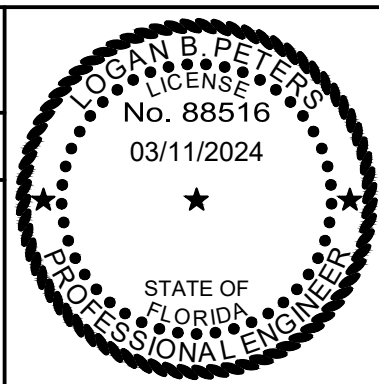


PROFILE VIEW - Alignment - Road D  
1"=20' H, 1"=4' V



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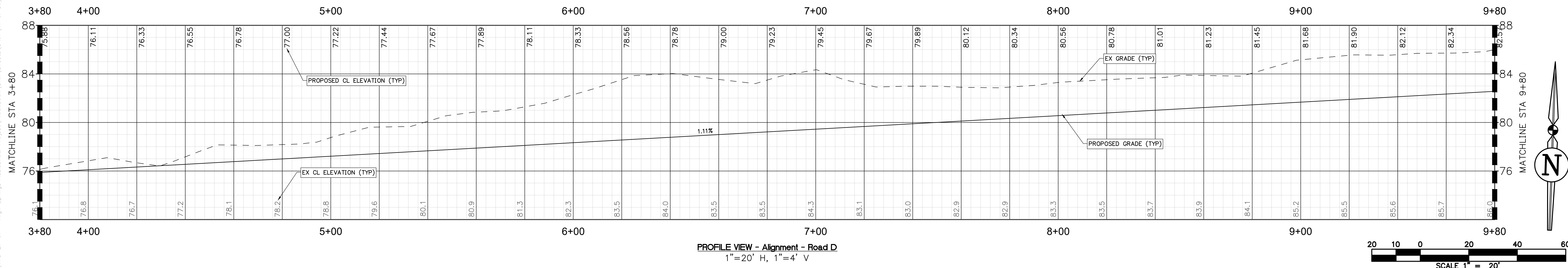
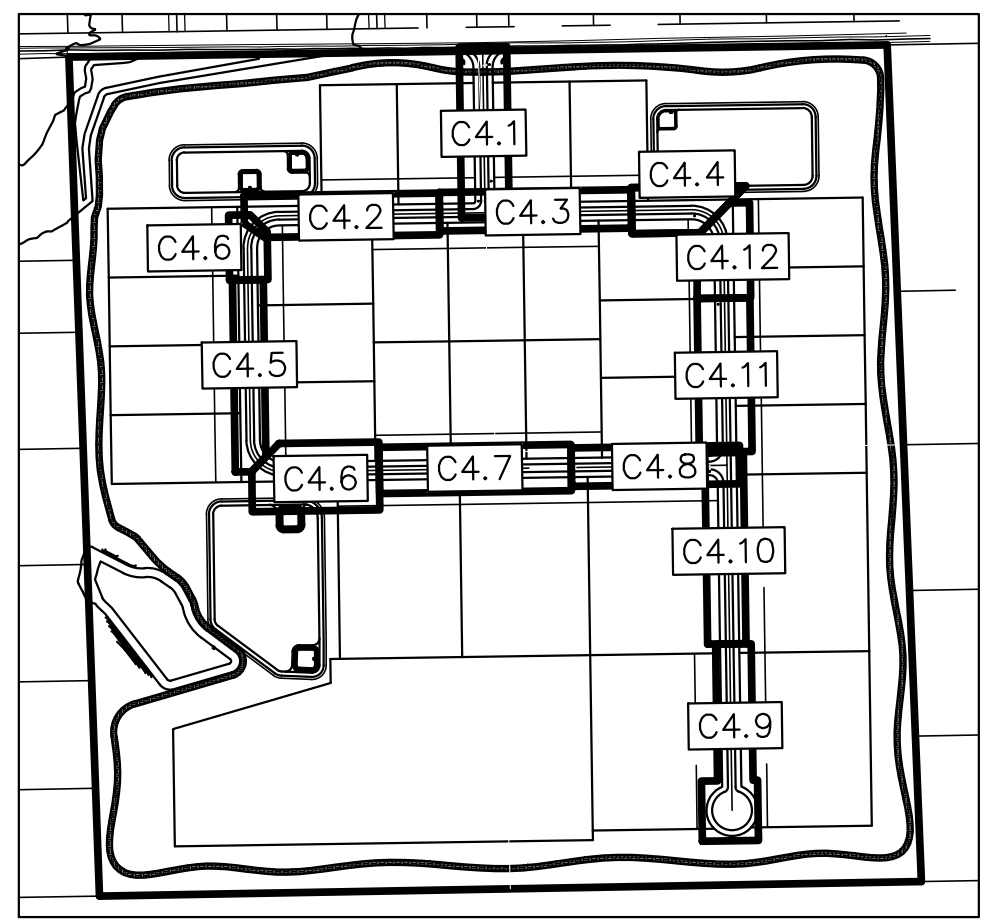
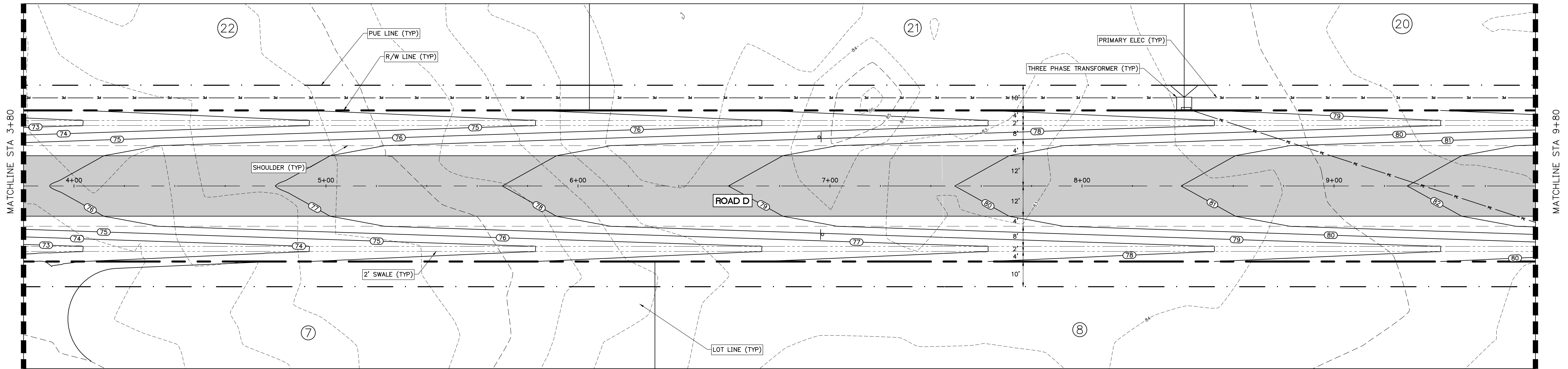
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SHEET TITLE:  
**PLAN AND PROFILE  
- ROAD C AND D**  
CLIENT:  
**SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA**

SHEET NO:  
**C4.6 (22 of 30)**  
PROJECT:  
**SADDLE RIDGE ESTATES**  
DATE:  
**MARCH 2024**  
PROJECT NO:  
**479-21-01**



J:\479-21-01 - High Springs Residential Project\Production\CA\Sheets\C4.1 (17 of 30) PLAN AND PROFILE - ROAD D.dwg, 3/8/2024 5:23:53 PM, Title

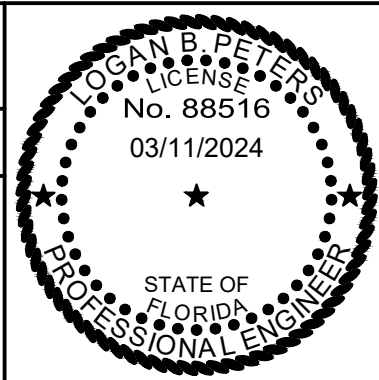


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NO.	DATE	DESCRIPTION	DRWN	APPR

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OF RECORD: LOGAN B. PETERS, PE  
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SHEET TITLE: PLAN AND PROFILE - ROAD D

CLIENT: SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA

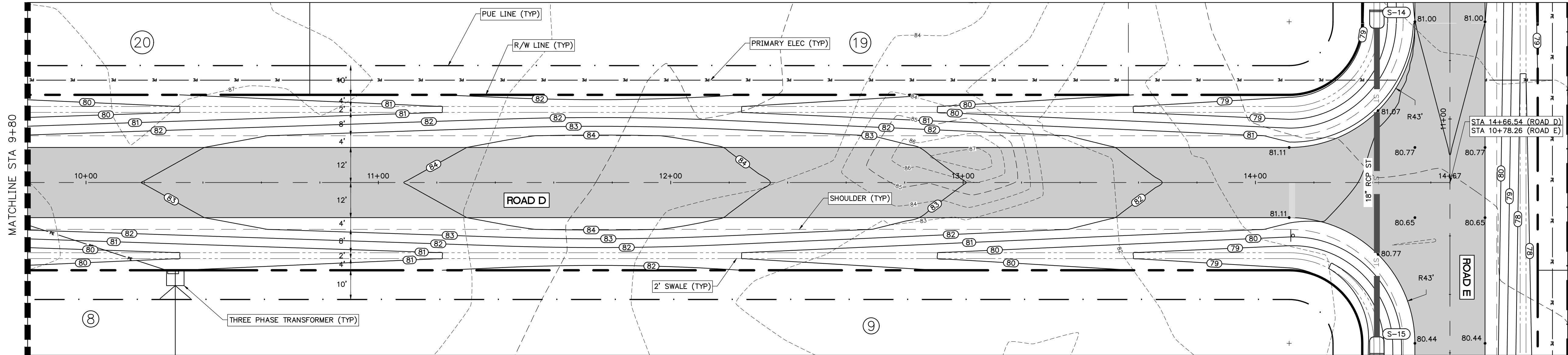
SHEET NO: C4.7 (23 of 30)

DATE: MARCH 2024

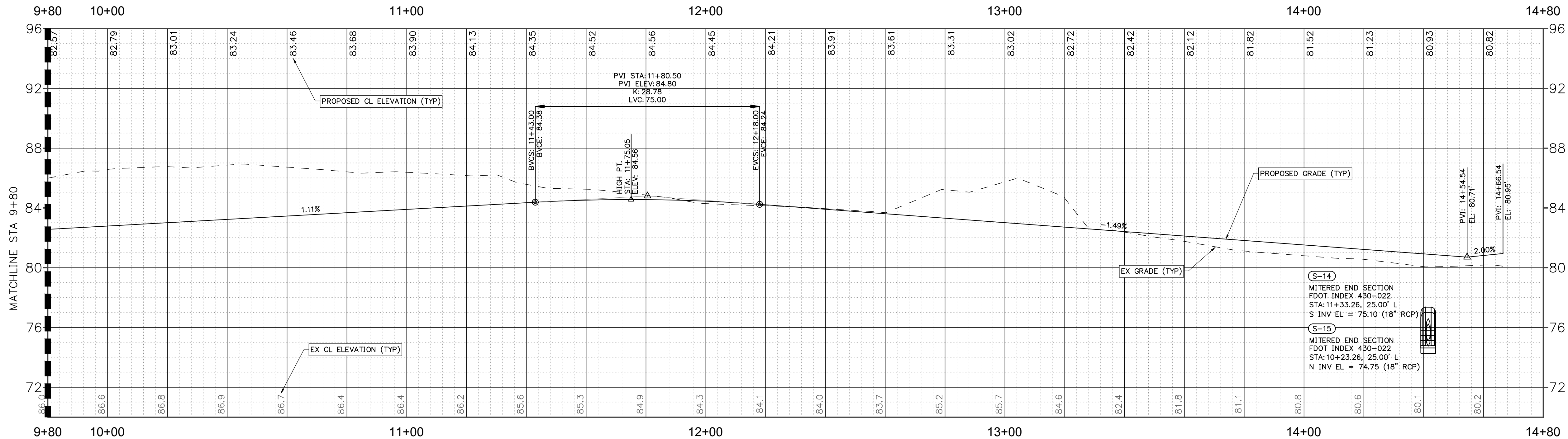
PROJECT NO: 479-21-01

PROJECT: SADDLE RIDGE ESTATES

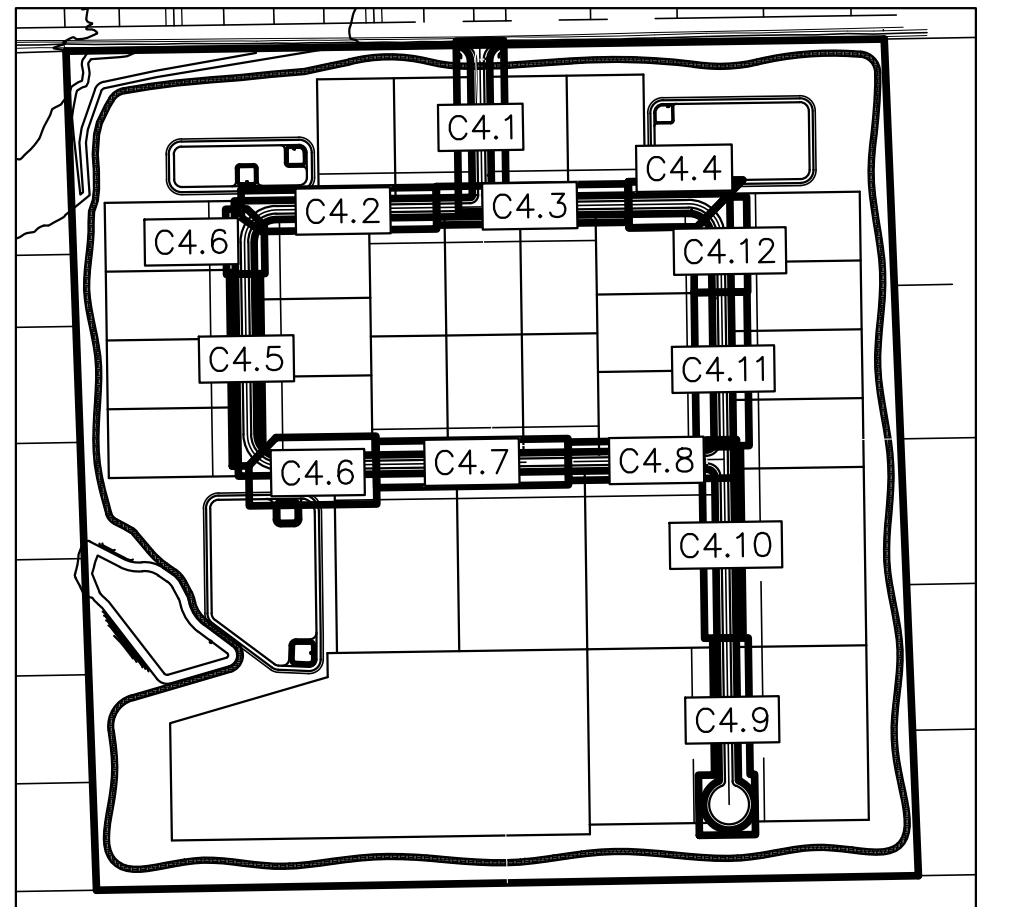
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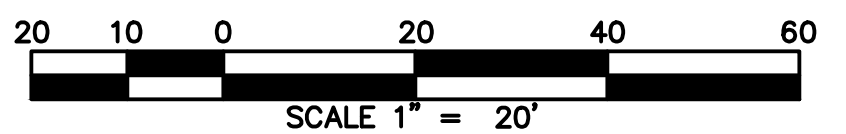
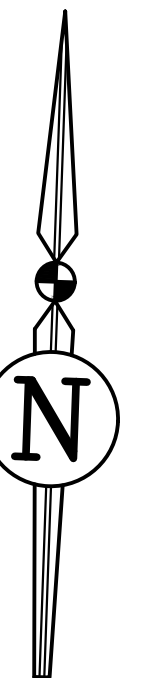
PLAN VIEW - ROAD D  
1" = 20'



PROFILE VIEW - Alignment - Road D  
1"=20' H, 1"=4' V

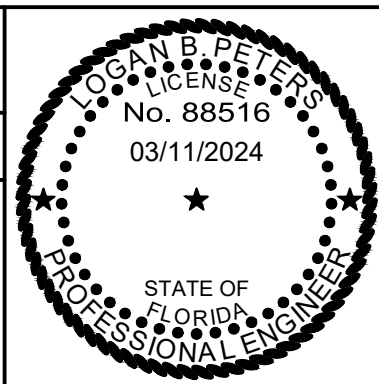


KEY MAP  
1" = 600'



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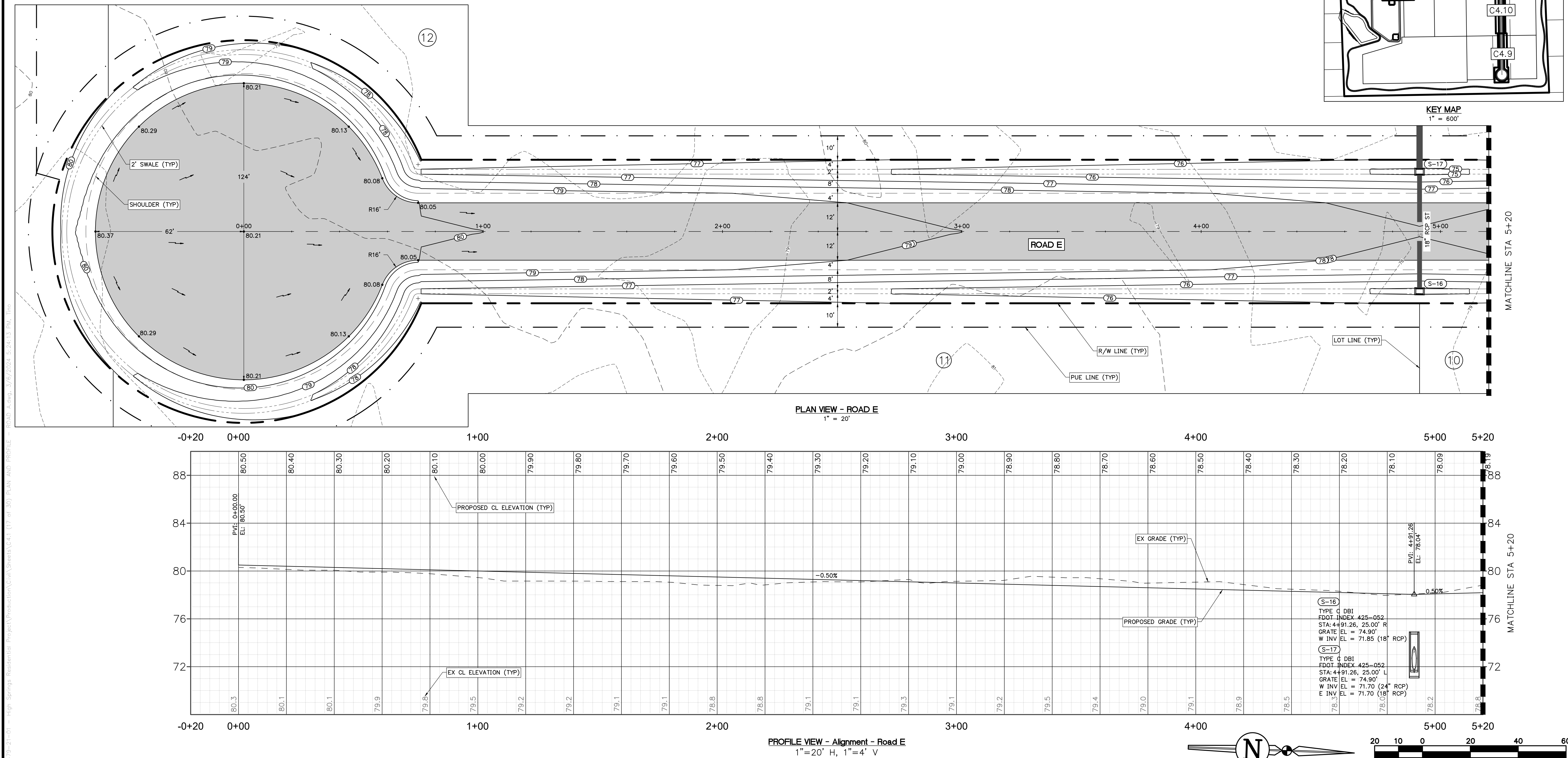


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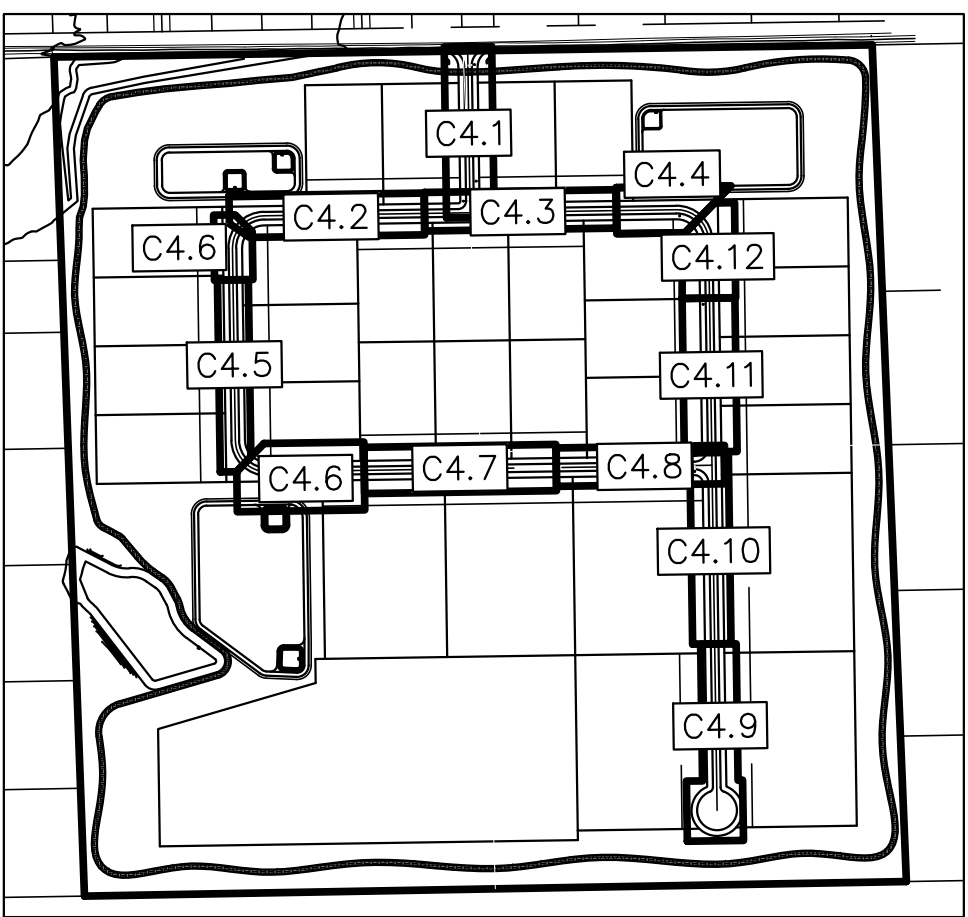
SHEET TITLE:		PLAN AND PROFILE - ROAD D
CLIENT:		SANDERS AND SONS FARMS, LLC LECANTO, FLORIDA

SHEET NO:		C4.8 (24 of 30)
DATE:		MARCH 2024
PROJECT NO:		479-21-01
PROJECT:		SADDLE RIDGE ESTATES

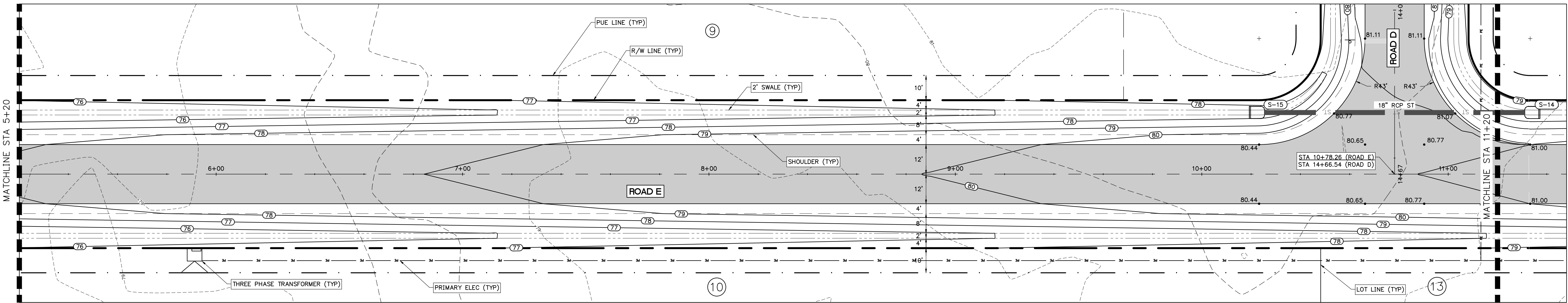


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NO.	DATE	DESCRIPTION	DRWN	APPR	ENGINEER OF RECORD:	LOGAN B. PETERS, PE FLORIDA LICENSE NO. 88516					PLAN AND PROFILE – ROAD E	C4.9 (25 of 30)	MARCH 2024			

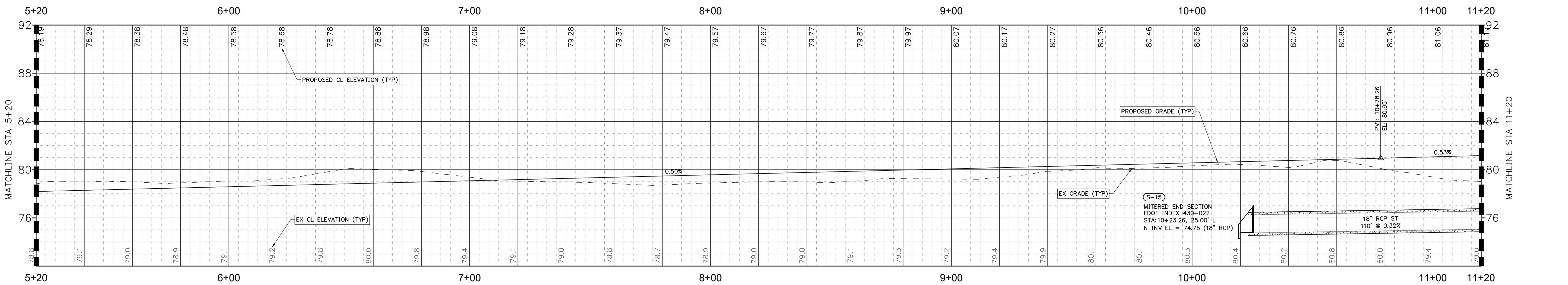
\\fs-21-01\High\_Springs\_Residential\_Project\Production\CA\Sheets\C4.1 (17 of 30) PLAN AND PROFILE - ROAD E.dwg, 3/17/2024 5:24:13 PM, line



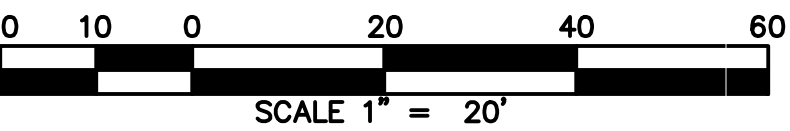
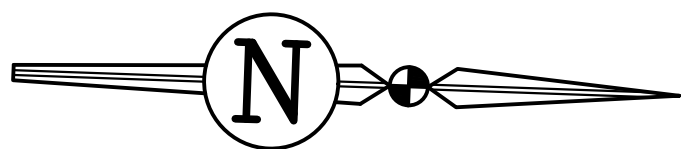
KEY MAP  
1" = 600'



PLAN VIEW - ROAD E  
1" = 20'



PROFILE VIEW - Alignment - Road E  
1" = 20' H, 1" = 4' V

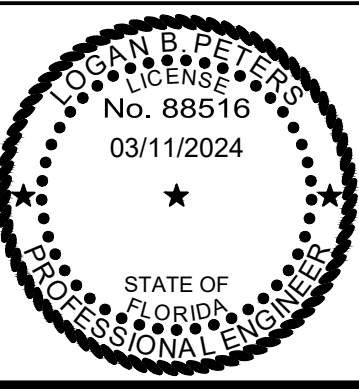


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SHEET TITLE:  
**PLAN AND PROFILE - ROAD E**

CLIENT:  
**SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA**

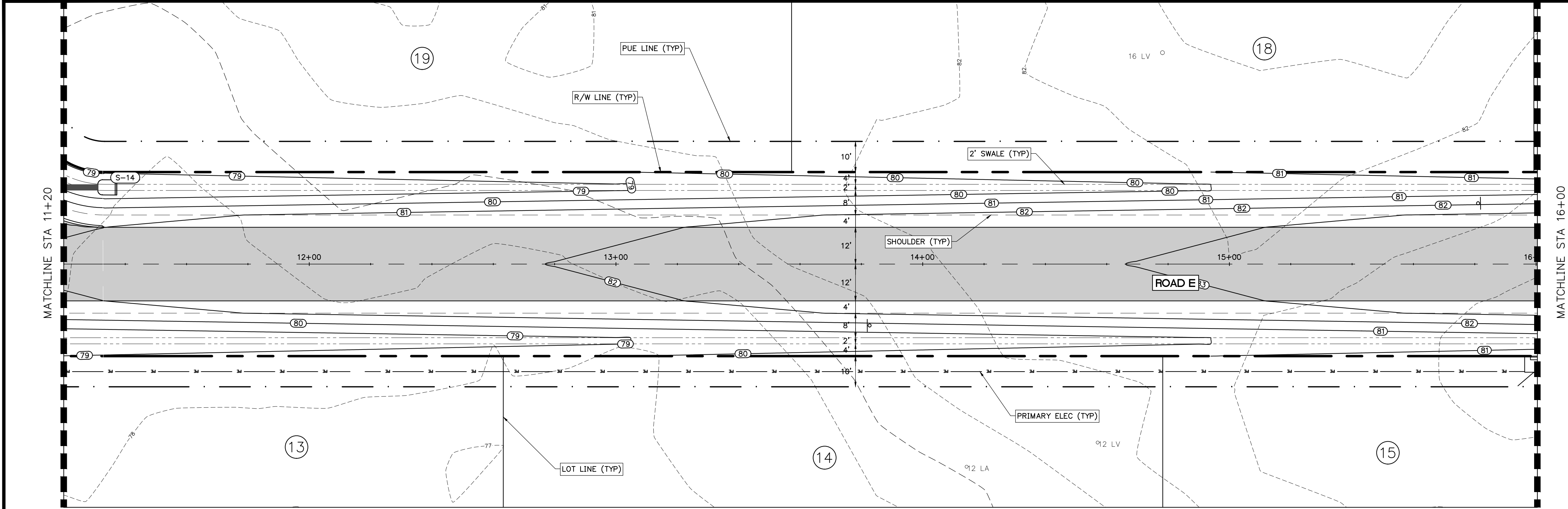
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**C4.10 (26 of 30)**

DATE:  
**MARCH 2024**

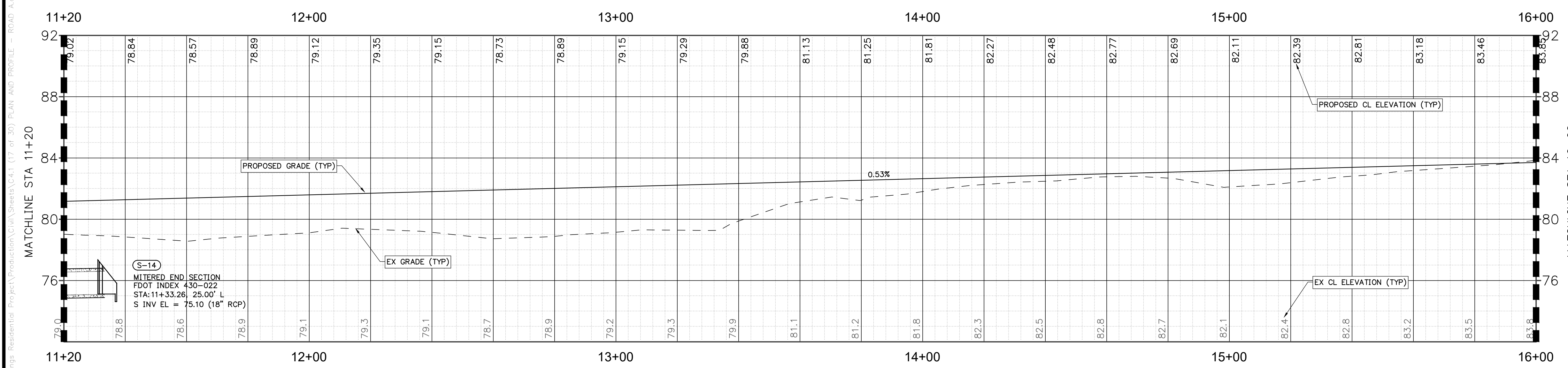
PROJECT NO:  
**479-21-01**

PROJECT:  
**SADDLE RIDGE ESTATES**

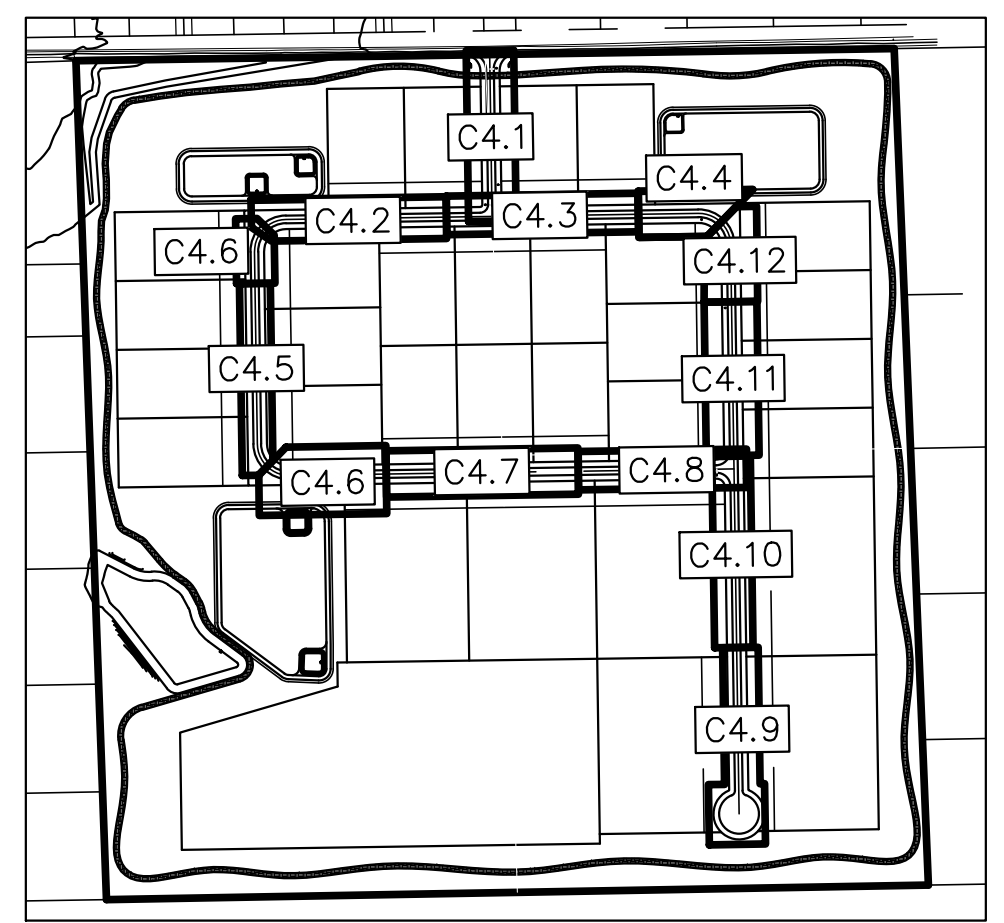




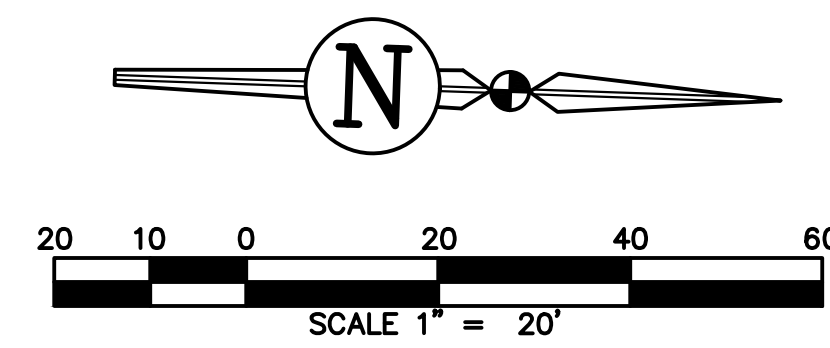
PLAN VIEW - ROAD E  
1" = 20'



PROFILE VIEW - Alignment - Road E  
1" = 20' H, 1" = 4' V



KEY MAP  
1" = 600'



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FLORIDA LICENSE NO. 88516  
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SHEET TITLE:  
**PLAN AND PROFILE - ROAD E**

CLIENT:  
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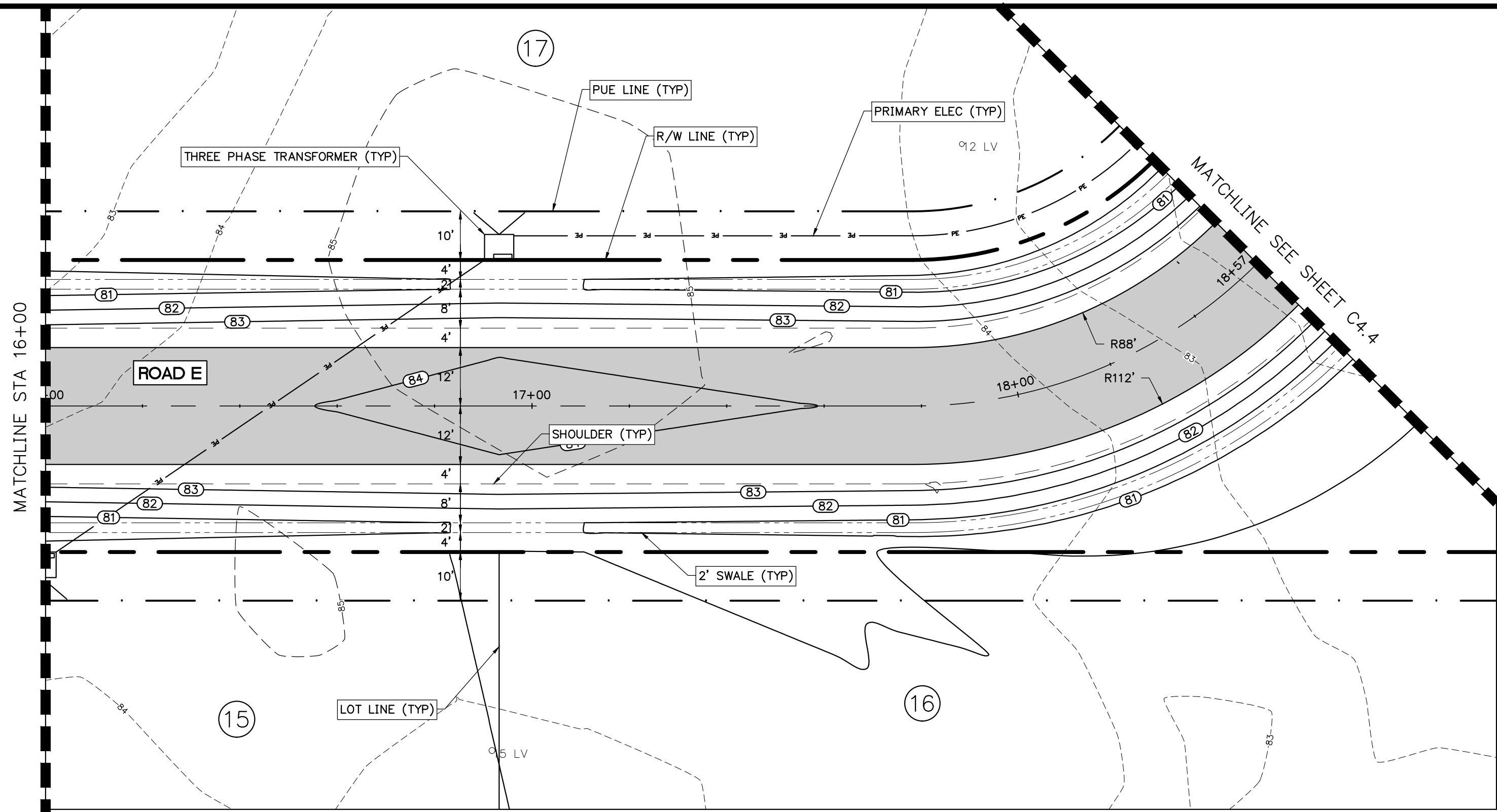
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DATE:  
**MARCH 2024**

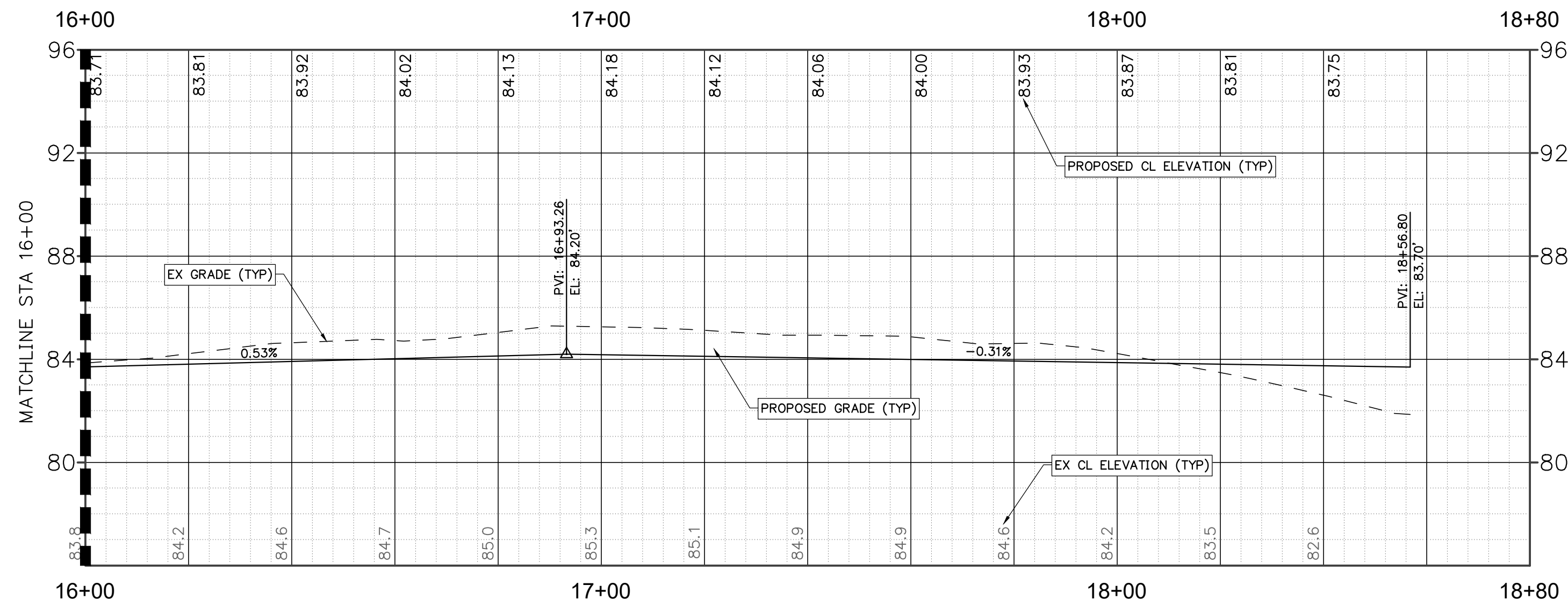
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PROJECT:  
**SADDLE RIDGE ESTATES**

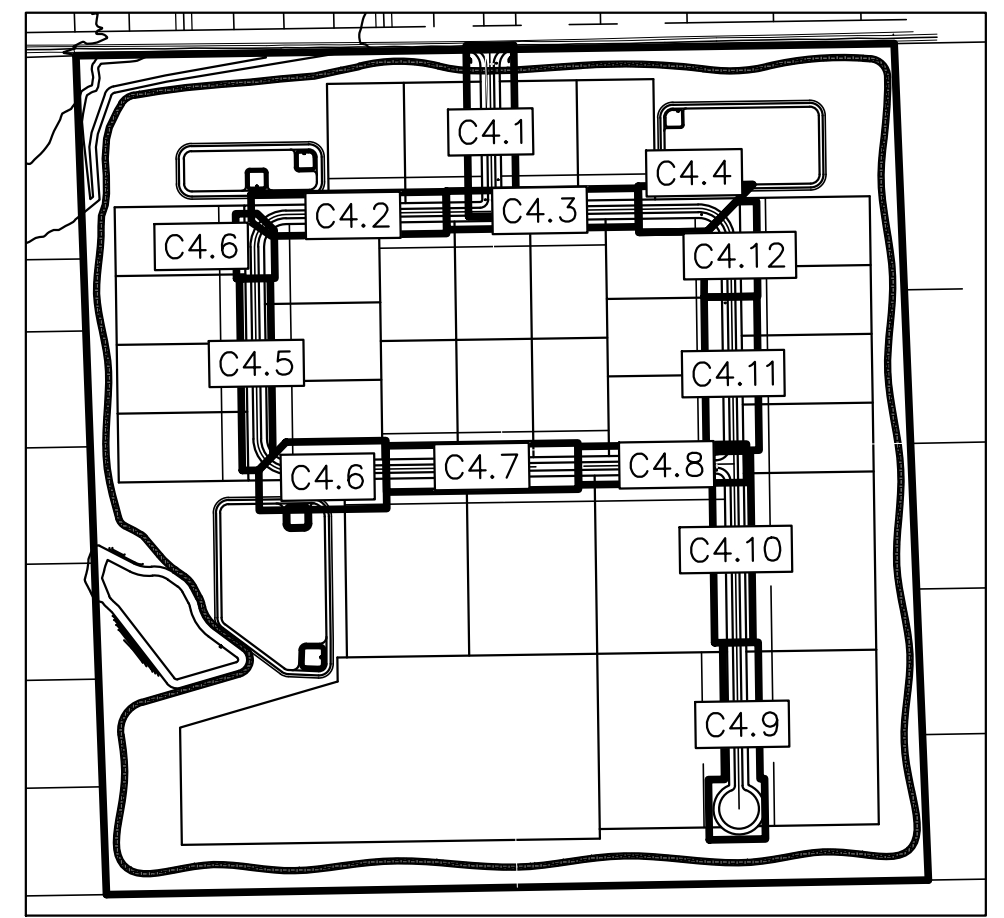
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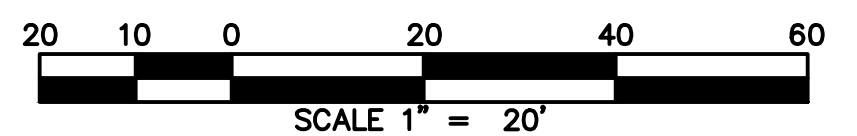
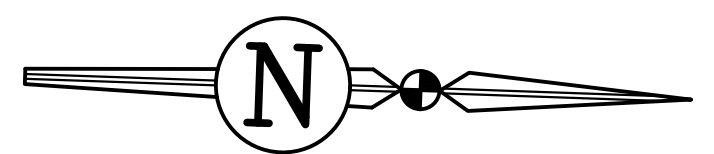
PLAN VIEW - ROAD E  
1" = 20'



PROFILE VIEW - Alignment - Road E  
1" = 20' H, 1" = 4' V

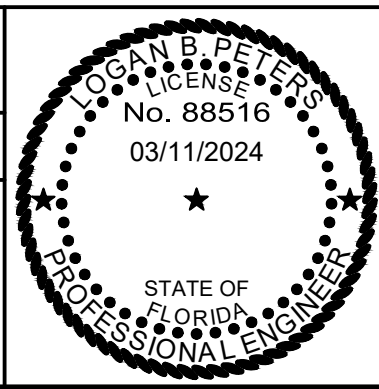


KEY MAP  
1" = 600'



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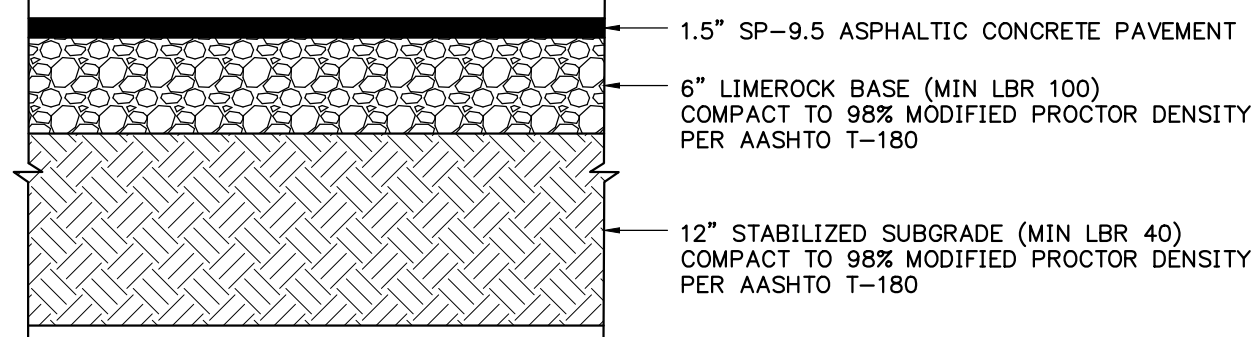
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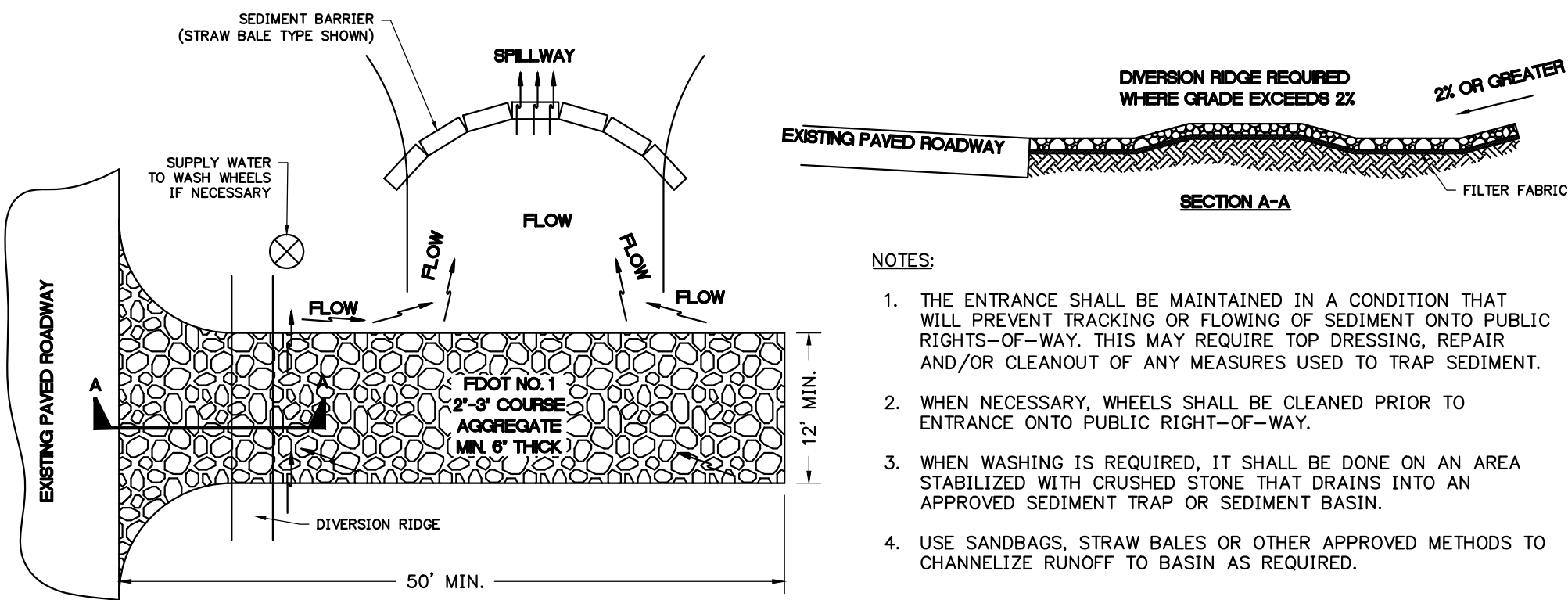
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CLIENT: **SANDERS AND SONS FARMS, LLC**  
LECANTO, FLORIDA

SHEET NO: **C4.12 (28 of 30)**  
DATE: **MARCH 2024**  
PROJECT NO: **479-21-01**  
PROJECT: **SADDLE RIDGE ESTATES**

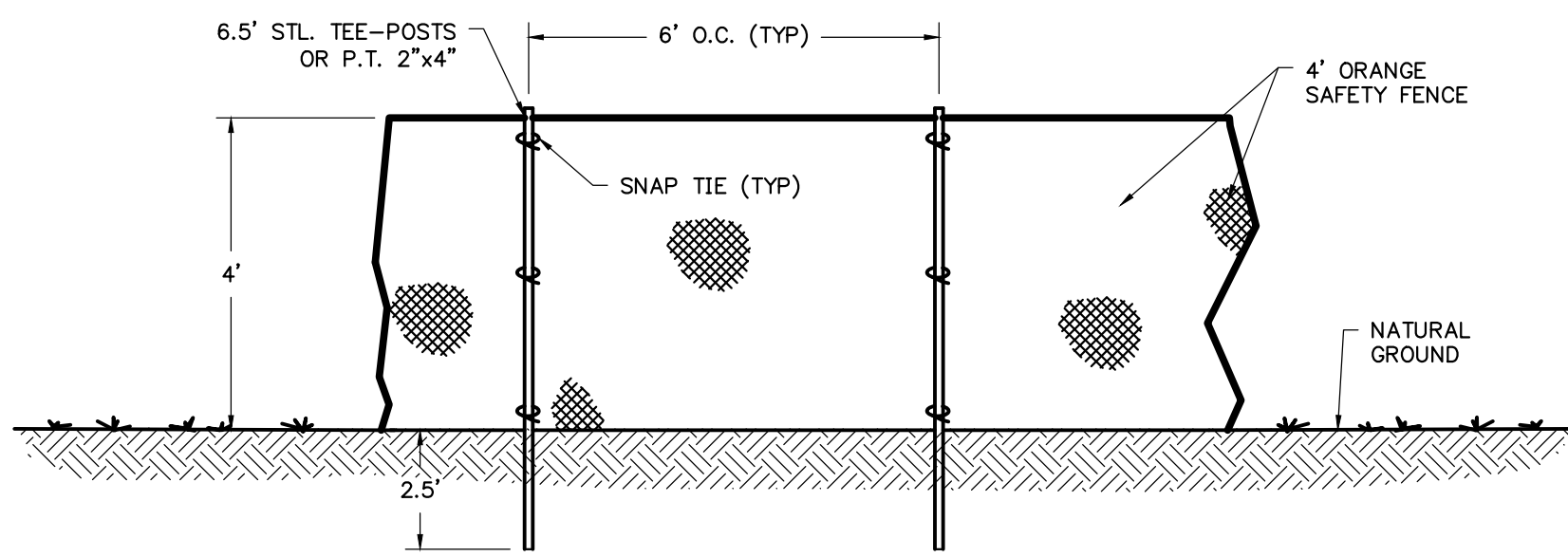




ASPHALT PAVEMENT DETAIL  
NTS

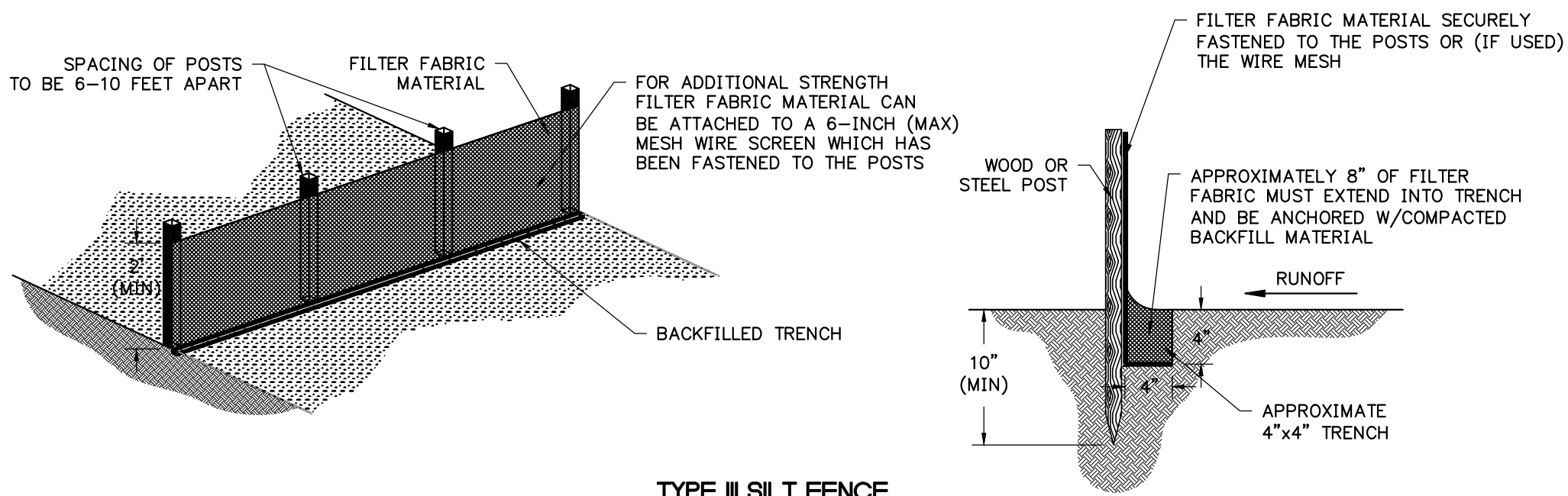


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE  
NTS



TREE PROTECTION FENCING DETAIL  
NTS

- NOTES:
1. NO GRADING WITHIN BARRIERS
  2. ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL
  3. TREE BARRICADES WILL BE CONSTRUCTED BEFORE ANY WORK BEGINS
  4. TREE BARRICADES WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE
  5. STORAGE OF DIRT OR MATERIALS SHALL NOT BE PERMITTED WITHIN TREE BARRICADES OR BEYOND THE CONSTRUCTION LIMITS.
  6. TREE BARRICADES SHALL ENCLOSE AN AREA EQUAL TO AT LEAST  $\frac{2}{3}$  THE DRIP LINE WHERE POSSIBLE.



TYPE III SILT FENCE  
NTS

PER PLATE 4.06D  
FLORIDA EROSION AND  
SEDIMENTATION CONTROL  
INSPECTOR'S MANUAL

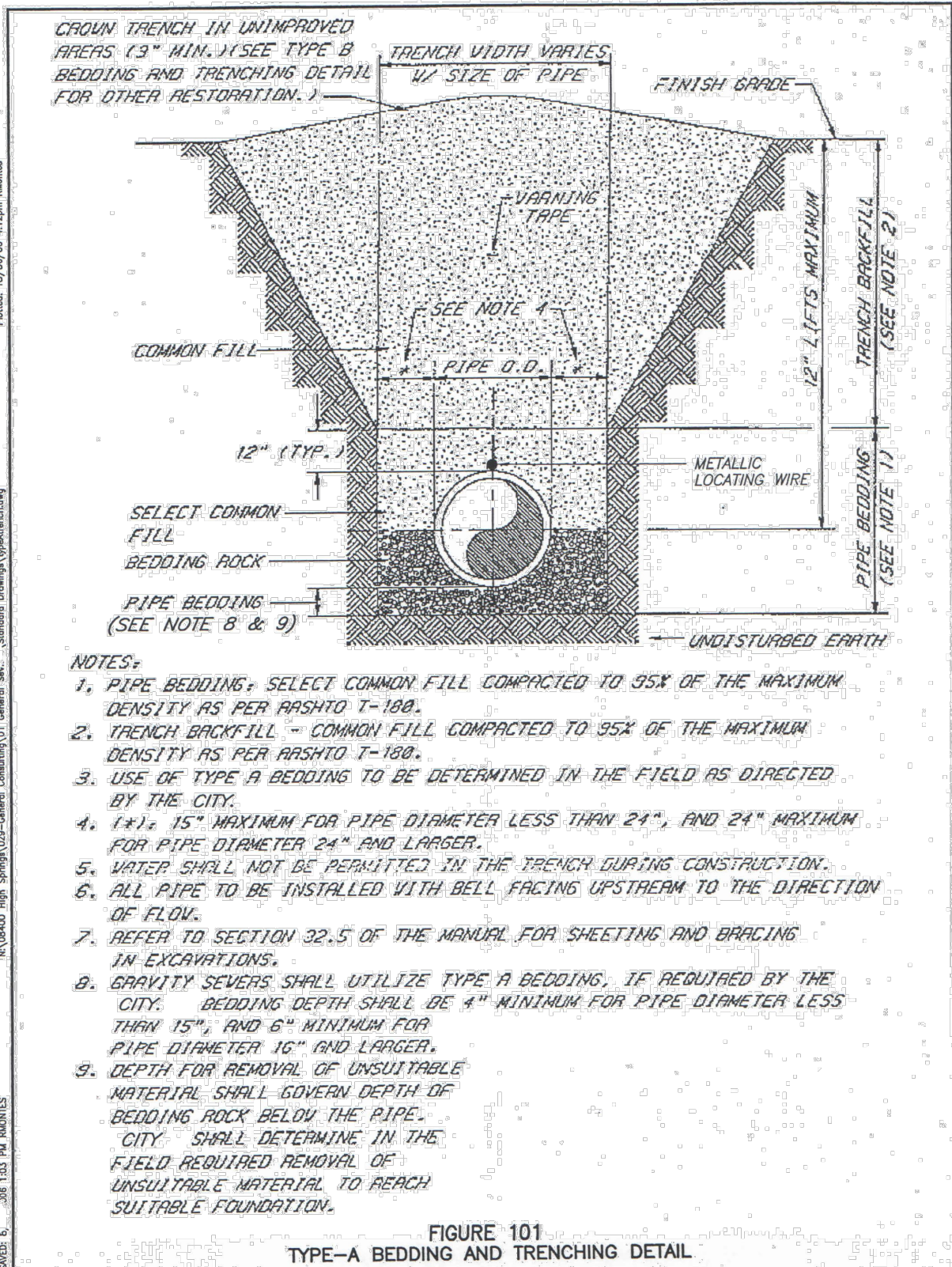
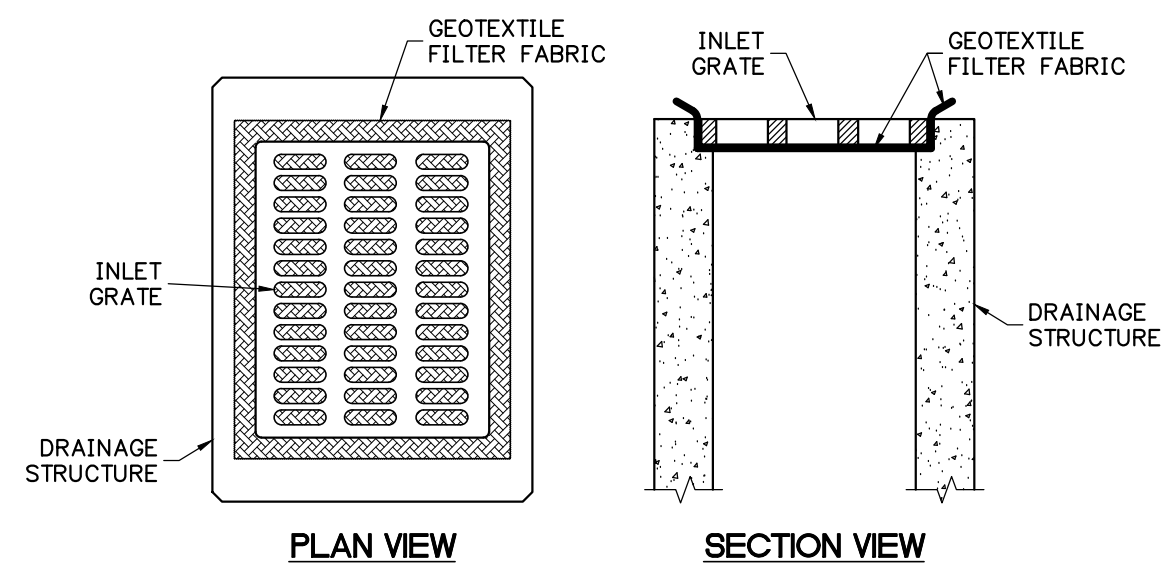


FIGURE 101  
TYPE-A BEDDING AND TRENCHING DETAIL



NOTE: ALL INLETS WITHIN THE CONSTRUCTION SITE SHALL BE PROTECTED DURING CONSTRUCTION.

INLET PROTECTION DETAIL  
NTS

#### ATTACHING TWO SILT FENCES

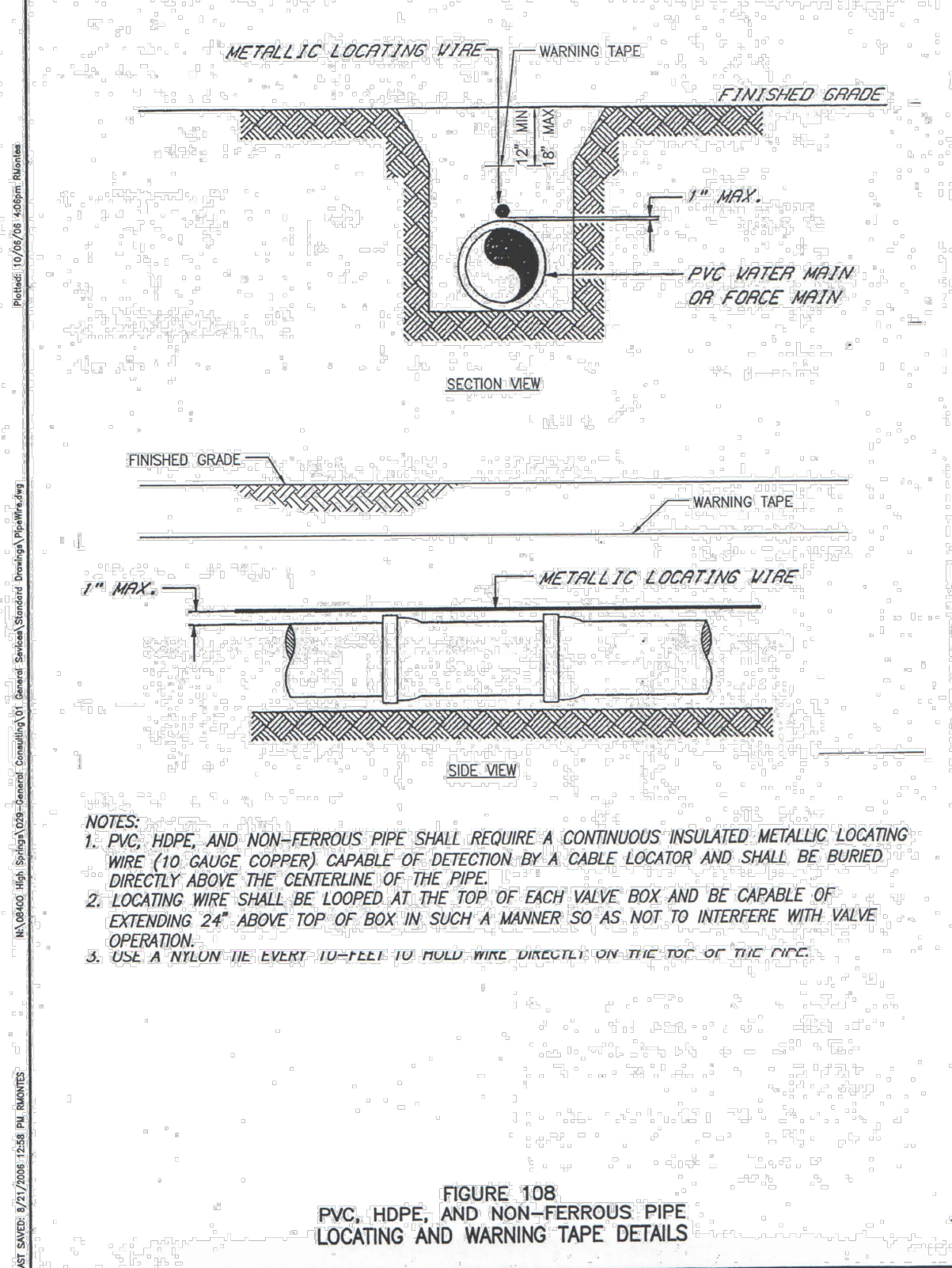
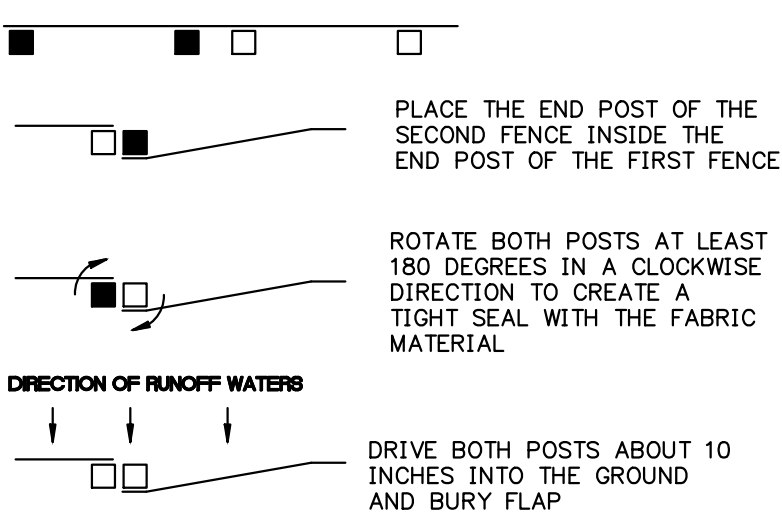


FIGURE 10B  
PVC, HDPE, AND NON-FERROUS PIPE  
LOCATING AND WARNING TAPE DETAILS

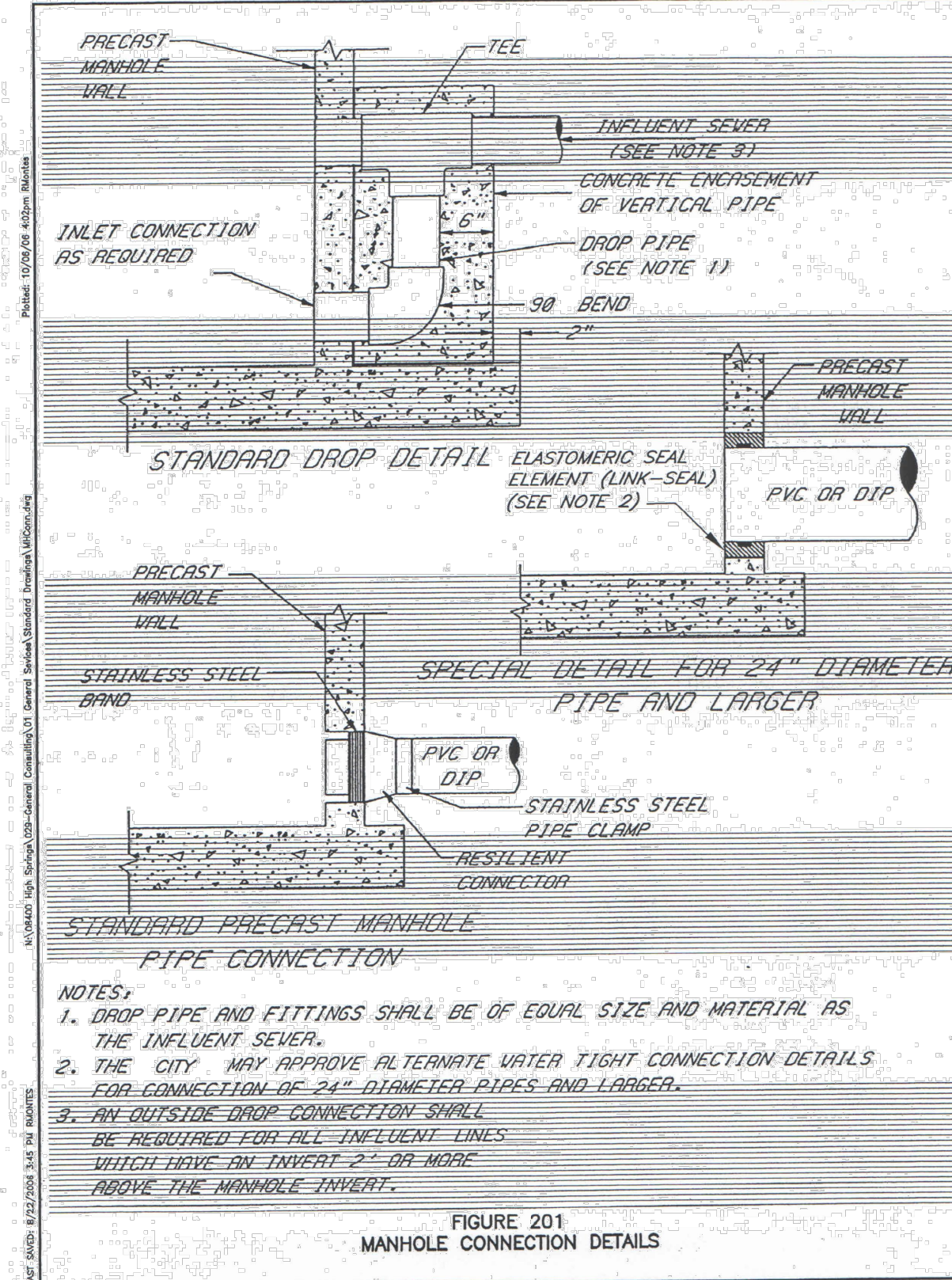


FIGURE 201  
MANHOLE CONNECTION DETAILS

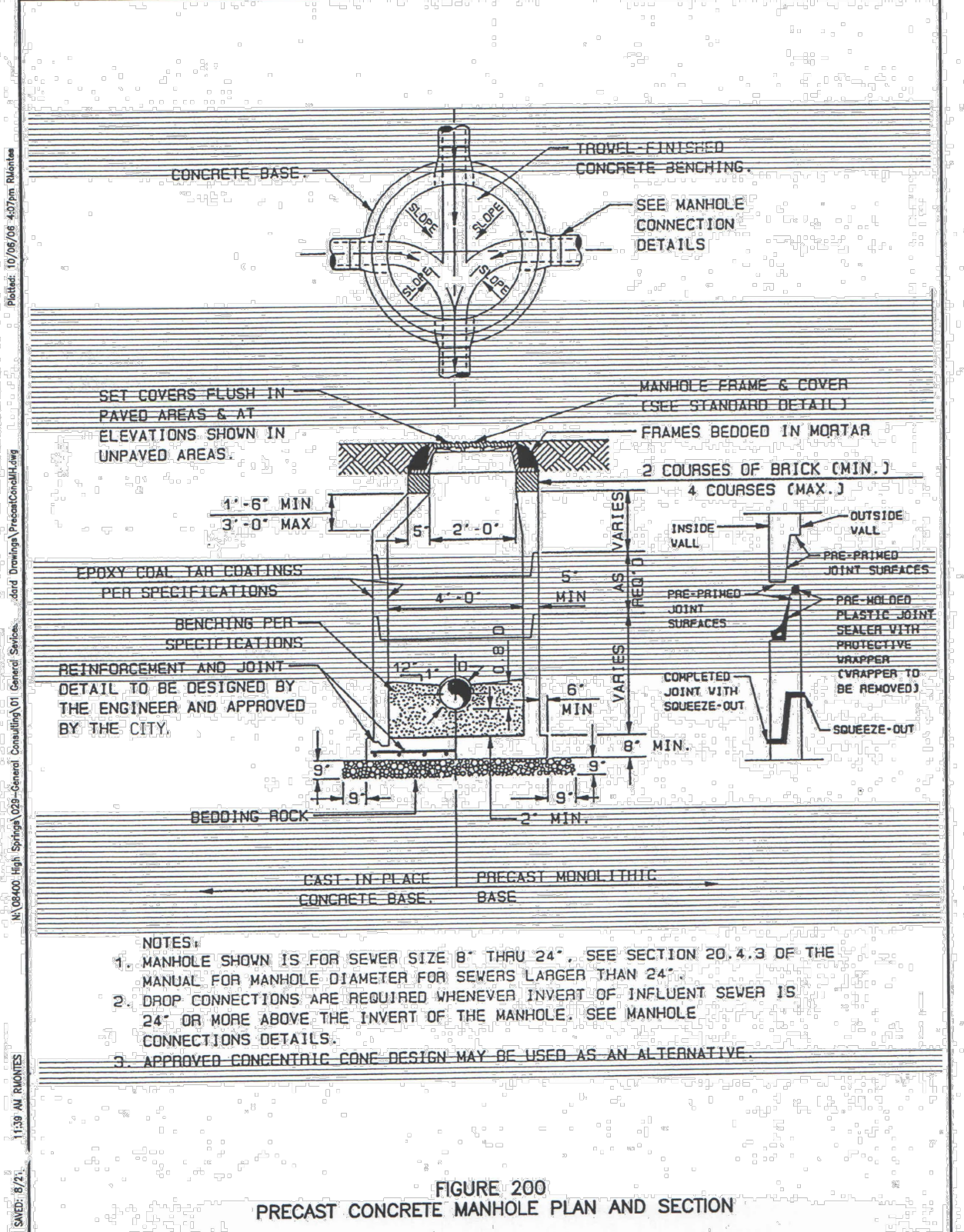


FIGURE 200  
PRECAST CONCRETE MANHOLE PLAN AND SECTION

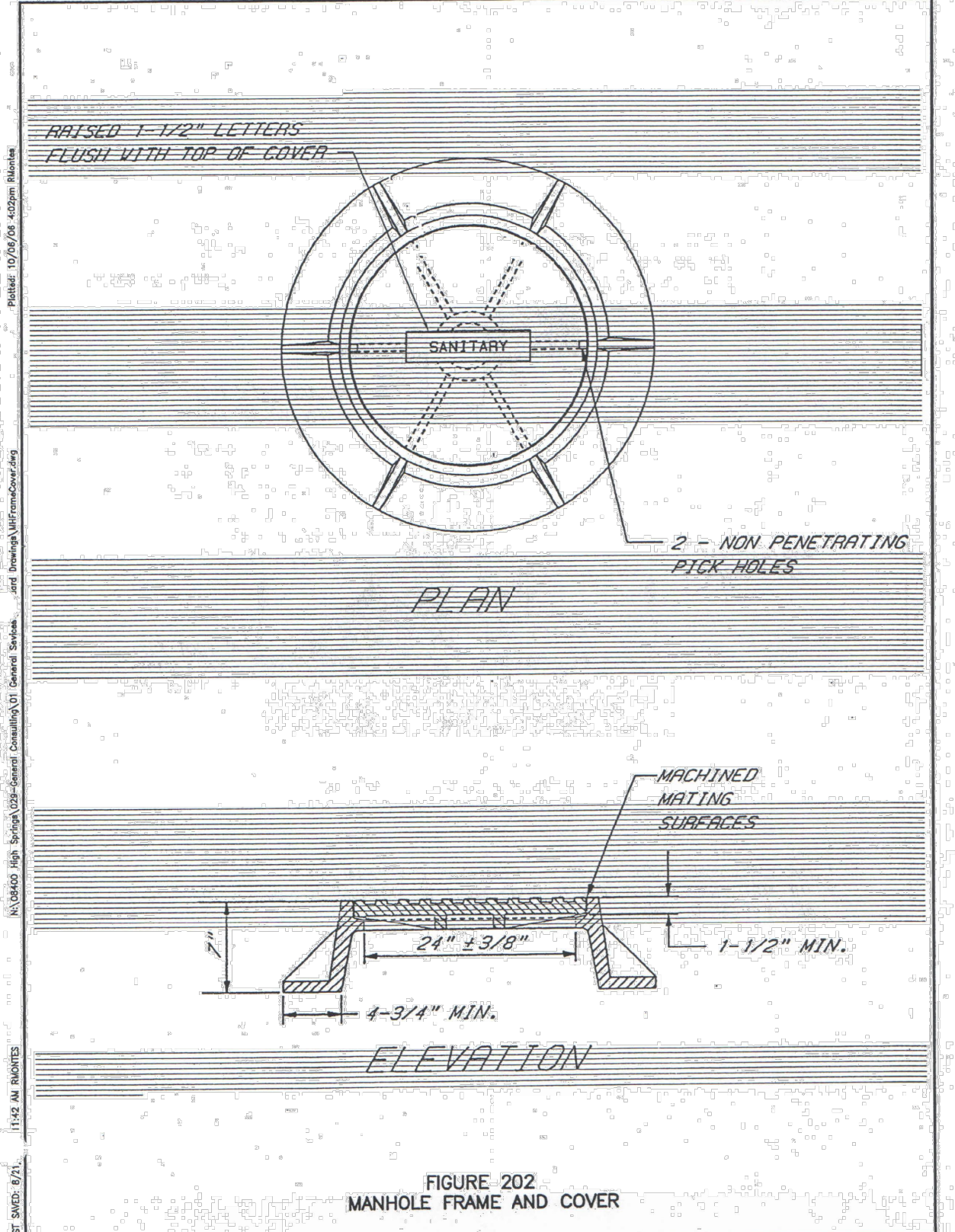
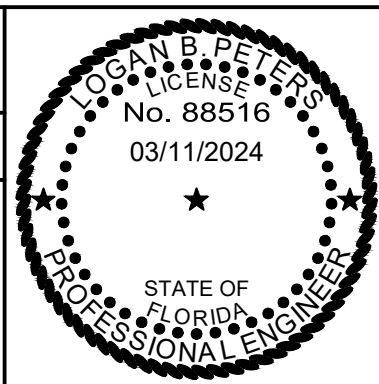


FIGURE 202  
MANHOLE FRAME AND COVER

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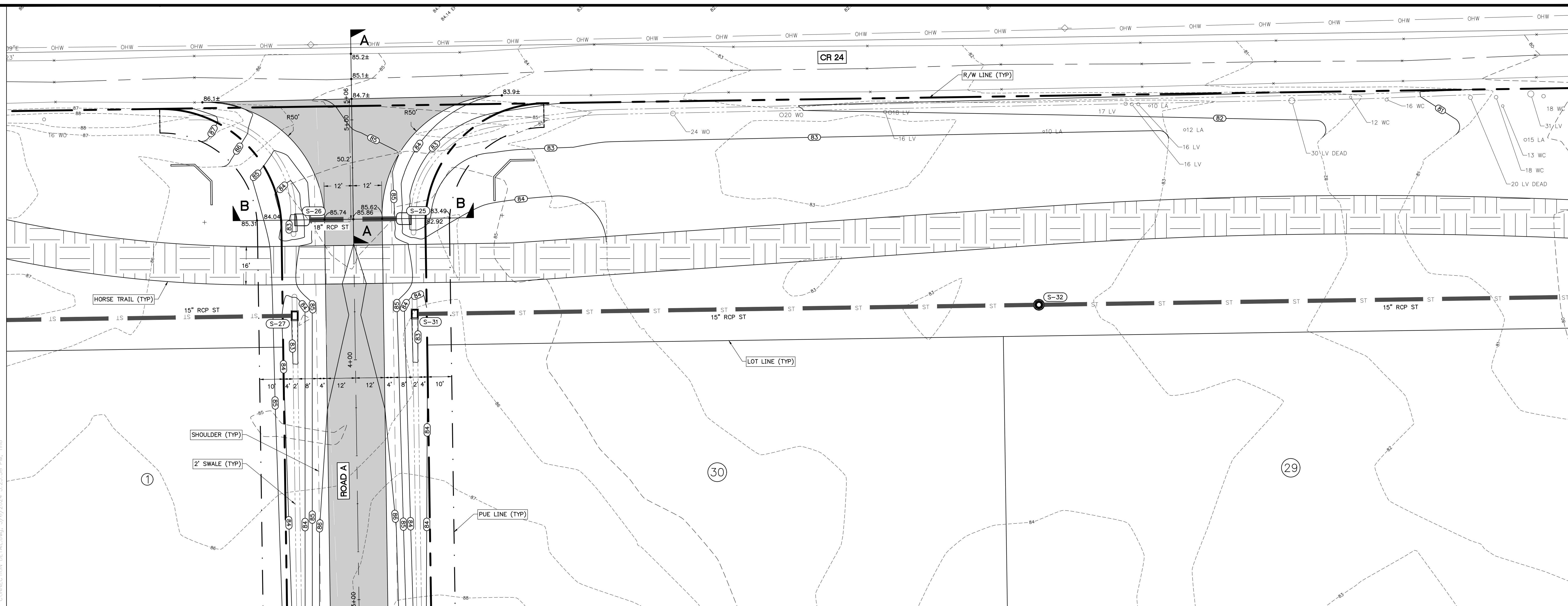
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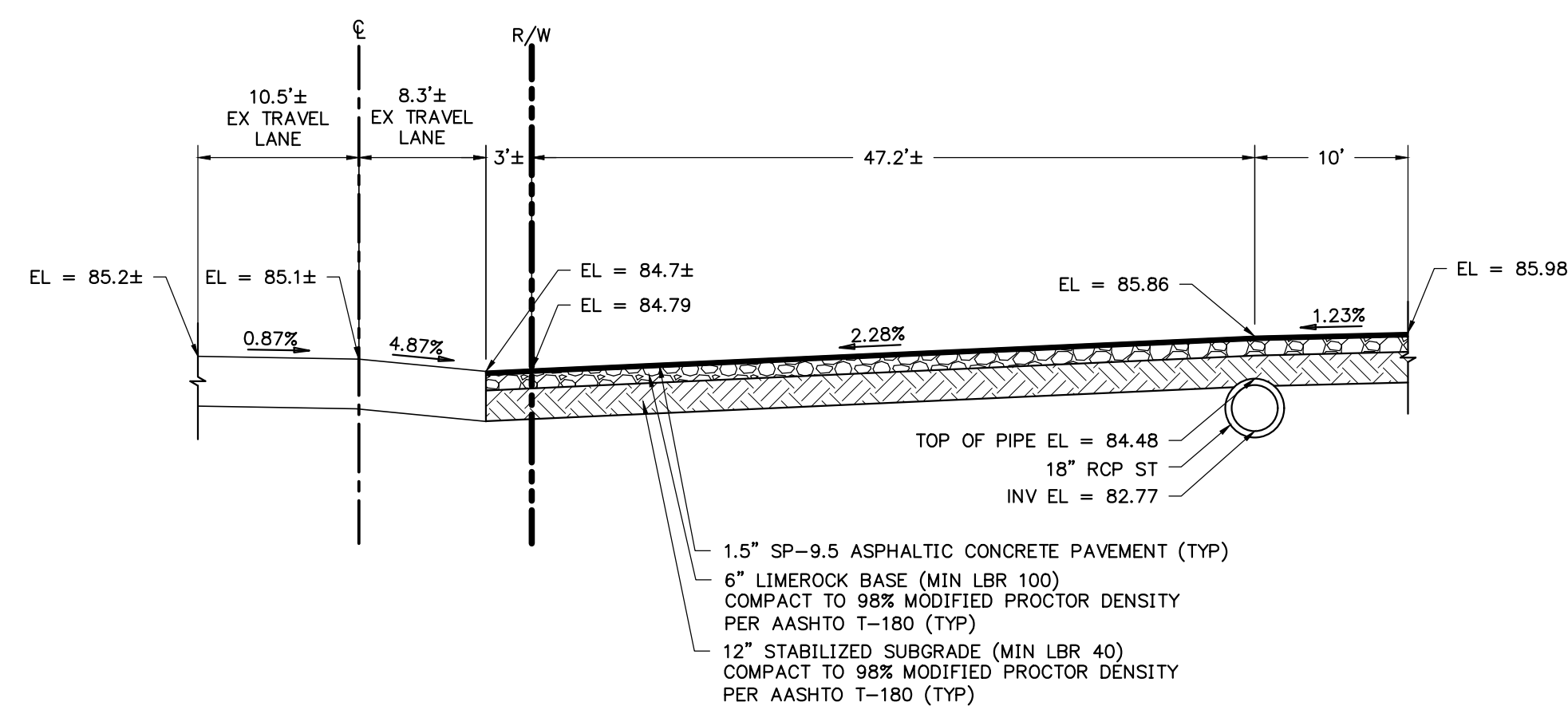
SHEET TITLE:  
**DETAILS AND NOTES**  
CLIENT:  
**SANDERS AND SONS FARMS, LLC  
LECANTO, FLORIDA**

SHEET NO:  
**C5.0 (29 of 30)**  
DATE:  
**MARCH 2024**  
PROJECT:  
**SADDLE RIDGE ESTATES**

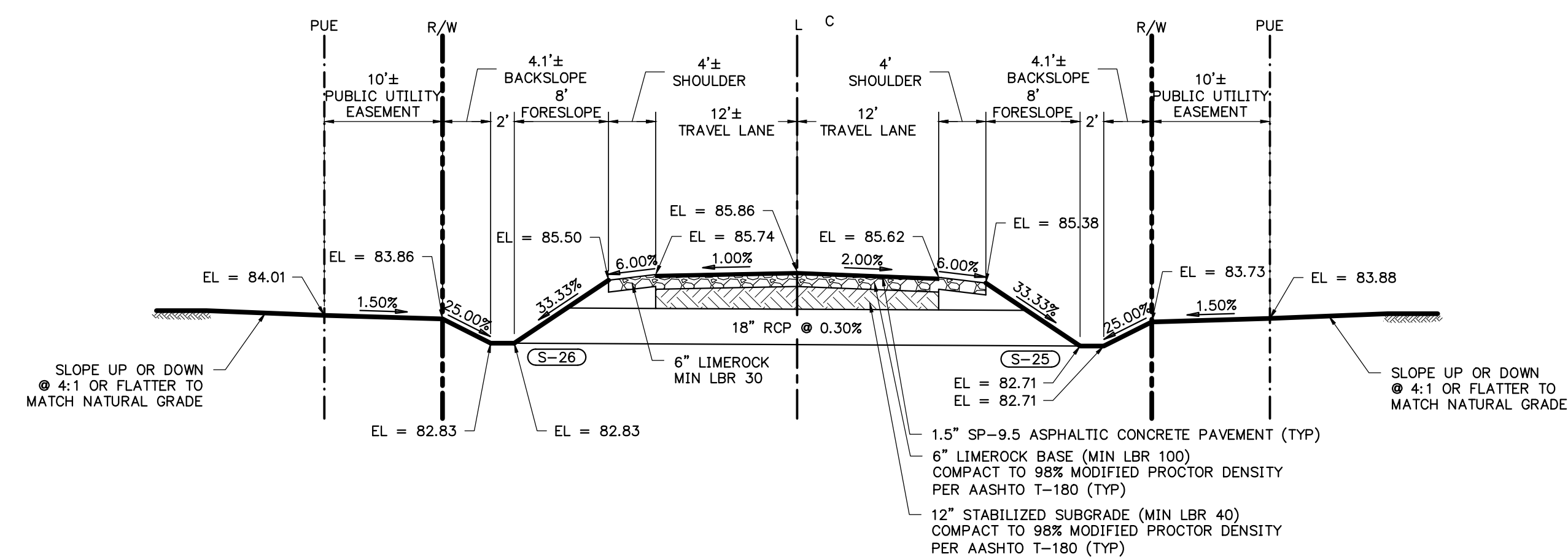




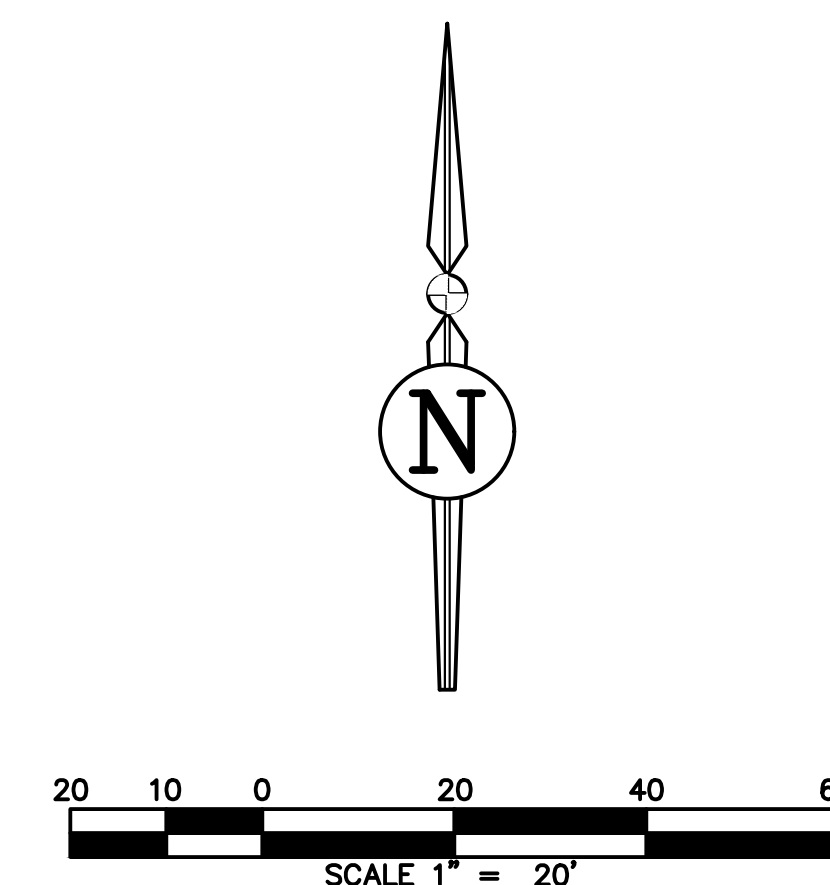
**PLAN VIEW - DRIVEWAY CONNECTION**  
1" = 20'



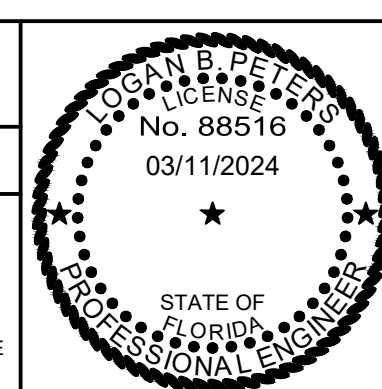
**TYPICAL SECTION A-A**  
**CR 24**  
HORIZONTAL: 1" = 10'  
VERTICAL: 1" = 5'



**TYPICAL SECTION B-B**  
**ROAD A DRIVEWAY**  
HORIZONTAL: 1" = 10'  
VERTICAL: 1" = 5'

[illegible]

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SHEET TITLE:	
DRIVEWAY CONNECTION DETAIL	
CLIENT:	PROJECT:
SANDERS AND SONS FARMS, LLC LECANTO, FLORIDA	

SHEET NO: <b>C5.1 (30 of 30)</b>	DATE: <b>MARCH 2024</b>
	PROJECT NO: <b>479-21-01</b>

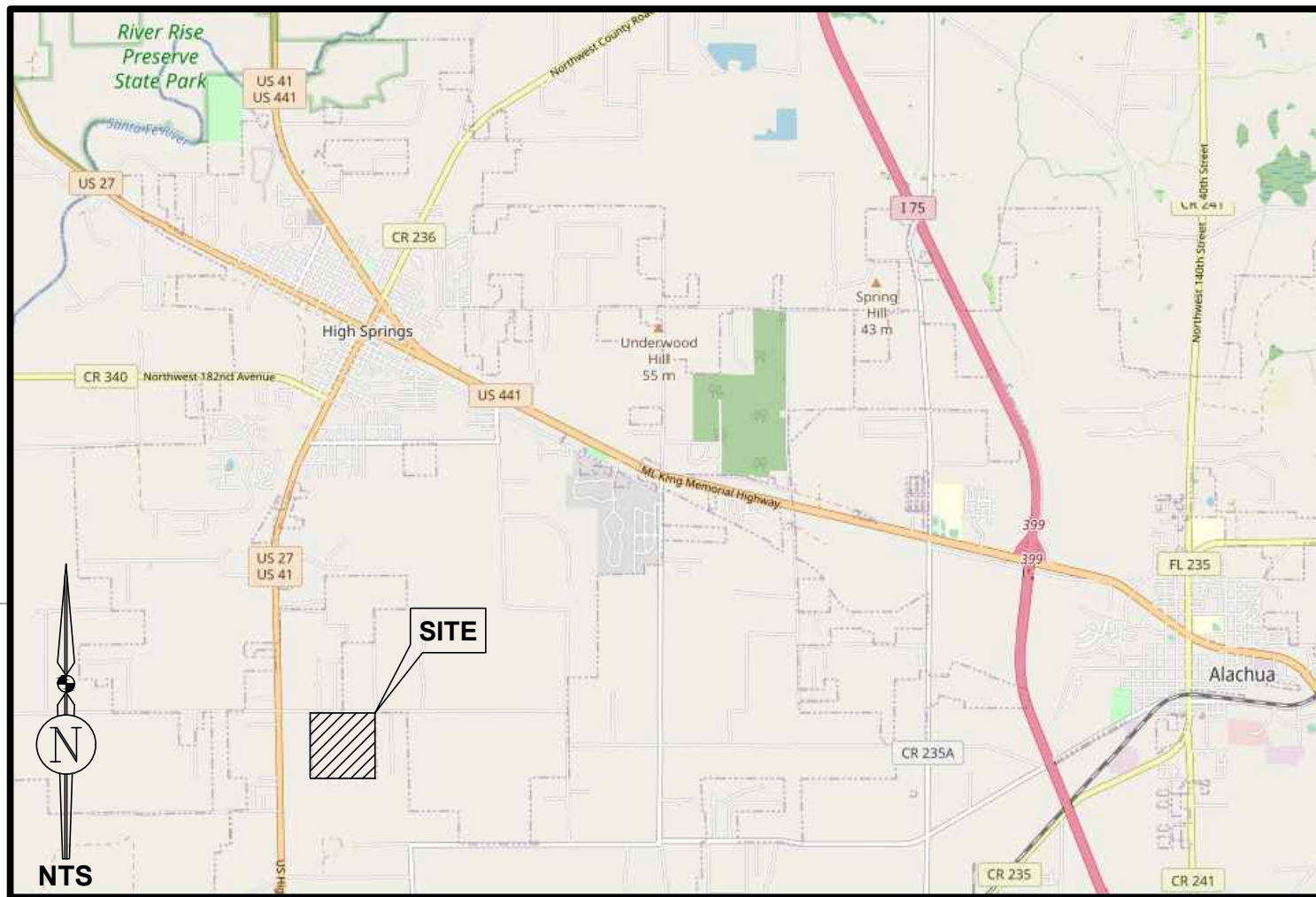
**SADDLE RIDGE ESTATES**



# BOUNDARY & TOPOGRAPHIC SURVEY

## IN SECTION 22, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA

# LOCATION MAP



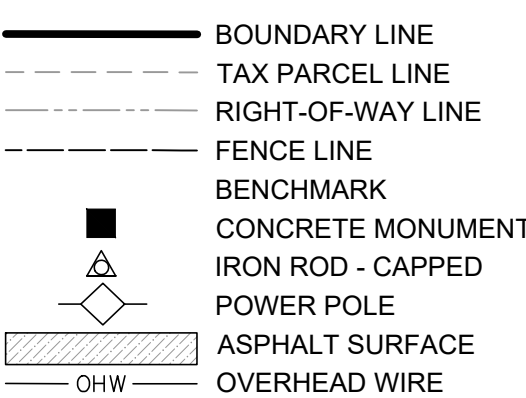
### LEGAL DESCRIPTION PER O.R.B. 4530, PG. 2425

**PARCEL 1**  
THE EAST 1/2 OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

**PARCEL 2:**  
THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA

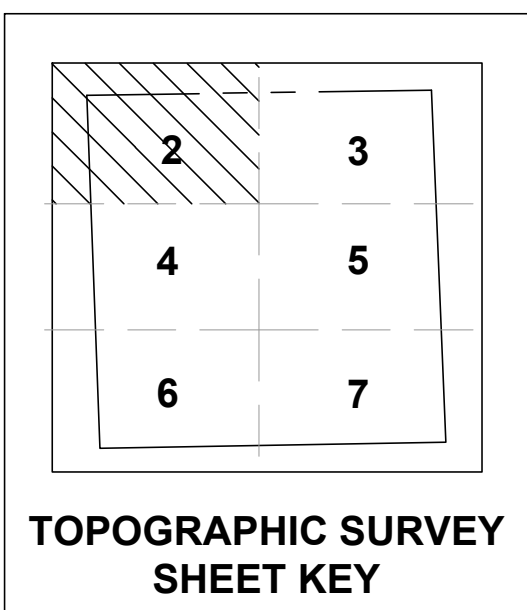
**LESS:**  
THE RIGHT OF WAY OF NW 142ND AVE (COUNTY ROAD 24)

### SYMBOL LEGEND



### ABBREVIATIONS

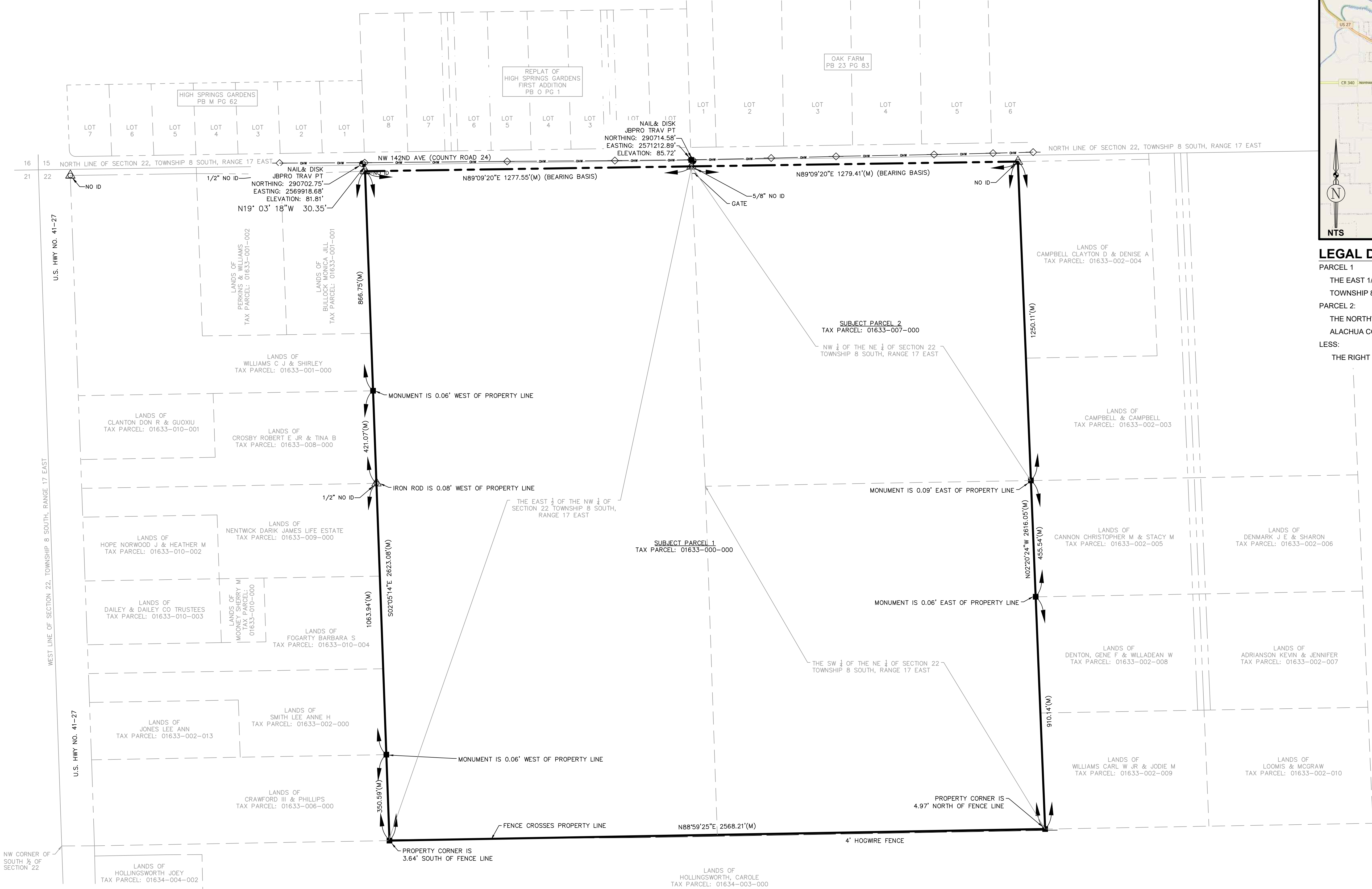
(M) = MEASURED  
ID = IDENTIFICATION  
JBPRO = JCBROWN PROFESSIONAL GROUP  
LB = LICENSED SURVEYING BUSINESS  
LS = LICENSED SURVEYOR  
P.B. = PLAT BOOK  
O.R.B. = OFFICIAL RECORDS BOOK  
PG. = PAGE  
PLS = PROFESSIONAL LAND SURVEYOR



### SHEET INDEX

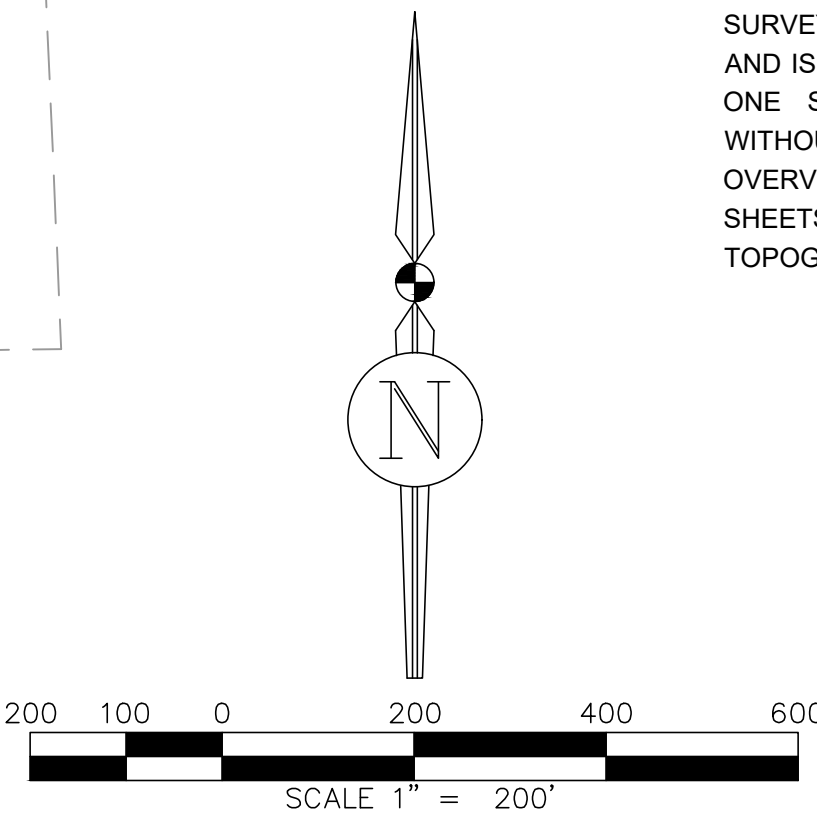
Sheet 1: Boundary Information  
Sheets 2-7: Topographic Information

THIS BOUNDARY & TOPOGRAPHIC SURVEY IS COMPRISED OF 7 SHEETS, AND IS MEANT TO BE USED AS A SET. NO ONE SHEET IS VALID OR COMPLETE WITHOUT THE OTHERS. SHEET ONE IS AN OVERVIEW OF BOUNDARY INFORMATION. SHEETS TWO THROUGH SEVEN CONTAIN TOPOGRAPHIC INFORMATION.



### SURVEYOR'S NOTES

- ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- BEARINGS ARE BASED ON THE NORTH LINE OF THE SUBJECT PARCEL HAVING A MEASURED BEARING OF N89°09'20"E UTILIZING STATE PLANE NAD83 FLORIDA NORTH ZONE PROJECTION.
- STATE PLANE COORDINATES ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, FLORIDA NORTH COORDINATE ZONE AND BASED ON MULTIPLE GPS OBSERVATIONS REFERENCING THE FLORIDA DEPARTMENT OF TRANSPORTATION PERMANENT REFERENCE NETWORK (FPRN).
- ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 18) AND BASED ON MULTIPLE GPS OBSERVATIONS REFERENCING THE FLORIDA DEPARTMENT OF TRANSPORTATION PERMANENT REFERENCE NETWORK (FPRN).
- CONTOURS AND GRID ELEVATIONS WERE ESTABLISHED UTILIZING LIDAR TECHNOLOGY FROM A DRONE FLIGHT ON JULY 15, 2022 AND GEOREFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THIS SURVEY IS BASED ON MEASUREMENTS CONDUCTED ON NOVEMBER 22, 2021, AND UPDATED ON APRIL 28TH 2022
- NO UNDERGROUND UTILITIES WERE LOCATED IN THE COURSE OF THIS SURVEY. UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE.
- THE SIGNING LAND SURVEYOR HAS BEEN PROVIDED A CURRENT TITLE COMMITMENT OF MATTERS AFFECTING TITLE TO THE SUBJECT PROPERTY. THERE MAY EXIST DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS OR OTHER MATTERS, THAT COULD AFFECT THE BOUNDARIES OR TITLE TO THE SUBJECT REAL ESTATE.
- REPRODUCED COPIES THAT ARE NOT AT 24"x36" MAY NOT BE TO SCALE.
- CORNER MARKERS SHOWN HEREON WERE FOUND DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY & TOPOGRAPHIC SURVEY IS COMPRISED OF 7 SHEETS, AND IS MEANT TO BE USED AS A SET. NO ONE SHEET IS VALID OR COMPLETE WITHOUT THE OTHERS. SHEET ONE IS AN OVERVIEW OF BOUNDARY INFORMATION. SHEETS TWO THROUGH SEVEN CONTAIN TOPOGRAPHIC INFORMATION.

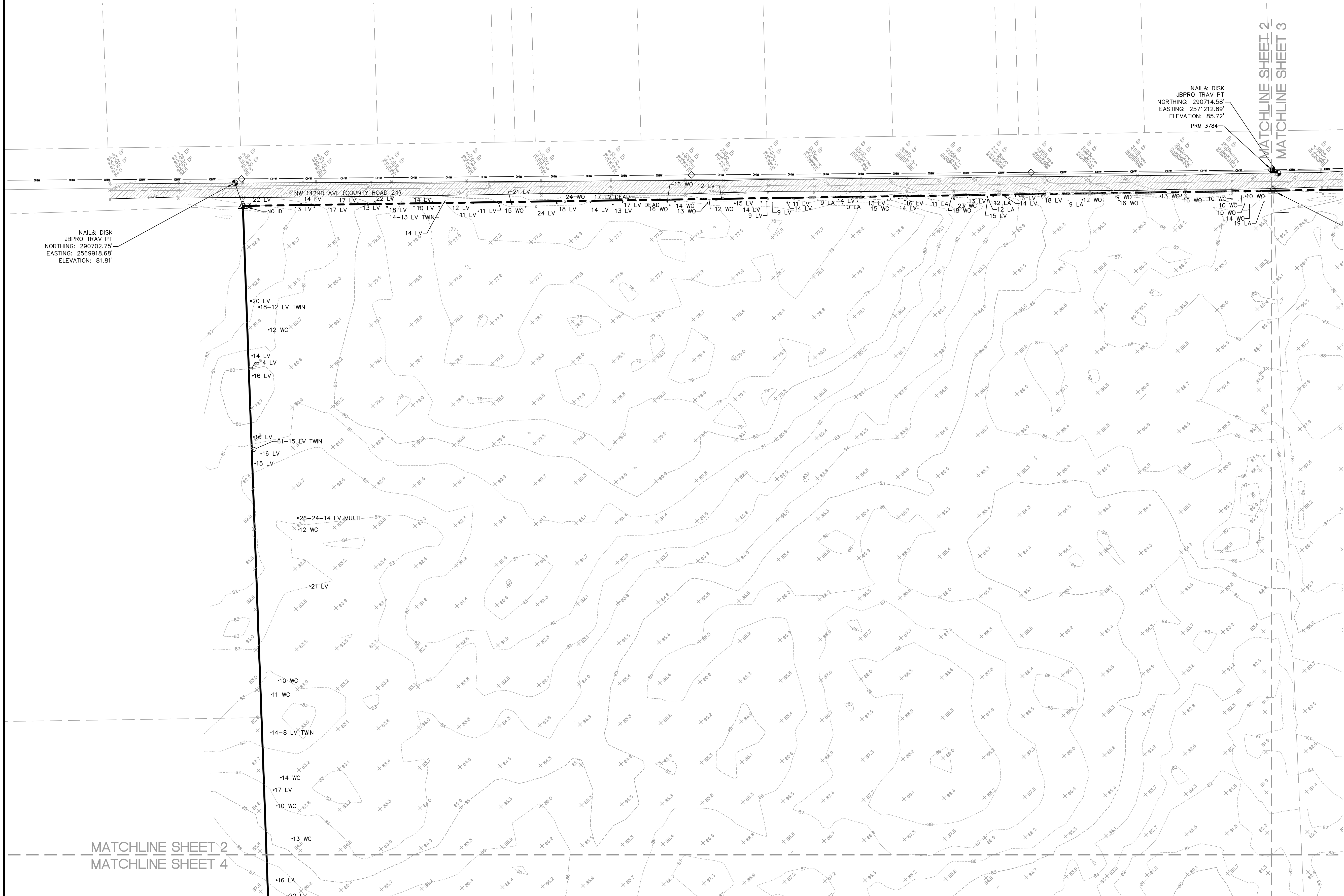


HIGH SPRINGS, FL

<b>JBPro</b> CIVIL ENGINEERING   LAND PLANNING SURVEYING   CONSTRUCTION SERVICES 3630 NW 43rd Street   Gainesville, Florida 32606 4420 US-1 S, Suite 1   St. Augustine, Florida 32086 Gainesville: (352) 375-8999   St. Augustine: (904) 789-8999 Toll Free: (844) Go-JBPro   Email: contact@jbpro.com	THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 53-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON. Florida License No. LS4816 Certificate of Authorization No. LB8031 NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER OR VALID DIGITAL SIGNATURE IN ELECTRONIC FORM		<b>BOUNDARY SURVEY</b> <b>CERTIFIED TO:</b> 1. SANDERS AND SONS FARMS, LLC Scale: 1"=200' Proj. No.: 479-21-01 Drawn: S. Rose Checked: R. White Dwg. Name: 479-21-01-BT1 Dwg. Date: 11-14-2022 Field Book & Page: 25: 43-49, 53, 55, 59, 60, 69-71 Sheet: 1 of 7
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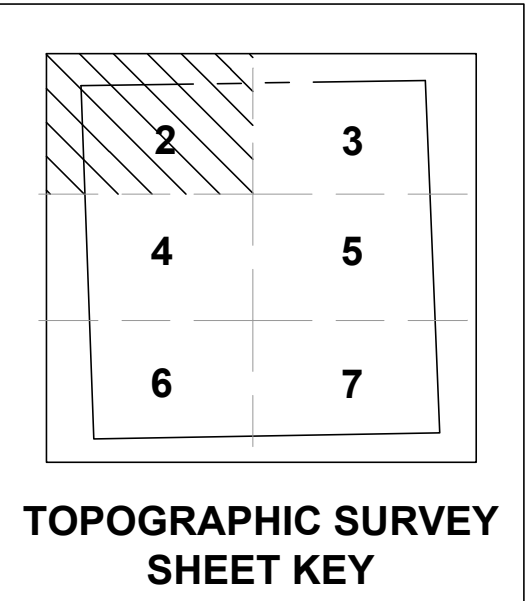
**BOUNDARY & TOPOGRAPHIC SURVEY**  
IN SECTION 22, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA



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  - MATCHLINE
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  - RIGHT-OF-WAY CENTERLINE
  - BUILDING OUTLINE
  - FENCE LINE
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  - CONCRETE MONUMENT
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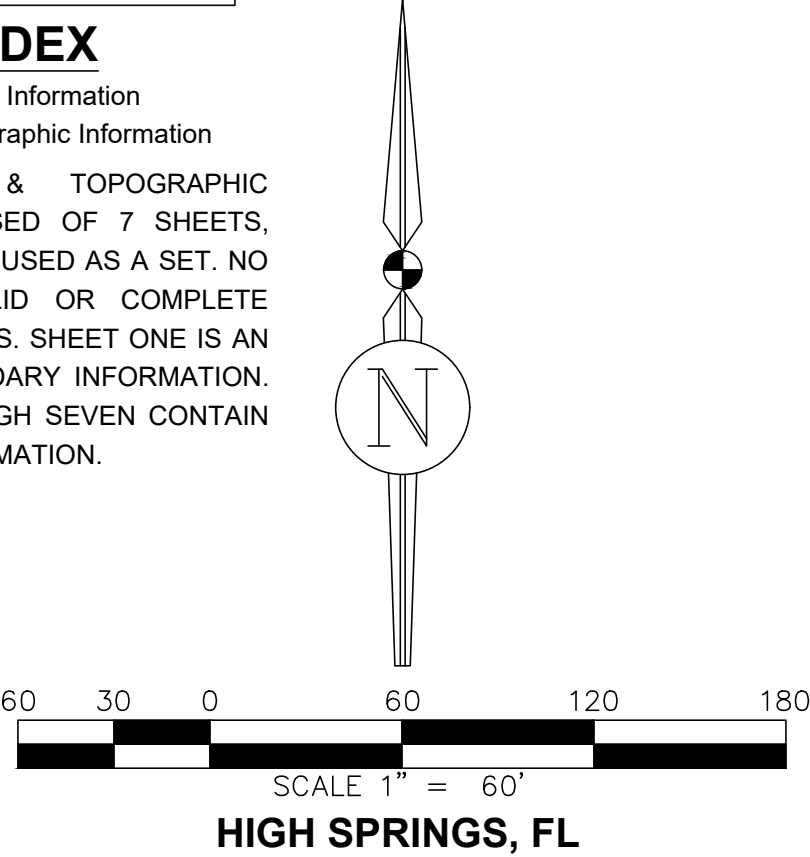
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4420 US-1 S. Suite 110 | Ft. Augustine, Florida 32006  
Gainesville: (352) 375-8999 | Ft. Augustine: (904) 799-8999  
Toll Free: (844) Go-JBPro | Email: contact@jbpro.com

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& Page:	59, 60
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	2 of 7



BOUNDARY & TOPOGRAPHIC SURVEY  
IN SECTION 22, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA

SYMBOL LEGEND

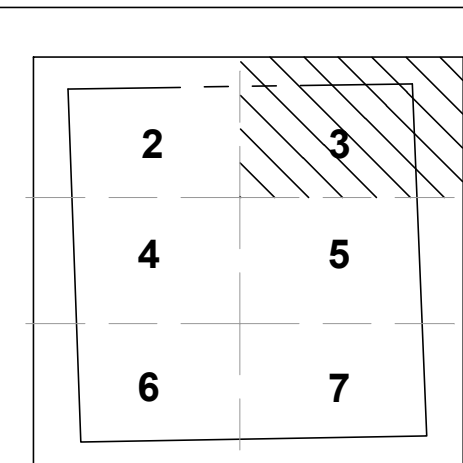
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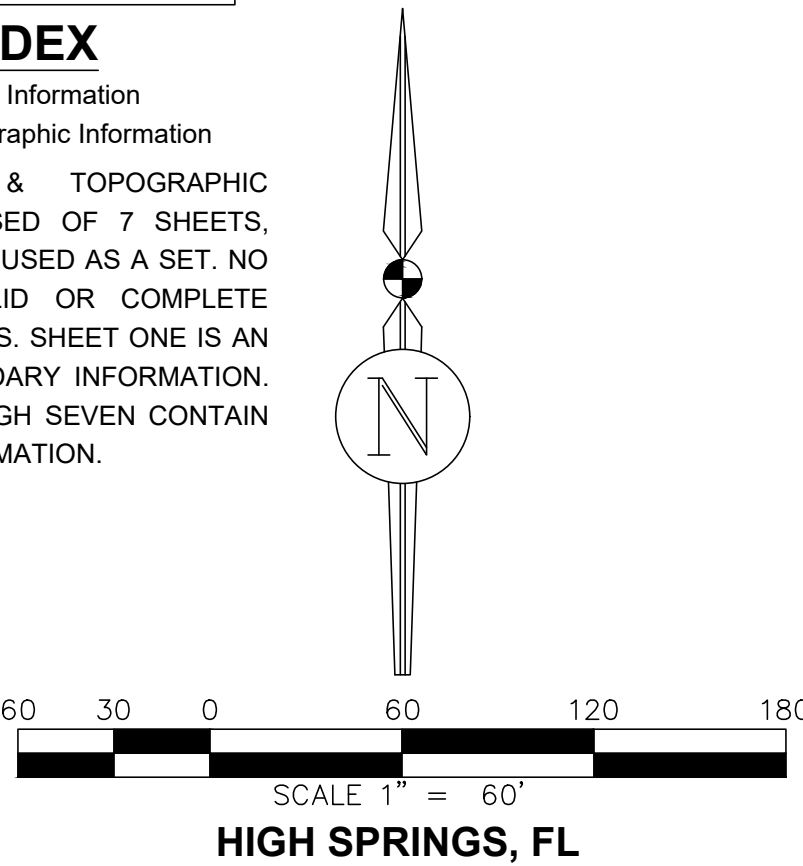


TOPOGRAPHIC SURVEY  
SHEET KEY

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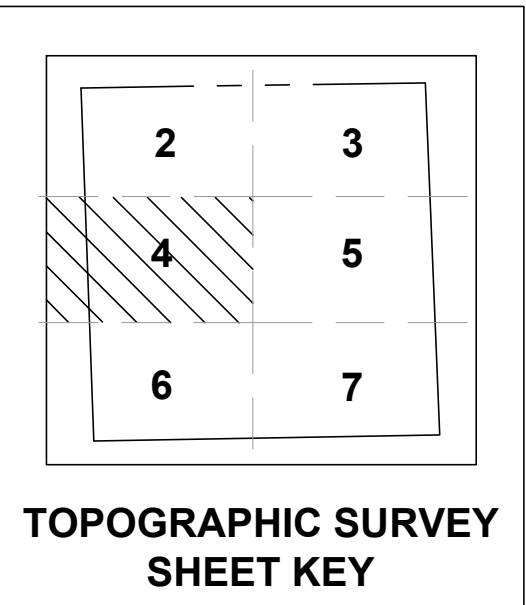
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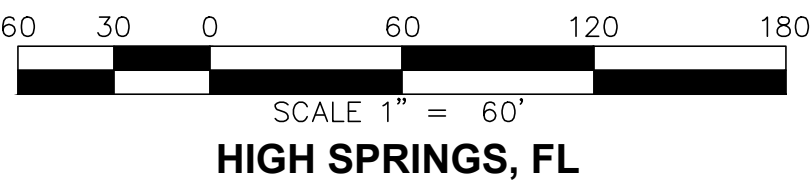
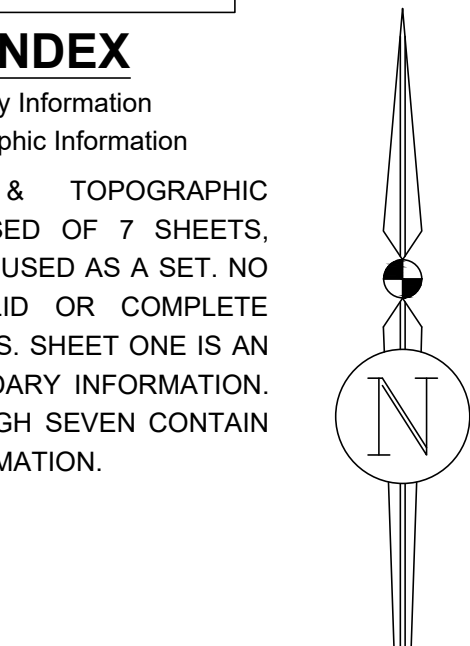
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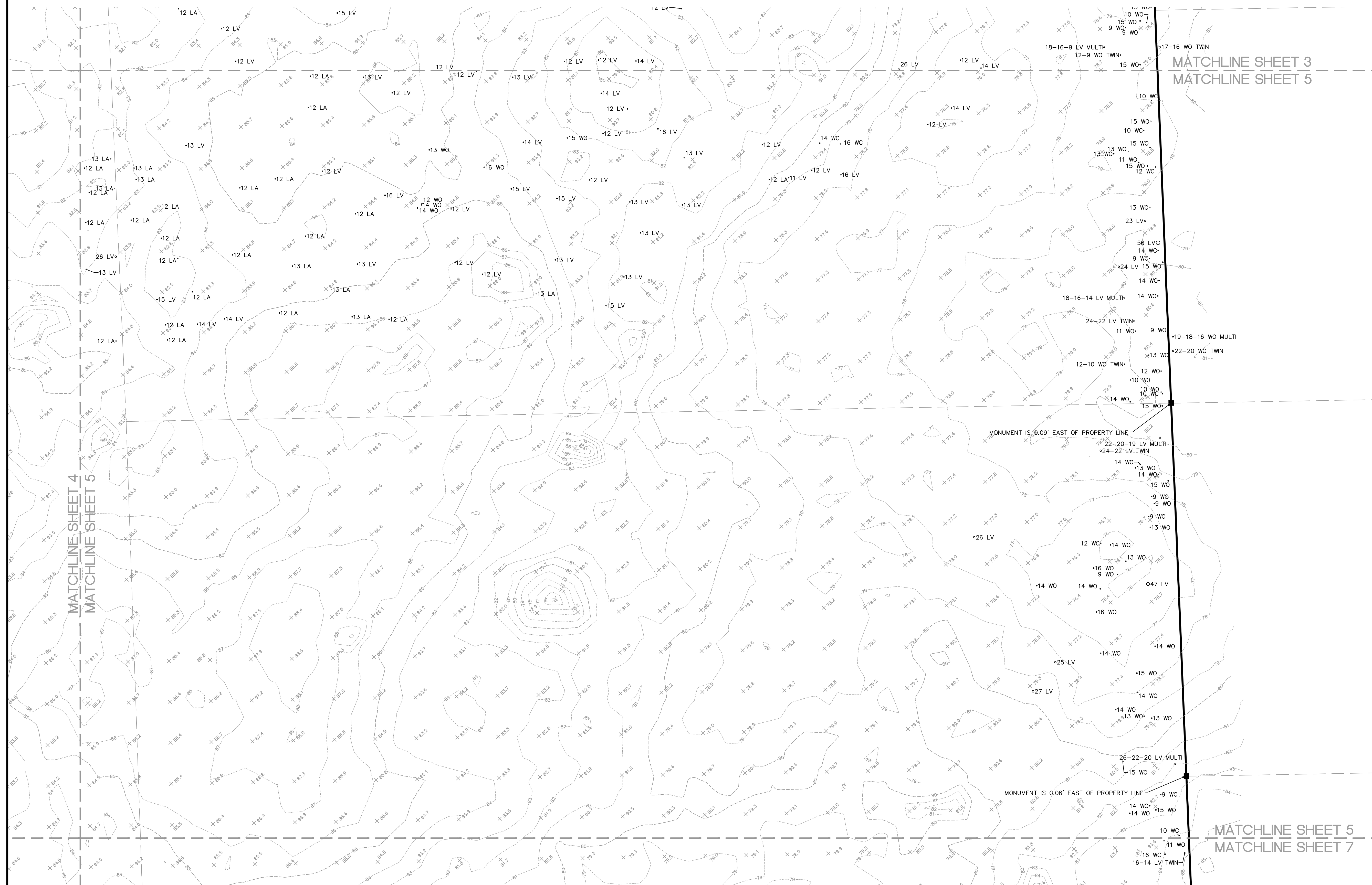
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## BOUNDARY & TOPOGRAPHIC SURVEY



## SYMBOL LEGEND

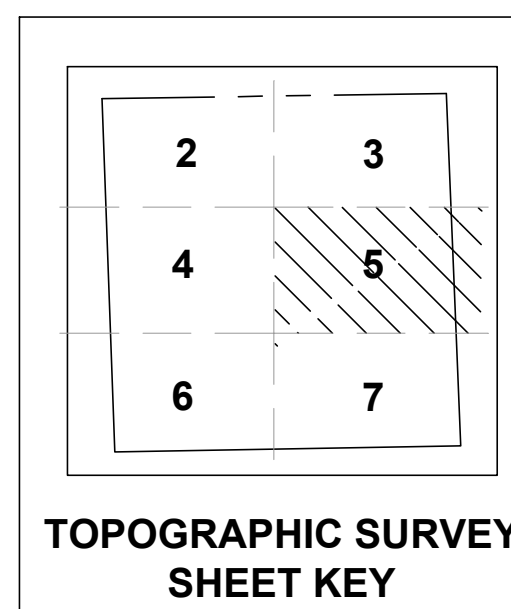
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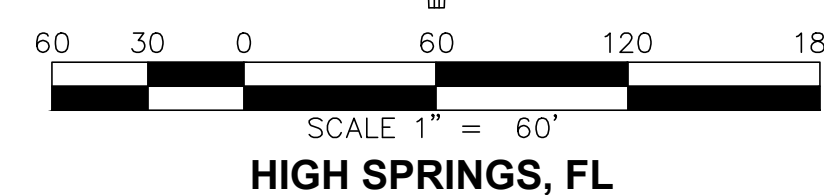
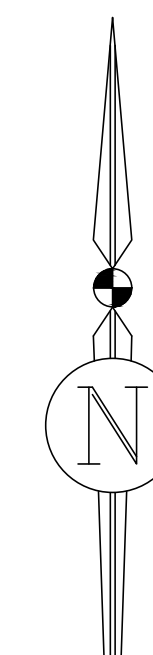
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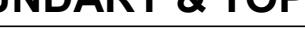
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# BOUNDARY & TOPOGRAPHIC SURVEY



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10000 W. 10th Avenue • Suite 100 • Golden, CO 80601  
(303) 440-9900 • www.jbprosurvey.com

**Scale:** 1"=60'

**Proj. No.:** 479-21-01

**Drawn:** S. Rose

**Checked:** T.Wright

**Dwg. Name:** 479-21-01-BT

**Dwg. Date:** 11-14-2022

**Field Book & Page:**

25: 43-49, 53-59, 60

32: 50, 69-71

**Sheet:** 5 of 7

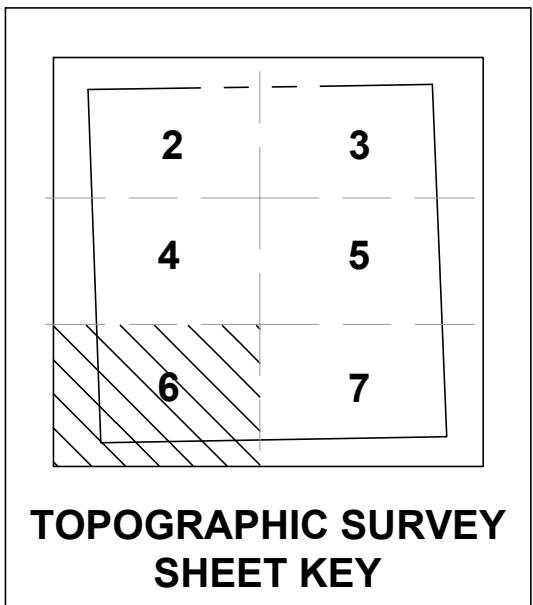


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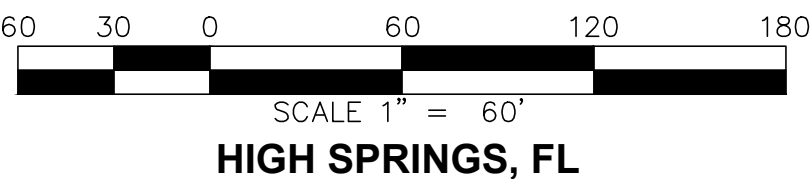
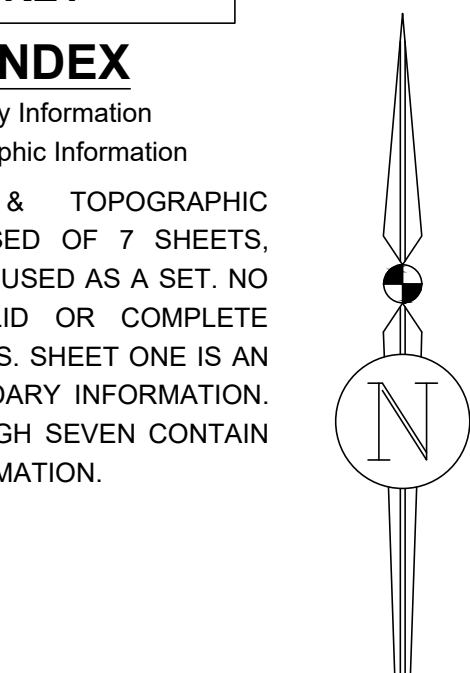
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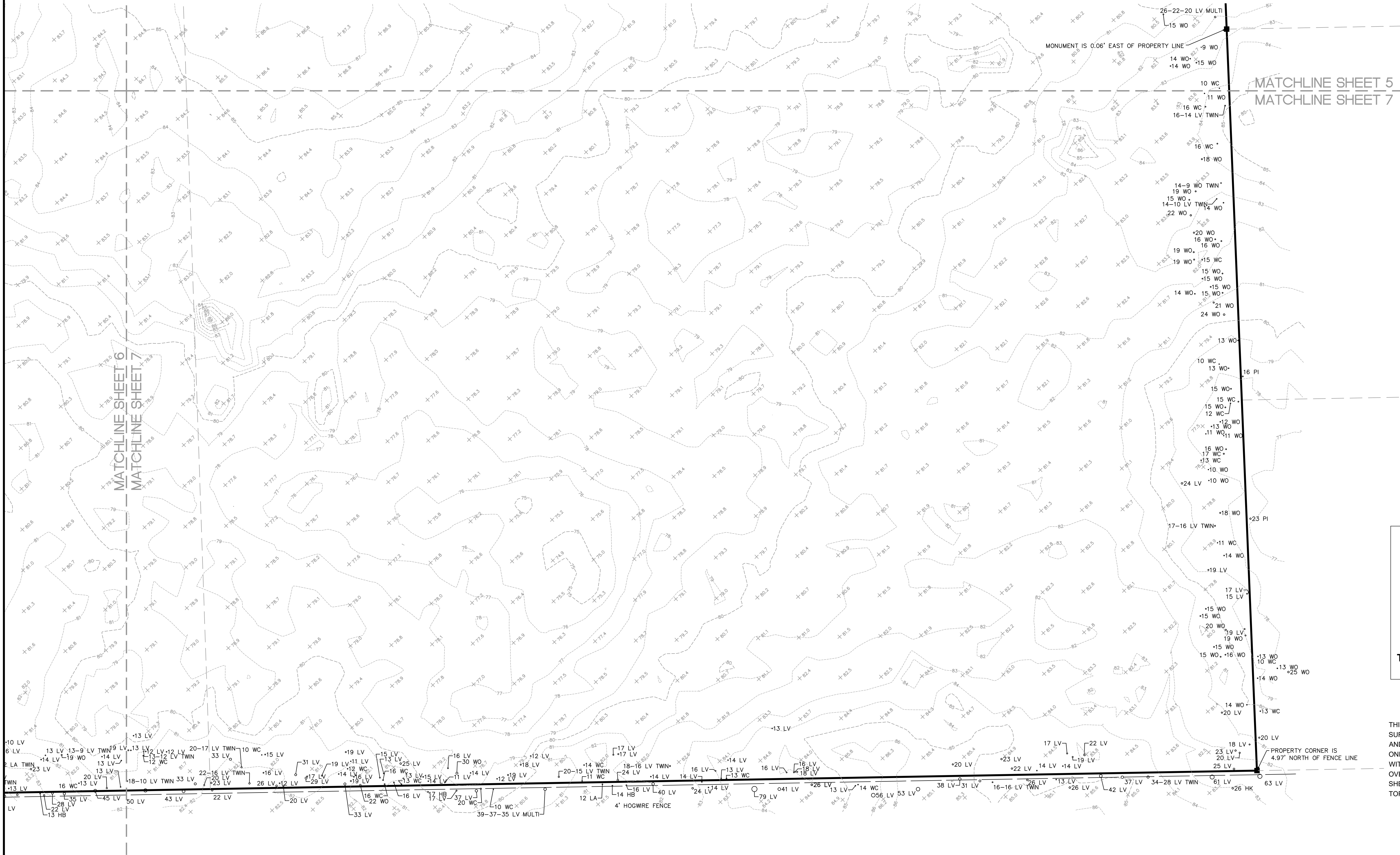
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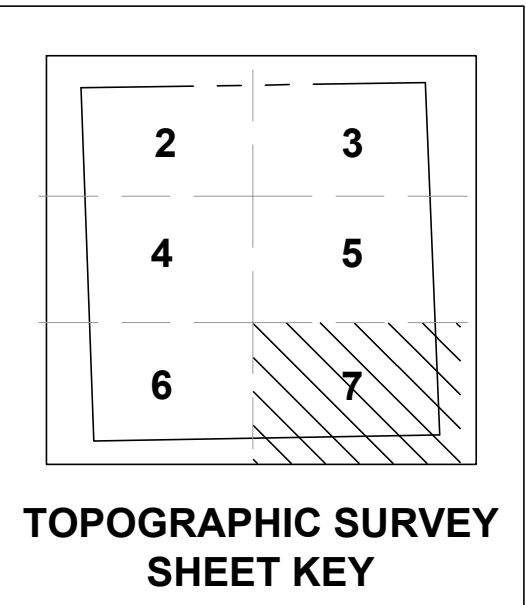
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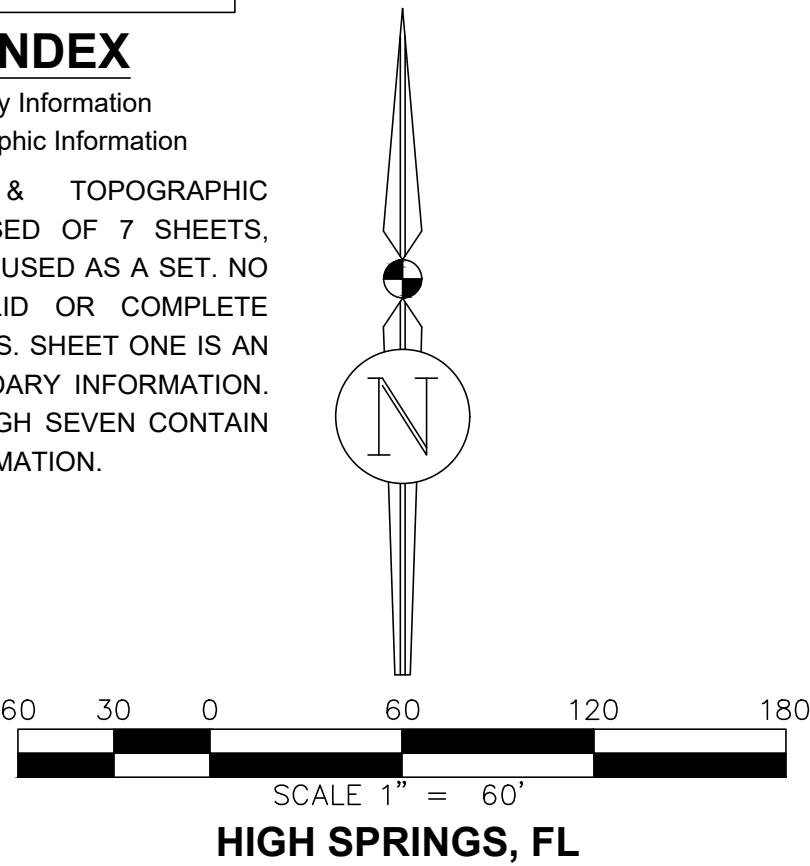
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# **Alachua County Fire Rescue**

Harold Theus, Chief

---

January 30, 2024

To whom it may concern:

As the acting Authority Having Jurisdiction for High Springs Fire Department, Alachua County Fire Rescue has reviewed the request to use a tanker shuttle to meet the water supply needs for the proposed Saddle Ridge Estates subdivision. A tanker shuttle does comply with NFPA 18.3.1.1.

A tanker shuttle is approved for this project. If the parameters of the project change, please resubmit the request an additional review.

Sincerely,

John Adler, CFO, FM, MIFireE  
Fire Marshal / Division Chief  
Fire Rescue  
911 SE 5th ST • Gainesville • FL • 32601  
352-384-3107 (office) • 863-781-1452 (mobile) • 352-384-3157 (fax)

**NEW BUSINESS ITEM #2**

SIP24-000001

AIR LIQUIDE SITE PLAN





# Site Plan Application

## A. PROJECT

1. Project Name: ALAM HSF Diborane Building
2. Address of Subject Property: 17526 High Springs Main Street
3. Parcel ID Number(s): 01392-003-002
4. Existing Use of Property: Warehousing, Distribution Terminals, Truck Terminals
5. Future Land Use Map Designation: Business/Industrial
6. Zoning Designation: Industrial/Commercial (IND)
7. Acreage: 3.33

## B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s) or **Contact Person(s)**: Christopher A. Gmuer, PE Title: President  
Company (if applicable): Gmuer Engineering, LLC  
Mailing address: 2603 NW 13th Street, Box 314  
City: Gainesville State: FL ZIP: 32609  
Telephone: (352) 281-4928 FAX: \_\_\_\_\_ e-mail: \_\_\_\_\_
3. If the applicant is agent for the property owner\*:  
Name of Owner (title holder): Voltaix, Inc.  
Mailing Address: 9811 Katy FWY, Suite 100  
City: Houston State: TX ZIP: 77024

\* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

## C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property? ☐ Yes ☒ No  
If yes, list names of all parties involved: \_\_\_\_\_  
If yes, is the contract/option contingent or absolute? ☐ Contingent ☐ Absolute

## D. DOCUMENTS SUBMITTED FOR SITE PLAN REVIEW:

1. Application Fees
2. Two (2) sets of signed and sealed plans
3. Two (2) sets of Boundary and Topographic Surveys
4. Two (2) sets of Landscape Plans (if separate from plan set)
5. Two (2) Traffic Study's
6. Two (2) Stormwater Calculations
7. Two (2) Soil Reports
8. Notarized Letter of Authorization
9. Electronic file or link containing whole submittal

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.

[Signature]  
Signature of Applicant

\_\_\_\_\_  
Signature of Co-applicant

Benjamin Lopez Production Manager  
Typed or printed name and title of applicant

\_\_\_\_\_  
Typed or printed name of co-applicant

State of Florida County of Alachua

The foregoing application is acknowledged before me this 18<sup>th</sup> day of January, 2024 by Benjamin

Lopez, who is/are personally known to me, or who has/have produced \_\_\_\_\_  
as identification.

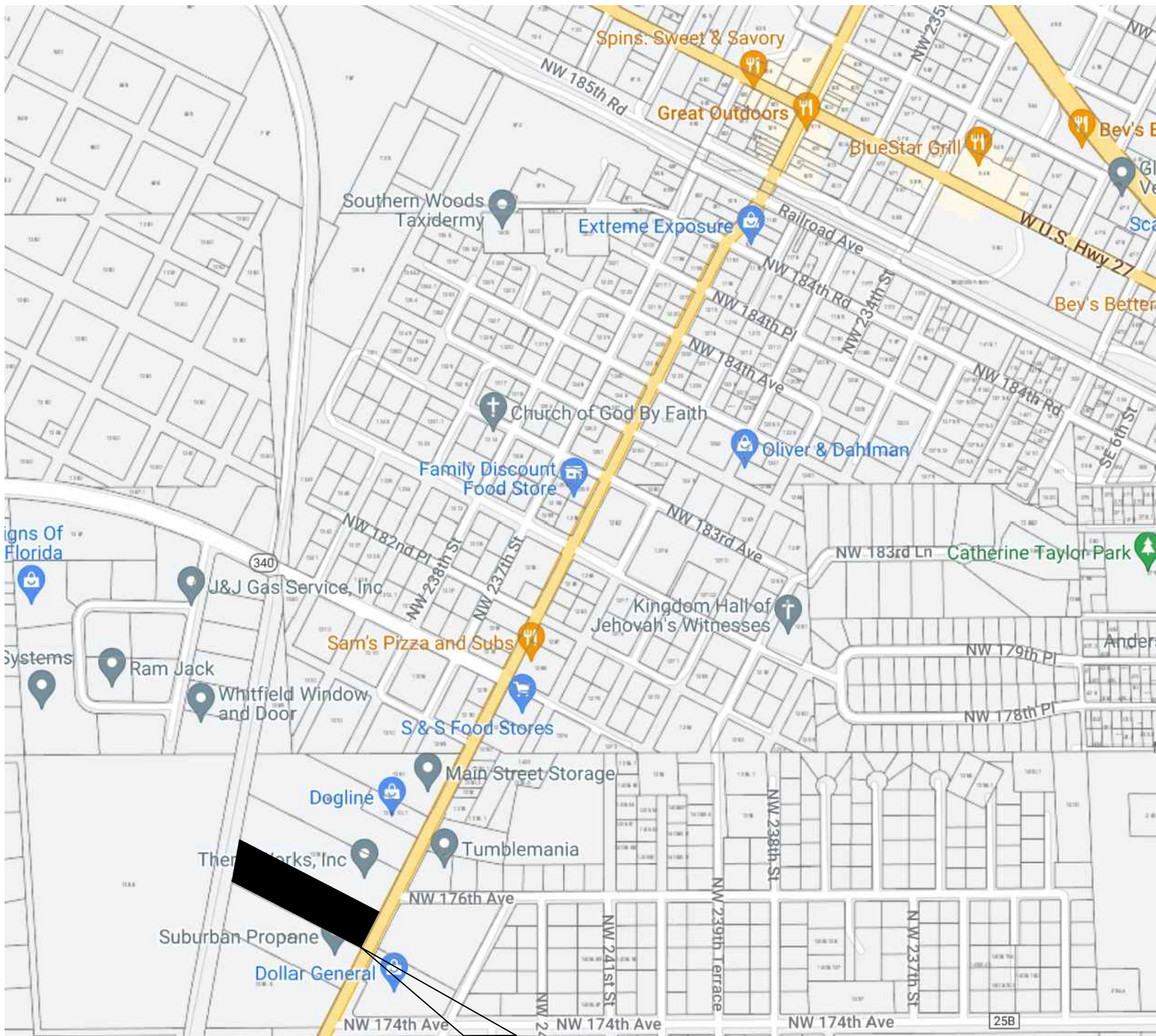
NOTARY SEAL



Tracy R. Tuttle  
Signature of Notary Public, State of Florida



AIR LIQUIDE ADVANCED MATERIALS (ALAM)  
HIGH SPRINGS FL  
DIBORANE  
PRODUCTION  
BUILDING



LOCATION MAP  
NOT TO SCALE

PROJECT

PROJECT INFORMATION

PROJECT NAME AIR LIQUIDE ADVANCED MATERIALS (ALAM) HIGH SPRINGS FL  
DIBORANE PRODUCTION BUILDING

DESCRIPTION REMOVAL OF EXISTING STRUCTURES AND CONSTRUCTION OF NEW PRODUCTION BUILDINGS.

TAX PARCEL No 01392-003-002

PROP ADDRESS 17526 S MAIN ST  
HIGH SPRINGS, FL 32643

OWNER VOLTAIX, INC  
PO BOX 5357 197 MEISTER AVE  
NORTH BRANCH, NJ 08876-6022

CIVIL ENGINEER CHRISTOPHER A. G穆ER  
G穆ER ENGINEERING, LLC  
(954) 363-2335  
2603 NW 13TH ST BOX 314  
GAINESVILLE, FL 32609

FUTURE LAND USE BUSINESS / INDUSTRIAL  
ZONING IND (INDUSTRIAL)

TOTAL PARCEL AREA 3.33 ACRES  
TOTAL IMPERVIOUS  
FEMA FLOOD ZONE X  
MAX BLDG HEIGHT 80 FT  
BLDG CLASSIFICATION INDUSTRIAL

COMPLIANCE WITH COMPREHENSIVE PLAN  
THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE HIGH SPRINGS COMPREHENSIVE PLAN

UTILITY INFORMATION

WATER CONNECTION TO AN EXISTING ON-SITE WATER SERVICE FROM US 27/41 AT THE SOUTHWEST CORNER OF THE SITE

FIRE SPRINKLER CONNECTION TO AN EXISTING ON-SITE WATER SERVICE FROM US 27/41 AT THE SOUTHWEST CORNER OF THE SITE

WASTEWATER 6" PVC LATERAL TO AN ON-SITE GRINDER LIFT STATION AND DISCHARGES TO THE EXISTING PUBLIC FORCE MAIN ON US 27/41 ALONG THE NORTHEAST CORNER OF THE SITE

ELECTRIC PROVIDED BY CLAY ELECTRIC

GAS NONE

TELEPHONE EXISTING SERVICE

CABLE EXISTING SERVICE

LEGAL DESCRIPTION: (O.R. BOOK: 2238 PAGE: 2855)

A TRACT OF LAND SITUATED IN SECTION 3, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 2" IRON PIPE AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED SECTION 3, TOWNSHIP 8 SOUTH, RANGE 17 EAST, FOR A POINT OF REFERENCE AND RUN NORTH 88 DEG. 37 MIN. 41 SEC. EAST, ALONG THE SOUTH LINE OF SAID SECTION 3, A DISTANCE OF 1 350 FEET MORE OR LESS TO THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 45 (U.S. HIGHWAY NO. 41); THENCE RUN NORTH 26 DEG. 00 MIN. 26 SEC. EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 433.14 FEET TO A STEEL ROD AND CAP AND THE TRUE POINT OF BEGINNING; THENCE RUN NORTH 63 DEG. 59 MIN. 34 SEC. WEST, A DISTANCE OF 715.14 FEET TO A STEEL ROD AND CAP ON THE EASTERLY RIGHT OF WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE RUN NORTH 09 DEG. 42 MIN. 26 SEC. EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 203.34 FEET TO A STEEL ROD AND CAP; THENCE RUN SOUTH 63 DEG. 59 MIN. 34 SEC. EAST, A DISTANCE OF 772.21 FEET TO SAID WESTERLY RIGHT OF WAY LINE OF STATE ROAD 45; THENCE RUN SOUTH 26 DEG. 00 MIN. 26 SEC. WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 195.17 FEET TO THE TRUE POINT OF BEGINNING.

SHEET INDEX

- C-000 COVER AND SHEET INDEX
- C-001 MASTER PLAN
- C-010 GENERAL NOTES AND LEGEND
- C-050 DEMOLITION & EROSION CONTROL PLAN
- C-100 SITE & HORIZONTAL CONTROL PLAN
- C-200 GRADING, DRAINAGE, & UTILITY PLAN
- 1 OF 1 BOUNDARY AND TOPOGRAPHIC SURVEY

PRELIMINARY

BUDGETING

PRICING:

CONSTRUCTION:

PERMITTING / DESIGN REVISIONS:

2024-01-29 INITIAL CITY SUBMITTAL

ENGINEER OF RECORD:

CHRISTOPHER A. G穆ER

FL PE # 71599

2024-01-29

STATE OF FLORIDA

PROFESSIONAL ENGINEER

This item has been digitally signed and sealed by Christopher A. G穆er. PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FL CA # 21533

gmuering.com

(352) 261-4928

2603 NW 13th St, Box 314

Gainesville, FL 32609

CLIENT:

AIR LIQUIDE ADVANCED MATERIALS OF FLORIDA, LLC

DESIGN:

C.A. G穆ER PE

QUALITY CONTROL:

C.A. G穆ER PE

SITE PLAN APP #

GEmg PROJECT #

TBD

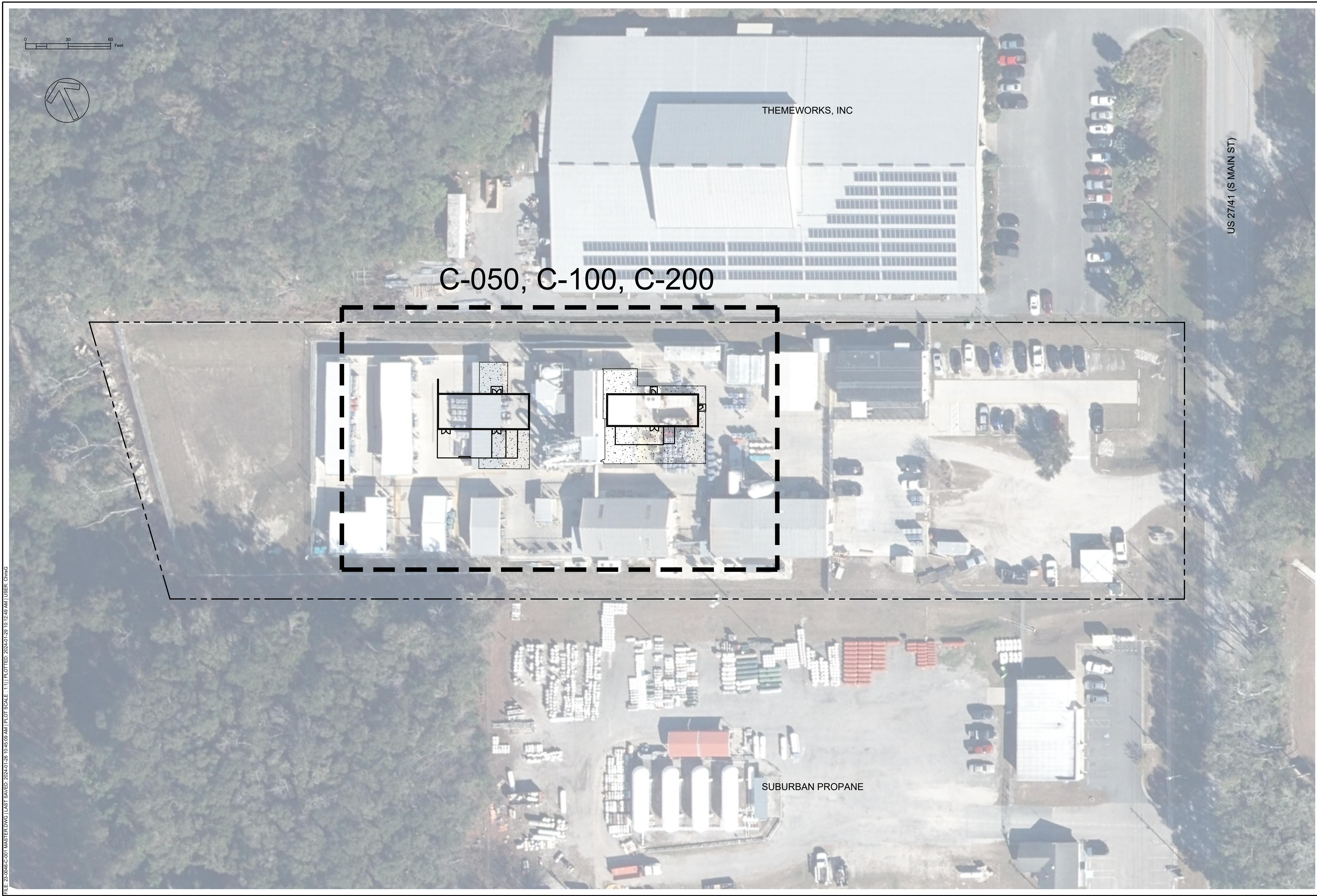
24-0046

AIR LIQUIDE ADV. MATL. (ALAM) HIGH SPRINGS FL DIBORANE PROD. BLDG

COVER AND SHEET INDEX

C-000





FILE: 23-0046-CC-001 MASTER.DWG | LAST SAVED: 2024-01-26 10:45:09 AM | PLOT SCALE: 1:11 | PLOTTED: 2024-01-29 10:12:49 AM | USER: CmsG

PRELIMINARY	
BUDGETING	
PERMITTING / DESIGN REVISIONS: 2024-01-29 INITIAL CITY SUBMITTAL	
ENGINEER OF RECORD: CHRISTOPHER A. GMUER FL PE # 71599 2024-01-29	
<p>This item has been digitally signed and sealed by Christopher A. Gmuer, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</p>	
CLIENT: AIR LIQUIDE ADVANCED MATERIALS OF FLORIDA, LLC	DESIGN: C.A. GMUER, PE QUALITY CONTROL: C.A. GMUER, PE
SITE PLAN APP # GEP# PROJECT #	
TBD 23-0046	
AIR LIQUIDE ADV. MATL. (ALAM) HIGH SPRINGS FL DIBORANE PROD. BLDG	
MASTER PLAN	
C-001	



## STORMWATER MINIMUM OPERATION AND MAINTENANCE STANDARDS

THE OPERATION AND MAINTENANCE ENTITY IS THE PROPERTY OWNER UNLESS OTHERWISE SPECIFIED.

- A. NO CLEARING, MOWING OR REMOVAL OF NATIVE, NON-INVASIVE VEGETATION SHALL TAKE PLACE INTERIOR TO THE PEDESTRIAN PATH, EXCEPT AS REQUIRED TO MEET THE PARAMETERS SET FORTH IN THE STORMWATER PERMIT OR TO MAINTAIN INLET AND OUTFALL STRUCTURES.

- B. IN ACCORDANCE WITH SECTION 373.34(6)(2), F.S., UNLESS REVOKED OR ABANDONED, ALL STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, APPURTENANT WORKS, OR WORKS PERMITTED UNDER PART IV OF CHAPTER 373, F.S., MUST BE OPERATED AND MAINTAINED IN PERPETUITY. THE OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE AGENCY, AND INCORPORATED AS A CONDITION INTO ANY PERMIT ISSUED FOR SUCH ACTIVITIES ARE.

- C. UPON COMPLETION OF THE PERMITTED STORMWATER MANAGEMENT SYSTEMS, DAMS, RESERVOIRS, IMPOUNDMENTS, APPURTENANT WORK, OR WORKS, THE AGENCY SHALL HAVE PERIODIC INSPECTIONS MADE TO ENSURE THE PROJECTS ARE PROPERLY CONSTRUCTED AND IS BEING OPERATED IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT, AND IN A MANNER THAT PROTECTS THE PUBLIC HEALTH AND SAFETY AND THE NATURAL RESOURCES OF THE STATE. NO PERSON SHALL REFUSE IMMEDIATE ENTRY OR ACCESS TO ANY AUTHORIZED REPRESENTATIVE OF THE DISTRICT OR DEP WHO REQUESTS ENTRY FOR PURPOSES OF SUCH INSPECTION AND PRESENTS APPROPRIATE CREDENTIALS.

- D. NO CLEARING, MOWING OR REMOVAL OF NATIVE, NON-INVASIVE VEGETATION SHALL TAKE PLACE INTERIOR TO THE PEDESTRIAN PATH.

- E. INSPECTIONS MAY BE PERFORMED BY AGENCY STAFF DURING AND AFTER CONSTRUCTION, WHEN NEEDED TO ENSURE A PROJECT IS BEING OPERATED AND MAINTAINED IN PERPETUITY. THE PERMIT MAY REQUIRE THE OPERATION AND MAINTENANCE ENTITY TO CONDUCT THE PERIODIC INSPECTIONS. THE REQUIRED INSPECTION SCHEDULE FOR A SPECIFIC PROJECT WILL BE SPECIFIED IN THE PERMIT.

- F. SOME PROJECTS THAT DO NOT CONSIST OF OR INCLUDE A STORMWATER MANAGEMENT SYSTEM, DAM, IMPOUNDMENT, RESERVOIR, OR APPURTENANT WORK, WHETHER DESIGNED BY A REGISTERED PROFESSIONAL OR NOT, ALSO MAY BE REQUIRED IN THE PERMIT TO BE REGULARLY INSPECTED AND MONITORED TO ENSURE COMPLIANCE WITH PERMIT CONDITIONS AND THE FUNCTIONINGS OF THE PROJECT. THIS MAY INCLUDE INDIVIDUAL PERMITS ISSUED FOR ACTIVITIES AT A PRIVATE RESIDENTIAL SINGLE-FAMILY RESIDENCE. FOR EXAMPLE, A RESIDENTIAL FILL PAD MAY HAVE BEEN PERMITTED WITH SPECIFIC REQUIREMENTS FOR SLOPE DRAINAGE OR RUNOFF. A DOCK LOCATED IN WATERS WITH SENSITIVE RESOURCES MAY HAVE BEEN PERMITTED WITH CONDITIONS PROHIBITING MOORING IN CERTAIN LOCATIONS, LIMITING THE NUMBER OR SIZE OF BOATS TO BE MOORED AT THE DOCK, OR WITH REQUIREMENTS FOR HANDRAILING OR OTHER ASSOCIATED STRUCTURES. THE PERMIT WILL SPECIFY THE PERIODIC INSPECTIONS THAT WILL BE REQUIRED, AND HOW THE RESULTS OF THE INSPECTIONS ARE TO BE EITHER RETAINED BY THE PERMITTEE OR REPORTED TO THE AGENCY. EXAMPLES WHERE MONITORING AND REPORTING BY SUCH PERSONS MAY BE REQUIRED FOR SUCH ACTIVITIES ARE:

1. SINGLE-FAMILY DOCK (TO VERIFY THAT: HANDRAILS ARE CONSTRUCTED AND ARE MAINTAINED TO PREVENT MOORING OF VESSELS IN SHALLOW WATERS);
  2. MULTISUP DOCKING FACILITY (TO VERIFY MAINTENANCE OF MANATEE PROTECTION SIGNS, SEWAGE PUMP-OUT FACILITIES, OR OVER-WATER FUELING OPERATION);
  3. SINGLE-FAMILY LOT FILL (TO VERIFY LAWN GRADING AND SLOPING IS MAINTAINED TO REDUCE DISCHARGES OF NUTRIENTS FROM LAWN RUNOFF ENTERING SENSITIVE WATERS);
  4. SEAWALLS OR RIP RAP (TO VERIFY INTEGRITY OF SYSTEM OR SHORELINE PLANTINGS);
  5. LANDS WITHIN A CONSERVATION EASEMENTS (FOR ENCROACHMENTS, ALTERATIONS, OR EXOTIC/NATIVE VEGETATION REMOVAL) IN ACCORDANCE WITH A PERMIT UNDER THIS CHAPTER;
  6. MITIGATION SITES (TO DETERMINE COMPLIANCE WITH SUCCESS CRITERIA, INCLUDING THE STATUS OF EXOTIC SPECIES REMOVAL), AND OTHER DREDGING OR FILLING (FOR EXAMPLE, DREDGED MATERIAL SITES AND DAMS TO ENSURE FUNCTIONING AND STABILITY OF DIKES AND CONDUIT STRUCTURES).
- F. THE EFFICIENCY OF STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, AND MOST OTHER PROJECTS NORMALLY DECREASES OVER TIME WITHOUT PERIODIC MAINTENANCE. A SIGNIFICANT REDUCTION IN THE FLOW CAPACITY OF A STORMWATER MANAGEMENT SYSTEM OFTEN CAN BE ATTRIBUTED TO PARTIAL BLOCKAGES OF ITS CONVEYANCE SYSTEM, ONCE FLOW CAPACITY IS COMPROMISED, FLOODING MAY RESULT. THEREFORE, OPERATION AND MAINTENANCE ENTITIES MUST PERFORM PERIODIC INSPECTIONS TO IDENTIFY IF THERE ARE ANY DEFICIENCIES IN STRUCTURAL INTEGRITY, DEGRADATION DUE TO INSUFFICIENT MAINTENANCE, OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR THE WATER RESOURCES. IF DEFICIENCIES ARE FOUND, THE OPERATION AND MAINTENANCE ENTITY WILL BE RESPONSIBLE FOR CORRECTING THE DEFICIENCIES TO THE EXTENT OF THE ORIGINAL FUNCTIONS REQUIRED BY THE PERMIT. INSPECTIONS IN THE PERMIT AND CONTEMPLATED BY THE DESIGN OF THE PROJECT AS PERMITTED, THE CORRECTIONS MUST BE DONE A TIMELY MANNER TO PREVENT COMPROMISES TO FLOOD PROTECTION AND WATER QUALITY.

- G. INSPECTION AND REPORTING FREQUENCIES WILL BE INCLUDED AS PERMIT CONDITIONS BASED ON SITE SPECIFIC OPERATIONAL AND MAINTENANCE REQUIREMENTS, INCLUDING:

1. THE TYPE, NATURE, AND DESIGN OF THE DESIGN AND PERFORMANCE STANDARDS PROPOSED, INCLUDING ANY ALTERNATIVE DESIGNS SUCH AS PERVIOUS PAVEMENT, GREEN ROOFS, CISTERNS, MANAGED AQUATIC PLANT SYSTEMS, STORMWATER HARVESTING, WETLAND TREATMENT TRAINS, LOW IMPACT DESIGNS, ALUM OR POLYMER INJECTION SYSTEMS;
2. THE PROXIMITY OF RECEIVING WATERS CLASSIFIED AS OUTSTANDING FLORIDA WATERS IN RULE 62-302.700, F.A.C., OR IMPAIRED FOR CONSTITUENTS LIKELY TO BE CONTAINED IN DISCHARGES FROM THE PROJECT;
3. THE NATURE OF THE SITE, SUCH AS WHETHER IT IS PART OF A PORT OR LANDFILL, WHETHER IT WILL IMPOUND MORE THAN 40 ACRE-FEET OF WATER, OR WILL INCLUDE ABOVE GROUND IMPOUNDMENTS;
4. THE TOPOGRAPHY, RAINFALL PATTERNS, AND ADJACENT DEVELOPMENT SURROUNDING THE ACTIVITY SITE, INCLUDING ANY SPECIAL BASIN DESIGNATIONS WITHIN THE DISTRICT IN WHICH THE ACTIVITY IS LOCATED, AS IDENTIFIED IN PARAGRAPH 62-330.301(1)(K), F.A.C.;
5. THE NATURE OF THE UNDERLYING SOILS, GEOLOGY, AND GROUNDWATER, AND HYDROLOGY;
6. THE POTENTIAL FOR CONSTRUCTION AND OPERATION OF THE PROJECT TO CAUSE HARM TO PUBLIC HEALTH, SAFETY, OR WELFARE, OR HARM TO WATER RESOURCES, WATER QUALITY STANDARDS, OR WATER QUALITY; AND

7. PRIOR COMPLIANCE HISTORY WITH THE PROPOSED DESIGN AND PERFORMANCE TYPE, INCLUDING WHETHER THE ACTIVITY CHARACTERISTICS POSE MORE THAN A MINIMAL RISK FOR HARM.

- SPECIAL ATTENTION SHALL BE MADE DURING INSPECTIONS TO ENSURE THAT:

1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;
2. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE;
3. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL OR BY OTHER MEANS;
4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.

- H. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY, IN ACCORDANCE WITH THE REPORTING SECTION, BELOW.

- I. THE INSPECTION AND REPORTING REQUIREMENTS CONTAINED IN A PERMIT ISSUED UNDER PART IV OF CHAPTER 373, F.S., PRIOR TO OCTOBER 1, 2013, THE EFFECTIVE DATE OF CHAPTER 62-330, F.A.C., WHICH IMPLEMENTS SECTION 373.4141, F.S., SHALL CONTINUE TO BE FOLLOWED IN ACCORDANCE WITH THE EXISTING PERMIT UNLESS THE PERMITTEE OBTAINS IN RULE 62-330.301(1)(K), F.A.C., TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 62-330, F.A.C. THE INSPECTION AND REPORTING REQUIREMENTS OF RULE 62-330.311, F.A.C., THESE NOTES, AND SECTION 12.4 OF THE ENVIRONMENTAL RESOURCE PERMIT APPLICANTS' HANDBOOK, VOLUME I (GENERAL AND ENVIRONMENTAL).

## STORMWATER INSPECTION REPORTING

- ALL FORMS REQUIRED FOR REPORTING CAN BE SUBMITTED TO THE RESPECTIVE AGENCY INTERNET SITE. IF THE PERMITTEE DOES NOT HAVE ACCESS TO THE INTERNET, THEY SHALL BE RESPONSIBLE FOR OBTAINING AND RETAINING RECORDS OF THE INSPECTIONS AND FOR DELIVERING SUCH RECORDS WITHIN 30 DAYS OF REQUEST TO THE REQUESTING AGENCY, UNLESS A MORE RAPID DELIVERY IS REQUESTED FOR SUCH REASONS AS THE POTENTIAL FOR THE ACTIVITY HARM TO WATER QUALITY, WATER RESOURCES, PUBLIC HEALTH, OR PUBLIC SAFETY.

- B. WITHIN 30 DAYS OF ANY FAILURE OF A STORMWATER MANAGEMENT SYSTEM OR DEVIATION FROM THE PERMIT, A REPORT SHALL BE SUBMITTED ELECTRONICALLY OR IN WRITING TO THE AGENCY USING FORM 62-330.311(1), "OPERATION AND MAINTENANCE INSPECTION CERTIFICATION," DESCRIBING THE REMEDIAL ACTIONS TAKEN TO RESOLVE THE FAILURE OR DEVIATION.

- C. THE OPERATION AND MAINTENANCE ENTITY OF A REGIONAL STORMWATER MANAGEMENT FACILITY MUST NOTIFY THE AGENCY ON AN ANNUAL BASIS, USING FORM 62-330.311(2), "REGIONAL STORMWATER MANAGEMENT SYSTEM ANNUAL REPORT," OF ALL NEW SYSTEMS AND THEIR ASSOCIATED STORMWATER VOLUMES THAT HAVE BEEN ALLOWED TO DISCHARGE INTO THE REGIONAL FACILITY, AND CONFIRMING THAT THE MAXIMUM ALLOWABLE TREATMENT VOLUME OF STORMWATER AUTHORIZED TO BE ACCEPTED BY THE REGIONAL STORMWATER MANAGEMENT FACILITY HAS NOT BEEN EXCEEDED.

- D. A LISTING OF ALL THE FORMS THAT ARE INCORPORATED BY REFERENCE IN CHAPTER 62-330, F.A.C., IS CONTAINED IN APPENDIX C OF THE ERP APPLICANTS' HANDBOOK, VOLUME I; COPIES OF WHICH MAY BE OBTAINED FROM THE AGENCY, AS DESCRIBED IN APPENDIX A OF THAT VOLUME AND SUBSECTION 62-330.010(5), F.A.C.

## EROSION CONTROL AND STABILIZATION

1. CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE NOI AND APPROPRIATE FEE TO SECURE A FDEP GENERIC PERMIT FOR STORMWATER EROSION AND SEDIMENT CONTROL ACTIVITIES (CGP) AT LEAST TWO DAYS BEFORE CONSTRUCTION BEGINS. A PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OR IF THE PROJECT IS PART OF A LARGER DEVELOPMENT THAT WILL ULTIMATELY DISTURB ONE OR MORE ACRES.

2. PROJECTS THAT DISCHARGE STORMWATER TO AN MSA, A COPY OF THE NOI MUST ALSO BE SUBMITTED TO THE OPERATOR OF THE MSA.

3. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AND IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO MINIMIZE EROSION AND SEDIMENTATION FROM STORMWATER DISCHARGES DURING CONSTRUCTION. THE ENGINEER SHOULD NOT BE LISTED AS THE OPERATOR AS THEY DO NOT HAVE OPERATIONAL CONTROL OVER THE PROJECT.

4. WHEN THE OPERATOR CHANGES, THE NEW OPERATOR SHOULD OBTAIN PERMIT COVERAGE AT LEAST 2 DAYS BEFORE ASSUMING CONTROL OF THE PROJECT, AND THE PREVIOUS OPERATOR SHOULD FILE A NEW STORMWATER NOTICE OF TERMINATION WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROLS UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED.

6. ALL DISTURBED AND OPEN AREAS OF THE SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE.

## WARRANTIES

- IF NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL IMPROVEMENTS SHALL BE WARRANTED BY THE CONTRACTOR TO THE OWNER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. THIS WARRANTY WILL ALSO EXTEND TO THE MAINTENANCE ENTITY OF ANY OTHER IMPROVEMENTS INCLUDING ROADS, SIDEWALKS, UTILITIES, STORM PIPING, ETC., OR TO THE EXTENT REQUIRED BY THEIR APPLICABLE DESIGN STANDARDS.

## DESIGN ELEMENTS AND INFORMATION FURNISHED BY OTHERS

1. THE ENGINEER AND ITS CONSULTANTS PREPARED THESE PLANS AND DESIGN DOCUMENTS THROUGH THE USE OR RELIANCE UPON DESIGN ELEMENTS AND INFORMATION ORDINARILY OR CUSTOMARILY FURNISHED BY OTHERS, INCLUDING BUT NOT LIMITED TO, SURVEYORS, GEOTECHNICAL ENGINEERS, ENVIRONMENTAL CONSULTANTS, ARCHITECTS, BUILDING SYSTEMS ENGINEERS, SPECIALTY CONTRACTORS, MANUFACTURERS, SUPPLIERS, AND THE PUBLISHERS OF TECHNICAL STANDARDS. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR DESIGN ERROR AND OMISSIONS RESULTING FROM THE USE OF SUCH INFORMATION.
2. ALL POINTS OF COORDINATION OR INTERFACE BETWEEN THESE PLANS AND DESIGN DOCUMENTS AND THE PLANS AND DESIGN DOCUMENTS OF OTHERS MUST BE COMPARED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCURING MATERIALS AND INSTALLATION.

## UTILITY LOCATES, RELOCATION, PROTECTION, AND TERMINATION

1. UTILITY LOCATES SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE INITIATION OF SITE CONSTRUCTION.
2. PROPOSED UTILITY TAPS AND CROSSINGS SHALL BE PHYSICALLY LOCATED AND VERIFIED BY THE CONTRACTOR AS SOON AS PRACTICABLE AND SHALL CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
3. UTILITY RELOCATION, SUPPORT, PROTECTION, TERMINATION, CAPPING, AND REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR WITH UTILITY COMPANIES. ADEQUATE TIME SHALL BE PROVIDED FOR PROPER COORDINATION AND TO MINIMIZE SERVICE INTERRUPTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES TO THE UTILITY COMPANY FOR THEIR SERVICES.

## SAFETY AND TEMPORARY TRAFFIC CONTROL (MAINTENANCE OF TRAFFIC)

1. ALL SAFETY REGULATIONS AND PRACTICES SHALL BE ENFORCED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THIS PROJECT. THIS ALSO INCLUDES THE TRAVELING PUBLIC. THE FOLLOWING IS A NOTICE TO THE CONTRACTOR AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT OR ENFORCE SAFETY REGULATIONS.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
3. ALL SUBSURFACE CONSTRUCTION SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE "TRENCH SAFETY ACT".
4. TEMPORARY TRAFFIC CONTROL (TTC) IS REQUIRED FOR ALL WORKS ON HIGHWAYS, ROADS, STREETS, BIKE LANES, SIDEWALKS AND SHALL HAVE A TTC PLAN. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER THAT IS NOT ADVANCED MORE AT THE COST OF THE CONTRACTOR. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED TTC PLAN AND THE REVIEWING AGENCY'S APPROVED PROCEDURES. THE PLAN AND WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

## GENERAL AND MISCELLANEOUS NOTES

1. THESE PLANS, DESIGN DOCUMENTS, AND NOTES ARE NOT EXHAUSTIVE. ALL THE APPLICABLE CONSTRUCTION STANDARDS AND DETAILS THAT ARE LISTED, REFERENCED, OR IMPLIED ARE INCLUDED IN THE CONTRACT DOCUMENTS BY REFERENCE.
2. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE REVIEWING AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
3. THE REPAIR OF DAMAGE CAUSED ABOVE OR BELOW DUE TO THE CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE WILL BE IN THE OPINION OF THE OWNER, APPLICABLE AGENCY, OR ENGINEER. ALL REPAIRS SHALL BE MADE AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THE PARTICULAR ENTITY.
4. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT, SIDEWALKS, AND GRADING AROUND BUILDINGS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED AREAS OF POOR DRAINAGE PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, INSPECTED, AND TESTED PRIOR TO PAVEMENT BASE OR SIDEWALK INSTALLATION.

## TREE PRESERVATION AND DEMOLITION

1. CONTRACTOR SHALL CONTACT THE ALACHUA COUNTY FORESTER / LANDSCAPING INSPECTOR (352-374-9243 EXT 263) FOR A TREE BARRETT INSPECTION PRIOR TO REMOVAL OF ANY TREE.
2. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE INDICATED TO REMAIN UNDISTURBED ON THE PLANS.
3. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. ALL TREES NOT SPECIFICALLY SHOWN TO BE REMOVED SHALL REMAIN AND BE MAINTAINED BY THE CONTRACTOR AND THE OWNER. THE PROTECTION OR REMOVAL IS AT THE COST OF THE CONTRACTOR.
5. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
6. DISTURBED AREAS SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, MISCELLANEOUS VEGETATION, DELETERIOUS MATERIAL, DEBRIS, ETC.
7. SOME ITEMS TO BE REMOVED OR SALVAGED MAY NOT BE DEPICTED ON THE PLANS OR SURVEY. CONTRACTOR SHALL HAVE AWARE OF ALL EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS AND CONFIRM AN INVENTORY WITH THE OWNER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR SALVAGE OF ALL EXISTING BUILDINGS, STRUCTURES, PILLS, SIGNS, ETC., AND THEIR APPURTENANCES UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE PROPERLY DISPOSED IN A LEGAL MANNER.
9. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.

## PERMITTING, CONSTRUCTION STANDARDS, SUBMITTALS, REQUESTS FOR INFORMATION, INSPECTIONS, TESTING, PUNCH LISTS, RECORD DRAWINGS, AND AS-BUILTS

1. SITE CLEARING AND DEMOLITION MAY NOT BE ABLE TO BEGIN UNTIL CERTAIN PERMITS HAVE BEEN ISSUED AND MAY REQUIRE PRE-CONSTRUCTION MEETINGS, INSPECTIONS, CLEARANCES. THESE PERMITS ARE TYPICALLY ISSUED BY THE APPLICABLE WATER MANAGEMENT DISTRICT AND THE MUNICIPALITY.
2. OTHER PERMITS ARE REQUIRED PRIOR TO COMPLETING OTHER SITE COMPONENTS SUCH AS THE UTILITY CONSTRUCTION PERMITS, DRIVEWAY CONNECTION PERMITS, ROW USE PERMITS, ETC.
3. CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND OBTAINING ALL REQUIRED PERMITS, BONDS, TESTING, INSPECTIONS, CERTIFICATIONS, ETC. PRIOR TO AND DURING CONSTRUCTION (E.G. FDEP CGP, DEWATERING, MOT, WATER/SEWER INSPECTIONS).
4. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THESE DOCUMENTS.

5. THE CONTRACTOR IS RESPONSIBILITY TO VERIFY THE CONSTRUCTION STANDARDS APPLICABLE TO EACH PORTION OF THE PROJECT. A SUGGESTED LIST OF APPLICABLE STANDARDS TYPICALLY ACCOMPANY THIS NOTE ON THIS PLAN SHEET.

6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PROCUREMENT OF MATERIALS AND INSTALLATION (E.G. PRECAST STRUCTURES, MANUFACTURED ITEMS). FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

7. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED TO THE ENGINEER FOR RESPONSE BEFORE COMMENCING THE RELATED WORK VIA THE OWNER'S CONSTRUCTION DOCUMENTATION PROCESS.

8. CONTRACTOR SHALL CONDUCT AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING OF MATERIALS, SOILS, UTILITIES, ETC. THE TESTING SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, CONSTRUCTION STANDARDS, INSPECTOR'S REQUEST, DESIGN REPORTS, AND STANDARD PAVING AND GRADING TESTING. THIS SHALL INCLUDE FIELD TESTING IN ALL PAVEMENT AND GRADE PLACEMENT TRENCHES, ESPECIALLY UNDER ROADS AND OTHER PAVED AREAS, CONCRETE, AND OTHER MATERIALS TESTING.

9. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR ALL RETESTING COSTS AND ANY RECONSTRUCTION REQUIRED TO MEET THE REQUIREMENTS.

10. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER THE SCHEDULE OF PUNCH LIST SITE VISITS WITH THE CONSTRUCTION SCHEDULE TO AVOID REPEAT VISITS. A TIMELINE OF ADDRESSING THE PUNCH LIST ITEMS SHALL BE PROVIDED IN A TIMELY MANNER. ANY DISPUTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER.

11. RECORD DRAWINGS ARE DEFINED AS NOTES AND OTHER DOCUMENTATION COLLECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AS IT RELATES TO INSTALLATION PROGRESS, FIELD CONDITIONS, METHODS, TECHNIQUES, AND OTHER FIELD DATA. RECORD DRAWINGS MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE, HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE COST OF THE CONTRACTOR UTILIZING STANDARD METHODS.

12. CONTRACTOR SHALL CONFIRM REQUIREMENTS TO PROVIDE COMPLETE AS-BUILT INFORMATION TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES AT THE COST OF THE CONTRACTOR.

13. AS-BUILTS ARE DEFINED AS A DRAWING PRODUCED BY A REGISTERED LAND SURVEYOR BASED ON FIELD MEASUREMENTS OF THE PROJECT. IMPROVEMENTS WITH LOCATIONS, ELEVATIONS, AND DESCRIPTION OF IMPROVEMENTS. THEY SHOULD MEET REVIEWING AGENCIES REQUIREMENTS PER PERMIT AND CLOSEOUT REQUIREMENTS. THEY SHOULD ALSO MEET THE OWNER'S NEED FOR LENDING, WARRANTY, AND OTHER REQUIREMENTS.

14. AS-BUILTS CONTAIN AT A MINIMUM: BUILDING LOCATION AND FINISHED FLOOR ELEVATIONS, ACCESSIBLE ROUTE AND PARKING GRADES, PAVEMENT GRADE BREAKS, GRAVITY STRUCTURE TOP ELEVATIONS AND PIPE SIZES AND INVERTS, PRESSURE SYSTEM FITTINGS AND VALVES, SAMPLING POINTS, STORMWATER FACILITY TOP AND BOTTOM PERIMETERS AND OTHER FIELD DATA, OUTFALL STRUCTURE DETAILS, ETC. AND OTHER LOCATIONS WHERE FIELD CONDITIONS DO NOT MATCH THE CONTRACT DOCUMENTS.

15. ADDITIONAL AS-BUILT INFORMATION MAY BE REQUIRED DURING CONSTRUCTION INSTALLATIONS AT CRITICAL AREAS. THIS INCLUDES BUT IS NOT LIMITED TO PIPE CROSSINGS OF WATER MAINS WITH LESS THAN 18 INCHES OF CLEARANCE OR WHEN PARALLEL UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

## CONSTRUCTION STANDARDS

1. ALL WORK PERFORMED SHALL CONFORM TO THE FOLLOWING:
  - 1.1. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JULY 2018)
  - 1.2. FDOT DESIGN STANDARDS (FY 2017-18)
  - 1.3. FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (FY 2018-19)
  - 1.4. FDOT PLANS PREPARATION MANUAL (JANUARY 2017)
  - 1.5. FDOT DESIGN MANUAL (FDM) (JANUARY 2018)
  - 1.6. FDOT FLEXIBLE PAVEMENT DESIGN MANUAL (JANUARY 2018)
  - 1.7. FDOT RIGID PAVEMENT DESIGN MANUAL (JANUARY 2018)
2. SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE ABOVE REFERENCED STANDARDS, THE CONTRACTOR SHALL IMMEDIATELY CONFER WITH THE REVIEWING AGENCY AND THE ENGINEER OF RECORD IN ORDER TO RESOLVE THE DISCREPANCY.
3. ALL TRAFFIC STRIPING AND MARKINGS IN THE RIGHT-OF-WAY ARE TO BE LEAD-FREE, NON-SOL VENT BASED THERMOPLASTIC.
4. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD.
5. ALL CURB AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
6. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTIPEDE IN UTILITY STRIPS).

## STANDARD ABBREVIATIONS

ADJ	ADJACENT	LONG	LONGITUDE
ALUM	ALUMINUM	LT	LEFT
APT	APARTMENT	MAINT	MAINTENANCE
ASPH	ASPHALT	MAX	MAXIMUM
B&J	BORE & JACK	MES	MITERED END SECTION
BLDG	BUILDING	MH	MANHOLE
BLK	BENCHMARK	MIN	MINIMUM
BOW	BOTTOM OF WALL	MONTH	MONTH
CEL	CLAY ELECTRIC COOPERATIVE	MUTCD	MANUAL ON UNIFORM TRAFFIC DESIGN
C&G	CURB & GUTTER	N	NORTH
C1	CURVE ONE	N/A	NOT APPLICABLE
CATV	CABLE TELEVISION	NE	NORTH EAST
CEC	CLAY ELECTRIC COOPERATIVE	NE	NORTH EAST
CF	CUBIC FEET	OC	ON CENTER
C1	CAST IRON	OE	OFF CENTER
CP	C&P IN PLACE	POB	POINT OF BEGINNING
CL	CENTER LINE	POE	POINT OF ENDING
CLF	CHAIN LINK FENCE	PR	PRIMARY
CMP	CORRUGATED METAL PIPE	PRM	PERMANENT REFERENCE MARKER
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
C/O	CLEAN OUT	PUE	PUBLIC UTILITY EASEMENT
COMM	COMMUNICATIONS	PUD	PLANNED URBAN DEVELOPMENT
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	PMT	PAVEMENT
DBI	DITCH BOTTOM INLET	RCF	REINFORCED CONCRETE PIPE
DDCBP	DOUBLE DETECTOR CHECK BACKFLOW PREVENTER	REF	REFERENCE
DEG	DEGREES	ROW	RIGHT OF WAY
DHWL	DESIGN HIGH WATER LEVEL	RFPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
DIA	DUCTILE IRON	RT	RIGHT
DIM	DIMENSION	RT	RIGHT
DIP	DUCTILE IRON PIPE	SE	SOUTH EAST
E	ELEVATION	SE	SOUTH EAST
ELEC	ELECTRIC	SP	SQUARE FEET
EOP	EDGE OF PAVEMENT	SW	SIDEWALK
ERP	ELLIPTICAL REINFORCED CONCRETE PIPE	SS	STORM SEWER
ESMT	EASEMENT	SS	STORM SEWER
EX	EXISTING	STD	STANDARD
FCC	FIRE HOSE CURB	STA	STATION
FDC	FIRE DEPARTMENT CONNECTION	STD	STANDARD
FFE	FIRE FLOOR ELEVATION	SW	SOUTH WEST
FG	FINISH GRADE	SY	SQUARE YARD
FG	FIRE HYDRANT	TBRC	TELEPHONE BEARING RAIL & COVER
FL	FIRE LINE	TEL	TELEPHONE
FM	FORCE MAIN	TEL	TELEPHONE
FIBER	FIBER OPTIC	TX	TRANSMISSION
FP	FLOOD PLAN	TV	TELEVISION
FT	FEET	TOP	TOP OF WALL
FUT	FUTURE	TYP	TYPICAL
GV	GRAVITY VALVE	UTL	UTILITY
GV	GRAVITY VALVE	VEH	VEHICLE
HC	HANDICAP	VEH	VEHICLE
H&M	HIGHWAY MAINTENANCE	W	WEST
HR	INVERT	W	WEST
INV	INVERT	WW	WATER / WASTEWATER
LF	LINE FEET	WS	WATER SERVICE
LINE	LINE	WW	WASTEWATER
LT	LATITUDE	YR	YEAR

## GENERAL LEGEND - SEE PLANS FOR ADDITIONAL CALLOUTS

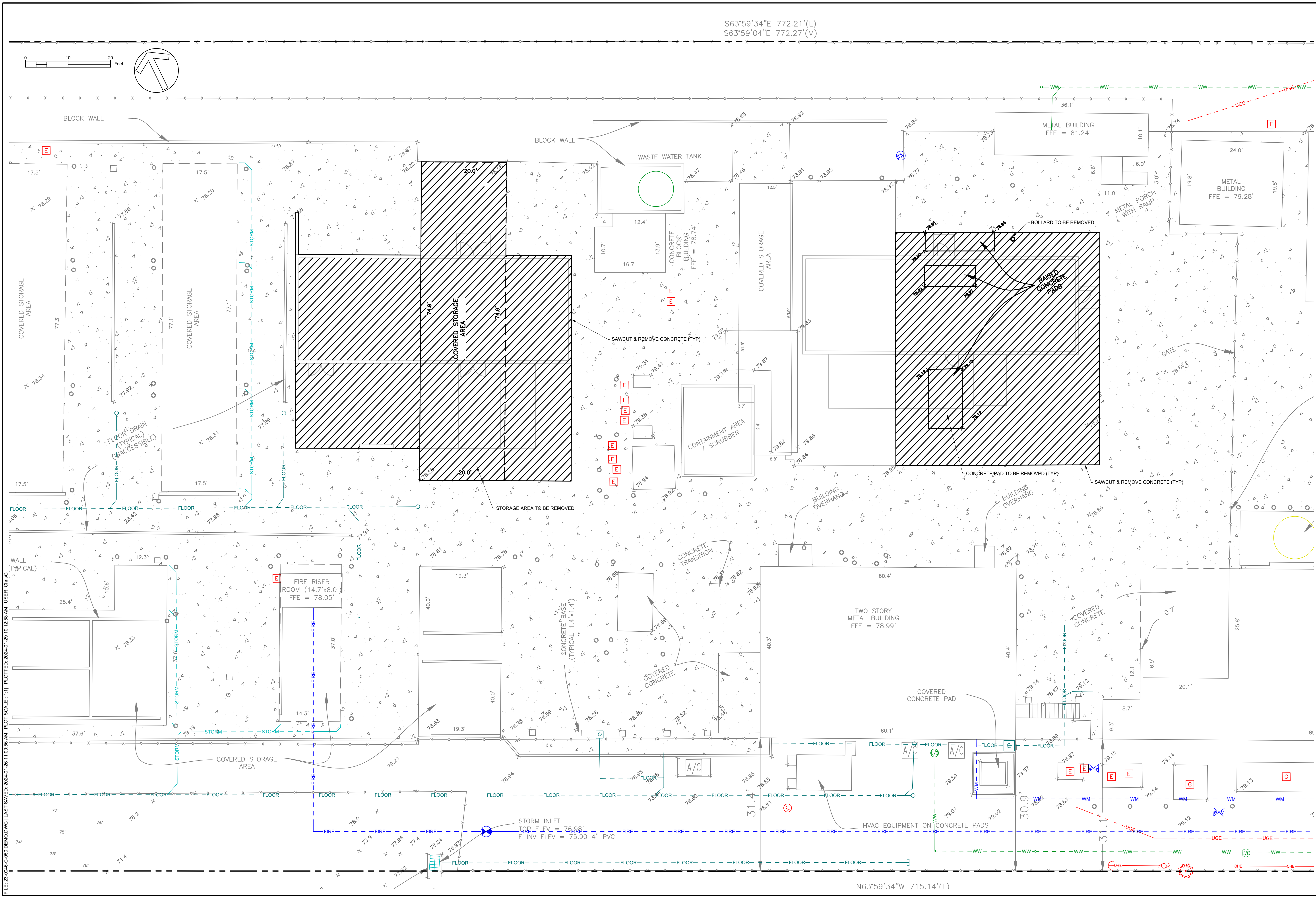
CABLE	CABLE	EXISTING CABLE
COM	COM	EXISTING COMMUNICATIONS
OHE	OHE	EXISTING OVERHEAD
UGE	UGE	EXISTING UNDERGROUND
FIBER	FIBER	EXISTING FIBER OPTIC
FIRE	FIRE	EXISTING FIRE
FM	FM	EXISTING FOREMAN
RCW	RCW	EXISTING RECLAIMED WATER
STORM	STORM	EXISTING STORM
TEL	TEL	EXISTING TELEPHONE
WM	WM	EXISTING WATER
CABLE	CABLE	PROPOSED CABLE
COM	COM	PROPOSED COMMUNICATIONS
OHE	OHE	PROPOSED OVERHEAD
UGE	UGE	PROPOSED UNDERGROUND
FIBER	FIBER	PROPOSED FIBER OPTIC
FM	FM	PROPOSED FOREMAN
GAS	GAS	PROPOSED GAS
STORM	STORM	PROPOSED STORM
TEL	TEL	PROPOSED TELEPHONE
WM	WM	PROPOSED WATER
99	99	EXISTING ELEVATION CONTOUR
99	99	PROPOSED ELEVATION CONTOUR
SILT	SILT	SILT FENCE
TREE	TREE	STEEL BARRICADE
SILT	SILT	SETBACK
TREE	TREE	BUFFER
SILT	SILT	PROPERTY BOUNDARY
TREE	TREE	EXISTING FENCE

## STORMWATER POLLUTION PREVENTION PLAN

THE FOLLOWING STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS PREPARED IN CONFORMANCE WITH FDOT DESIGN MANUAL CHAPTER 320 AND THE FOLLOWING NARRATIVE CONTAINS REFERENCES TO THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE FDOT DESIGN STANDARDS, AND OTHER SHEETS OF THESE CONSTRUCTION PLANS. THE FIRST SHEET OF THE CONSTRUCTION PLANS (C-000 COVER & SHEET INDEX) REFERENCES ALL THE OTHER COMPONENTS OF THE SWPPP. A COMPLETE STORMWATER POLLUTION PREVENTION PLAN INCLUDES SEVERAL ITEMS; THIS NARRATIVE DESCRIPTION, THE DOCUMENTS REFERENCED IN THIS NARRATIVE, THE CONTRACTOR'S APPROVED EROSION AND SEDIMENTATION CONTROL PLAN REQUIRED BY FDOT SPECIFICATION SECTION 104, AND REPORTS OF INSPECTIONS MADE DURING CONSTRUCTION.

1. SITE DESCRIPTION:
  - 1.A. NATURE OF CONSTRUCTION ACTIVITY: THE PROJECT PROPOSES SITE IMPROVEMENTS WITH THE DEMOLITION OR RELOCATION OF EXISTING STRUCTURES AND CONSTRUCTION OF TWO NEW BUILDINGS.
  - 1.B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:  
IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION FOR ALL DISTURBED AREAS. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF MAJOR ACTED VESSELS DESCRIBED ABOVE, UNLESS THE CONTRACTOR PROPOSES A DIFFERENT SEQUENCE THAT IS EQUAL OR BETTER AT CONTROLLING EROSION AND TRAPPING SEDIMENT AND IS APPROVED BY THE ENGINEER.
  - 1.B.1. INSTALL PERIMETER CONTROLS AND TREE PROTECTION BARRIERS BEFORE BEGINNING OTHER WORK FOR THE CONSTRUCTION PHASE. THESE MAY ONLY BE REMOVED AFTER ALL UPSTREAM AREAS ARE STABILIZED.
  - 1.B.2. CLEARING AND GRUBBING, EARTHWORK FOR BUILDING FOUNDATION, WALLS, ETC CONSTRUCTION
  - 1.B.3. STORM DRAIN, UTILITY, AND ROADWAY UNDERDRAIN CONSTRUCTION - CONSTRUCT THE STORM DRAIN PIPE IN THE UPSTREAM DIRECTION.
  - 1.B.4. EARTHWORK ASSOCIATED WITH THE CONSTRUCTION OF ROADWAY, GRAVITY WALL, CURB, SUBGRADE, BASE, PAVEMENT, AND SIDEWALK
  - 1.C. AREA ESTIMATES:  
TOTAL PROPERTY AREA: 3.33 ACRES  
TOTAL ESTIMATED AREA TO BE DISTURBED: 2.08 ACRES  
TOTAL WETLAND AREA: 0 ACRES  
TOTAL DISTURBED WETLAND AREA: 0 ACRES
  - 1.D. RUNOFF DATA:  
PRE-DEVELOPMENT RUNOFF COEFFICIENT: 0.9  
POST-DEVELOPMENT RUNOFF COEFFICIENT: 0.9  
TEMPORARY STORAGE - SEE THE GEOTECHNICAL REPORT OF THE EXISTING SOIL CONDITIONS FOR ADDITIONAL INFORMATION.
  - 1.E. OUTFALL INFORMATION:
    - 1.E.1. SMF1: DISCHARGES TO THE NORTHWEST WITH A 15" PIPE  
LOCATION: 28.816449° N, 82.605548° W  
DRAINAGE AREA: 3.33 ACRES
  - 1.F. RECEIVING WATER NAME: NOT APPLICABLE
  - 1.G. SITE MAP: THESE CONSTRUCTION PLANS SERVE AS THE SITE MAPS FOR THE PROJECT. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR THE PLAN SHEETS REFERENCED ARE IDENTIFIED ON C-000 COVER & SHEET INDEX OF THESE CONSTRUCTION PLANS.
  - 1.G.1. DRAINAGE PATTERNS: SEE THE GRADING PLANS FOR DRAINAGE BASIN DIVIDES AND FLOW DIRECTIONS
  - 1.G.2. APPROXIMATE SLOPES: SEE THE GRADING PLANS AND SMF CROSS SECTIONS FOR EXISTING AND PROPOSED SLOPES OF THE SITE
  - 1.G.3. AREAS OF SOIL DISTURBANCE: SEE THE EROSION AND SEDIMENTATION CONTROL PLANS FOR THE AREAS TO BE DISTURBED - ANY AREAS WHERE PERMANENT FEATURES ARE SHOWN TO BE CONSTRUCTED ABOVE OR BELOW GROUND WILL BE DISTURBED
  - 1.G.4. AREAS NOT TO BE DISTURBED: SEE THE EROSION AND SEDIMENTATION CONTROL PLANS AND TREE PROTECTION PLANS FOR THE AREAS TO BE PROTECTED
  - 1.G.5. LOCATIONS OF TEMPORARY CONTROLS: SEE THE EROSION AND SEDIMENTATION CONTROL PLANS
  - 1.G.6. LOCATIONS OF PERMANENT CONTROLS: SEE





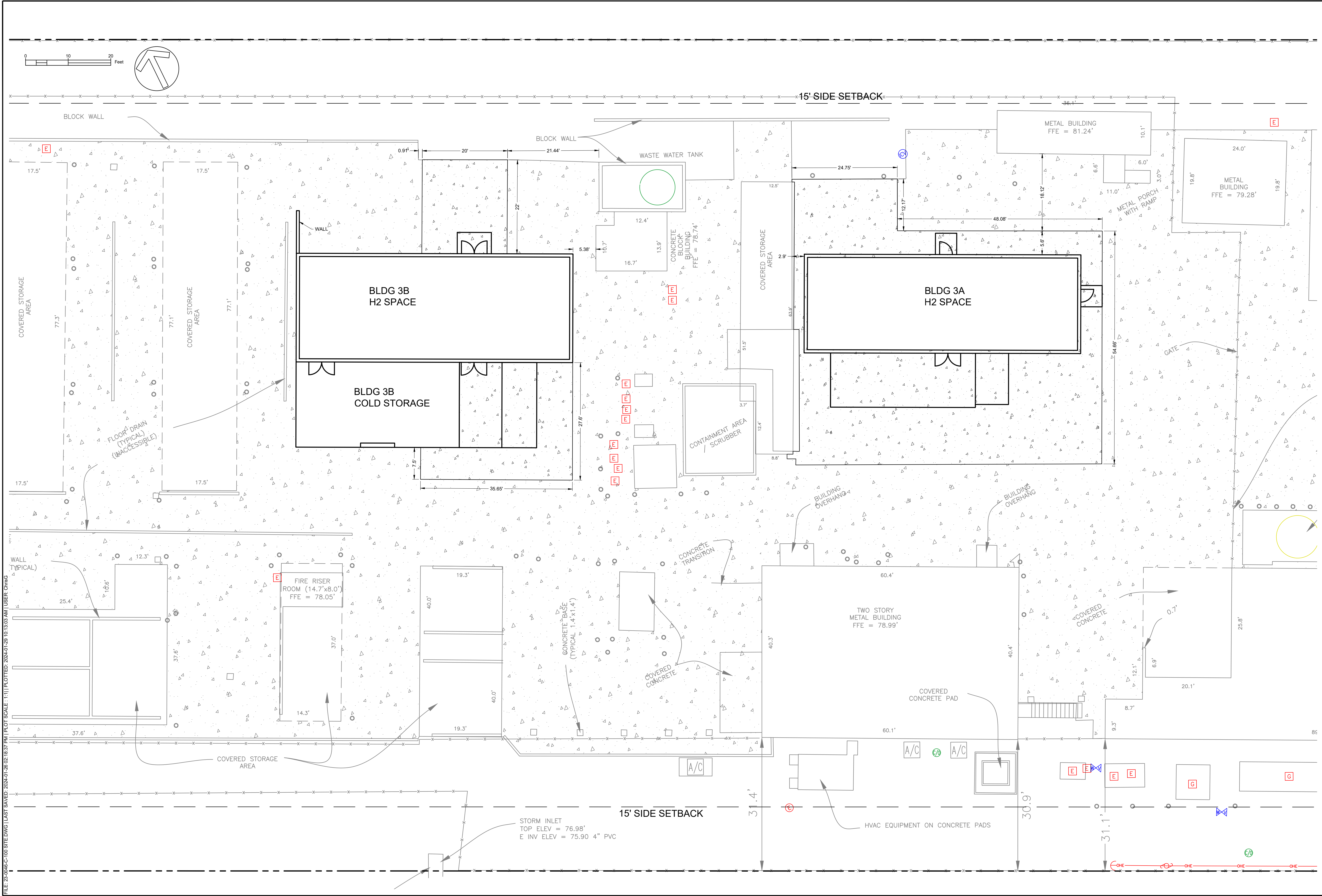
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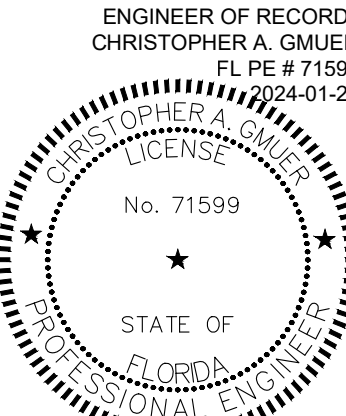
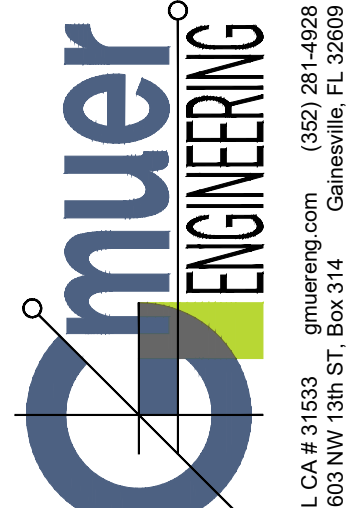
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PRELIMINARY BUDGETING	PRICING: CONSTRUCTION:	PERMITTING / DESIGN REVISIONS: 2024-01-28 INITIAL CITY SUBMITTAL	<div>ENGINEER OF RECORD: CHRISTOPHER A. GMIER FL PE # 71599 2024-01-29</div> <div></div> <div><small>This item has been digitally signed and sealed by Christopher A. Gmier, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</small></div> <div> ENGINEERING FL CA # 21533 gmiereng.com (352) 281-4928 2803 NW 13th St, Box 314 Gainesville, FL 32609</div>
AIR LIQUIDE ADV. MATL. (ALAM) HIGH SPRINGS FL DIBORANE PROD. BLDG			EROSION CONTROL & DEMOLITION PLAN <b>C-050</b>

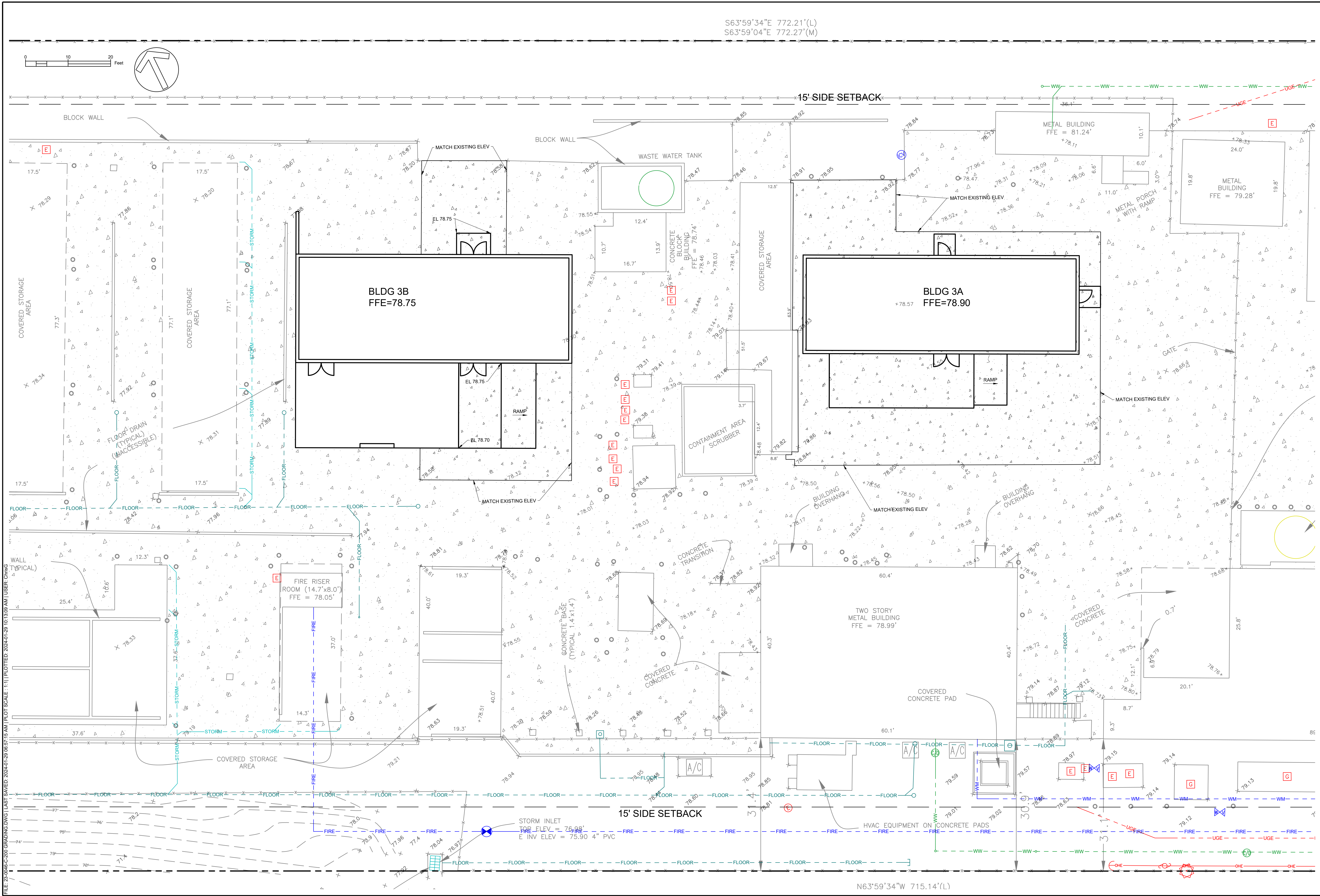




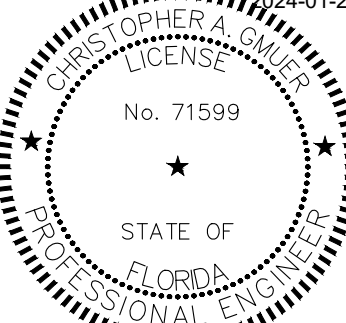
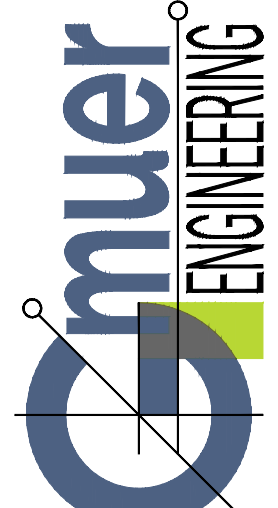
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PERMITTING / DESIGN REVISIONS: 2024-01-29 INITIAL CITY SUBMITTAL	
ENGINEER OF RECORD: CHRISTOPHER A. G穆ER FL PE # 71599 2024-01-29	
	
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CLIENT: AIR LIQUIDE ADVANCED MATERIALS OF FLORIDA, LLC	TBD
DESIGN: QUALITY CONTROL: C.A. G穆ER, PE C.A. G穆ER, PE	23-0046
SITE PLAN APP # G穆ER PROJECT #	
AIR LIQUIDE ADV. MATL. (ALAM) HIGH SPRINGS FL DIBORANE PROD. BLDG	
SITE & HORIZONTAL CONTROL PLAN	
C-100	





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PRELIMINARY BUDGETING	
PERMITTING / DESIGN REVISIONS: 2024-01-29 INITIAL CITY SUBMITTAL	
ENGINEER OF RECORD: CHRISTOPHER A. G穆ER FL PE # 71599 2024-01-29	
 This item has been digitally signed and sealed by Christopher A. G穆er, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.	
 FL CA # 31533 gmuering.com (352) 281-4928 2803 NW 13th St, Box 314 Gainesville, FL 32609	
CIENT:	AIR LIQUIDE ADVANCED MATERIALS OF FLORIDA, LLC
DESIGN:	C.A. G穆ER, PE
QUALITY CONTROL:	C.A. G穆ER, PE
SITE PLAN APP #	TBD
GEING PROJECT #	23-0406
AIR LIQUIDE ADV. MATL. (ALAM) HIGH SPRINGS FL DIBORANE PROD. BLDG	
GRADING, DRAINAGE, & UTILITY PLAN	
C-200	



# BOUNDARY & TOPOGRAPHIC SURVEY

LYING IN SECTION 3,  
TOWNSHIP 8 SOUTH, RANGE 17 EAST,  
CITY OF HIGH SPRINGS, ALACHUA COUNTY, FLORIDA

LEGAL DESCRIPTION: (O.R. BOOK: 2238 PAGE: 2855)

A TRACT OF LAND SITUATED IN SECTION 3, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 2" IRON PIPE AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED SECTION 3, TOWNSHIP 8 SOUTH, RANGE 17 EAST, FOR A POINT OF REFERENCE AND RUN NORTH 88 DEG. 37 MIN. 41 SEC. EAST, ALONG THE SOUTH LINE OF SAID SECTION 3, A DISTANCE OF 1 390 FEET MORE OR LESS TO THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 45 (U.S. HIGHWAY NO. 41); THENCE RUN NORTH 26 DEG. 00 MIN. 26 SEC. EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 433.14 FEET TO A STEEL ROD AND CAP AND THE TRUE POINT OF BEGINNING; THENCE RUN NORTH 63 DEG. 59 MIN. 34 SEC. WEST, A DISTANCE OF 715.14 FEET TO A STEEL ROD AND CAP ON THE EASTERLY RIGHT OF WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE RUN NORTH 09 DEG. 42 MIN. 26 SEC. EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 203.34 FEET TO A STEEL ROD AND CAP; THENCE RUN SOUTH 63 DEG. 59 MIN. 34 SEC. EAST, A DISTANCE OF 772.21 FEET TO SAID WESTERLY RIGHT OF WAY LINE OF STATE ROAD 45; THENCE RUN SOUTH 26 DEG. 00 MIN. 26 SEC. WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 195.17 FEET TO THE TRUE POINT OF BEGINNING.

## LEGEND:

- = FOUND 5/8" REBAR & CAP (PLS 3456 PLS 3784)
- = FOUND 5/8" REBAR (NO IDENTIFICATION)
- ⊙ = FOUND 1/2" IRON PIPE (NO IDENTIFICATION)
- (M) = MEASURED DATA
- (L) = PER LEGAL DESCRIPTION OF RECORD
- R/W = RIGHT OF WAY
- CMP = CORRUGATED METAL PIPE
- RCP = REINFORCED CONCRETE PIPE
- PVC = POLYVINYL CHLORIDE PIPE
- CPV = CORRUGATED PLASTIC PIPE
- O.R. = OFFICIAL RECORDS BOOK
- INV = INVERT
- ELEV = ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- HVAC = HEATING, VENTILATION, AND AIR CONDITION
- ⚡ = BACK FLOW PREVENTER
- ⚡ = ELECTRIC BOX
- ⚡ = IRRIGATION CONTROL VALVE
- ⚡ = WATER BLOW OFF
- ⚡ = MAIL BOX
- ⚡ = FIRE HYDRANT
- ⚡ = TRANSFORMER
- ⚡ = FLOW METER
- ⚡ = ELECTRIC METER
- ⚡ = WATER METER
- ⚡ = FIRE DEPARTMENT CONNECTION
- ⚡ = WATER VALVE
- ⚡ = AIR CONDITIONER ON CONCRETE
- ⚡ = ELECTRIC PANEL
- ⚡ = BOLLARD
- ⚡ = ELECTRIC HAND HOLE
- ⚡ = STORM INLET
- ⚡ = CLEAN OUT
- ⚡ = METAL LIGHT POLE
- ⚡ = WOOD LIGHT POLE
- ⚡ = GENERATOR ON CONCRETE
- ⚡ = SANITARY SEWER GRINDER
- ⚡ = SANITARY SEWER GRINDER ALARM
- ⚡ = FENCE LINE
- ⚡ = EXISTING OVERHEAD UTILITY LINE
- ⚡ = TELEPHONE PEDESTAL
- ⚡ = METAL SIGN
- ⚡ = WELL
- ⚡ = GUY ANCHOR
- ⚡ = WOOD POWER POLE
- ⚡ = ASPHALT PAVEMENT
- ⚡ = CONCRETE SURFACE
- ⚡ = ROCK DRIVEWAY

## SURVEYOR'S NOTES:

1. THE BEARINGS SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS PROJECTED FROM A RECORD BEARING OF NORTH 63°59'34" WEST ALONG THE SOUTH LINE OF THE SUBJECT PARCEL.
2. ELEVATIONS SHOWN HEREON ARE BASED ON GPS MEASUREMENTS ON THE GEODETIC REFERENCE SYSTEM 1980 (GEOID 12A) FROM THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN). ALL ELEVATIONS SHOWN HEREON ARE NORTH AMERICAN VERTICAL DATUM OF 1988. ALL SITE BENCHMARKS SHOULD BE CHECKED AND VERIFIED BEFORE USE.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCRACH.
4. ALL RECORDING INFORMATION SHOWN HEREON IS IN REFERENCE TO THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
5. UTILITIES SHOWN HEREON ARE BASED ON VISIBLE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST THAT HAVE NOT BEEN MARKED OR LOCATED.

## FLOOD NOTE:

THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12001C01050 FOR ALACHUA COUNTY, FLORIDA INCORPORATED AREAS, EFFECTIVE DATE JUNE 16, 2006, FOR CITY OF HIGH SPRINGS, COMMUNITY NUMBER 120669 PANEL NUMBER 0105 SUFFIX D.

NORTH

POINT OF  
BEGINNING  
SUBJECT PARCEL

POINT OF  
REFERENCE  
SW CORNER OF SECTION  
3-8-17

GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

LEIGH ANN FLOWERS

PROFESSIONAL SURVEYOR & MAPPER  
FLA. LICENSE NO. 6802

FLOWERS SURVEYING AND MAPPING INC  
955 SE BIBLE CAMP STREET  
HIGH SPRINGS, FLORIDA 32643  
(352) 462-0130 LB 8395  
EMAIL: FLOWERSURVEYING@GMAIL.COM

CERTIFIED TO:  
GAILER ENGINEERING  
VOLTAX, INC

FIELD BOOK - SEE FOLDER  
DRAWN: DTW  
CHECKED: DFW  
SURVEY DATE: 11/14/23

JOB NUMBER: 23-258  
SHEET  
1 OF 1



[illegible]

SAFE BUILDINGS CORP.  
2300 N. 12TH STREET  
JENICEN, IL 62539

SAFE BUILDINGS CORP.

NOTE:  
FOR TWO GROUNDING LUGS SHALL CONNECT TO THE  
INTERIOR STATIC ELECTRICITY GROUNDING  
SYSTEM FOR INTERIOR WALLS AND FLOORING.

REV	BY	DATE	DESCRIPTION OF CHANGE
1	WJ	11/17/08	ADDITION OF GROUNDING LUGS

MODEL	DESK	TALL	DATE	BY	DATE	BY
DESK24264	1445		11/17/08	C. Sears		
NOISE	1425	2 Hour				
ACROSONIC	ACROSONIC	VOLTAIX, INC.				

SAFE BUILDINGS CORP.

ELECTRICAL PLAN VIEW

007B

Architectural drawing of a safe building section. The drawing shows a cross-section of a building with a total width of 64'-0". Key components and dimensions include:

- Top Section:** 30"Ø" REINFORCED CONCRETE OPENING FOR HVAC DUCTWORK LOCATED 8'-4" ABOVE FINISHED FLOOR.
- Left Wall:** 12'-6" high, 3'-2" thick. Includes a 11'-0" high section and a 10'-4" high section. A 1'-0" wide opening is shown.
- Right Wall:** 8'-4" (AFF) high. Includes a 7'-6" wide opening and a 30"ØM 100 PSI BLAST DOOR OVERLY DOOR #1 SHASDOOR FIRE RATED WITH AUTO CLOSURE, PANIC BAR & OBSERVATION WINDOW.
- Bottom Section:** 10 1/2" thick. Includes a CUTTER & DOWN BRONTS ON FRONT AND REAR OF BUILDING and a BUILDING CIRCUIT JUNCTION BOX.
- Internal Structure:** BUILDING HEADERS (INTERIOR).


Handwritten notes and signatures are present on the right side of the drawing.

MODEL DBEX24F84 SSTALL		GRADE 0'		SAFE BUILDINGS CORP.	
YEAR 1445		DATE C Soars		SHEET NO.	
RATING U425 2 Hour		DATE 11/17/08		DRAWING NUMBER	
ADDITIONAL DESCRIPTION VOL-TANK, INC.		TITLE REAR ELEVATION VIEW		003	

SAFE BUILDINGS CORP.  
2300 N. 12TH STREET  
AUBURN, IL 62503

64'-9"  
63'-9"  
4'-10 1/2"  
9"  
9"  
9"  
9"  
9"  
9"  
9"  
4'-10 1/2"  
1'-0"  
3'-0"  
7'-6"  
2'-0"  
22'-1"  
21'-1"  
11'-0 3/4"  
11'-0 3/4"  
6'-6"  
2'-0"  
7'-0"  
6'-0"  
22'-5"  
MAIN HEADERS FOR BUILDING SEPARATION  
J.R.

Note: A 4" section of skin cover and gypsum are left removed for connection purposes and are installed in the field, with joints offset per U425. See sheet 013 for installation information.

MODEL: DBEX24F64 STALL		SAFE BUILDINGS CORP.	
JOB NO: 1445	GRADE BY: C Seors		SHEET NO:
NOTING: U425 2 Hour	DATE: 11/17/08		DRAWING NUMBER: 007C
ADDITIONAL DESCRIPTION: VOL. 104, INC.		HEADER LOCATION PLAN VIEW	

REV BY | DATE | DESCRIPTION OF CHANGE

SAFE BUILDINGS CORP.  
2350 N. 12TH STREET  
QUINCY, IL 62305

22'-1"

12'-6"

11'

10'-4"

10 1/2"


BUILDING HEADERS (INTERIOR)

GUTTER & DOWN SPOUTS ON FRONT AND REAR OF BUILDING

436x54 100 PSF BLAST DOOR, CHERRY DOOR & LINING FIRE RATED WITH AUTO CLOSURE, PANIC BAR & OBSERVATION WINDOW.

BUILDING CIRCUIT JUNCTION BOX

JG

MODEL DBEX2MF64 SSTALL		SAFE BUILDINGS CORP.	
SERIAL 1445	DATE C Sears	 SHEET NO. 004	
767N6	DATE 11/17/08		
UH25 2 Hour ADVISORY DESCRIPTION VOLTAX, INC.			
REV	BY	DATE	DESCRIPTION OF CHANGE

DRAWING NUMBER  
RIGHT ELEVATION VIEW

**SAFE BUILDINGS CORP.**  
 2300 N. 12TH STREET  
 QUINCY, ILL. 62305

Detailed architectural drawing of a safe building cross-section. The drawing shows a side elevation with various dimensions and material specifications. Key components include:

- Dimensions:** Overall width is 6'4"-9". Internal horizontal dimensions are 4'-6", 2'-6", 4'-6", and 6'-3"-9". Vertical dimensions on the left are 22'-1", 8'-0 1/2", 21'-1", and 3". On the right, vertical dimensions are 11'-0 1/2", 7'-6", 11'-0 1/2", and 6". Horizontal dimensions at the bottom are 3'-0" and 21'-11".
- Materials and Components:**
  - ALUMINUM DIAMOND PLATE
  - 20S PSF MARCHLOCH SAFE-T GRID MODEL NO. TS-SAG ALUMINUM GRATE 1700 SQ BARMS 4" O.C. CROSS BARS
  - ALUMINUM TRUED PLATE CONNECTED WITH BOLTS NOT EXCEEDING 2' CENTERS
  - 3/4" YOUNG IN GRAVITY FLOORINGS
  - 20S PSF MARCHLOCH SAFE-T GRID MODEL NO. TS-SAG ALUMINUM GRATE 1700 SQ BARMS 4" O.C. CROSS BARS
  - CH-1 FLOOR SUPPORT JOIST
- Notes:**
  - DETAIL OF GRATING CROSS SECTION (circled 1)
  - 1 JA

SAFE BUILDINGS CORP.		ORDER BY		SHEET NO.
JOB NO.	DBX242464 TALL	C Seors		
DATE	1/4/45			
ADDRESS	U425 2 Hour		11/17/08	
ADDITIONAL DESCRIPTION	VOLTAX, INC.	TITLE	GRATING PLAN VIEW	COWING NUMBER
				007A



**NEW BUSINESS ITEM #3**

SIP24-000003

MINOR REPLAT (SWOYER)



PRELIMIARY  
SWOYER REPLAT

FOR THE PURPOSE OF A MINOR REPLAT OF LOTS  
1-33 BLOCK M

AS SHOWN ON THE PLAT OF COLUMBIA HEIGHTS

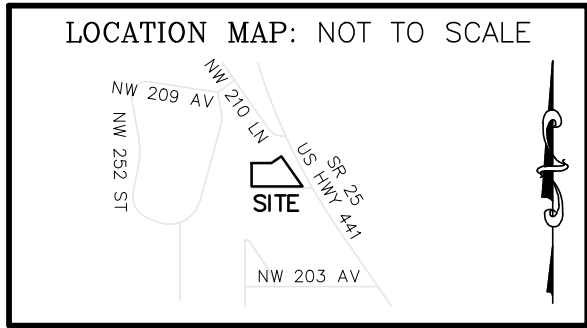
PLAT BOOK "A" PAGE 162

LOCATED IN SOUTHWEST 1/4 OF SOUTHWEST 1/4 OF  
SECTION 27, TOWNSHIP 07 SOUTH RANGE 17 EAST

CITY OF HIGH SPRINGS

ALACHUA COUNTY, FLORIDA

"THIS IS NOT FOR RECORDING"



LEGEND:

- (CMF) CONCRETE MONUMENT FOUND
- (RCF) REBAR AND CAP SET
- ORB OFFICIAL RECORDS BOOK
- ID. IDENTIFICATION
- R/W RIGHT-OF-WAY
- N: NORTHING
- E: EASTING

SURVEYOR'S NOTES

1. REPLAT BASED ON MONUMENTATION FOUND AND ACCEPTED AND ON "COLUMBIA HEIGHTS" AS RECORDED IN PLAT BOOK "A", PAGE 162 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
  2. BEARING ARE BASED ON NORTH AMERICAN DATUM OF 1983, NORTH ZONE, U.S. FOOT.
  3. THE PURPOSE OF THIS REPLAT IS TO COMBINE LOTS 11 THROUGH 33 BLOCK M, THE SOUTHERLY 50 FOOT R/W OF WHITLOCK STREET ADJACENT TO AND LYING NORTHERLY OF BLOCK M, AND ALL ALLEYS LYING WITHIN BLOCK M INTO ONE LOT.
  4. THE ERROR OF CLOSURE OF THIS PLAT DOES NOT EXCEED 1':10,000'.
  5. THIS SURVEY COMPLIES WITH THE FLORIDA STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.
  6. IT IS THE OPINION OF THIS LAND SURVEYOR BASED ON AN INTERPRETATION OF F.J.R.M. MAP NUMBER "12001C0105D" THAT THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), MAP EFFECTIVE DATE JUNE 16, 2006.
  7. BOUNDARY SURVEY WAS COMPLETED BY GEORGE F. YOUNG, INC.;
- JOB NUMBER 24002600GS; FIELD WORK COMPLETED ON FEBRUARY 06, 2024.

LAND DESCRIPTION:

LOTS 1 THROUGH 33, INCLUSIVE, BLOCK M, COLUMBIA HEIGHTS, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 162, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, LESS ADDITIONAL RIGHT-OF-WAY PER ORDER OF TAKING AS RECORDED IN JUDGEMENT BOOK 28, PAGE 401, OF SAID PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

AND

THE SOUTHERLY ONE HALF OF THE FIFTY (50') FOOT RIGHT-OF-WAY OF WHITLOCK STREET ADJACENT TO AND LYING NORTHERLY OF BLOCK M OF SAID COLUMBIA HEIGHTS AND ALL ALLEYS LYING WITHIN BLOCK M OF SAID COLUMBIA HEIGHTS.

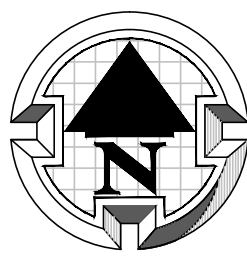
ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION. FLORIDA STATUTE 177.091 (28).



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING AND DISTANCE
C1	166.57'	5797.58'	01°38'46"	83.29'	S29°49'29"E 166.57'

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



SCALE: 1" = 30'  
DEREN LAND SURVEYING  
ALACHUA COUNTY - KNOW YOUR BOUNDARIES

SUBDIVIDER:

JUDY SWOYER LLC  
4128 N.W. 133rd STREET  
GAINESVILLE, FLORIDA 32606

OWNERS CERTIFICATION AND DEDICATION

I, THE UNDERSIGNED, JUDY SWOYER, DO HEREBY CERTIFY THAT I AM THE OWNER OF "SWOYER REPLAT", AS DESCRIBED HEREON, AND DO HEREBY DEDICATE TO THE PUBLIC FOREVER THE STREETS AND EASEMENTS HEREON.

OWNER

DATE

CERTIFICATE OF APPROVAL BY PROFESSIONAL SURVEYOR AND MAPPER:

THIS IS TO CERTIFY THAT I HAVE REVIEWED THIS REPLAT FOR CONFORMITY TO PART 1 OF CHAPTER 177, FLORIDA STATUTES, BUT HAVE NOT VERIFIED THE SURVEY DATA.

EXAMINED ON: \_\_\_\_\_

AND

APPROVED BY: \_\_\_\_\_

PROFESSIONAL SURVEYOR AND MAPPER

CERTIFICATE OF APPROVAL BY THE CITY COMMISSION OF THE CITY OF HIGH SPRINGS, FLORIDA:

THIS IS TO CERTIFY, THAT ON \_\_\_\_\_, THE FOREGOING REPLAT WAS APPROVED BY THE CITY COMMISSION OF THE CITY OF HIGH SPRINGS, FLORIDA.

MAYOR \_\_\_\_\_

ATTEST:

CITY MANAGER

FILED FOR RECORD ON: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY THE ATTORNEY FOR THE CITY OF HIGH SPRINGS, FLORIDA:

EXAMINED ON: \_\_\_\_\_

AND APPROVED AS TO LEGAL FORM & SUFFICIENCY BY:

CITY ATTORNEY

CERTIFICATE OF APPROVAL BY THE COUNTY HEALTH DEPARTMENT:

EXAMINED ON: \_\_\_\_\_

AND APPROVED BY:

COUNTY HEALTH DEPARTMENT

RECEIVED AND FILED:

RECEIVED AND FILED FOR RECORD ON THIS DAY OF \_\_\_\_\_, A.D. 2021

CLERK OF THE COURT

DATE

CERTIFICATE OF SURVEYOR

I DO HEREBY CERTIFY THAT THIS PLAT ENTITLED "SWOYER REPLAT" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PERFORMED OF THE DESCRIBED LANDS, UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THIS PLAT AND SURVEY COMPLIES WITH ALL REQUIREMENTS AS SET FORTH IN CHAPTER 177, PART 1 OF THE FLORIDA STATUTES.

DAVID M. DEREN P.S.M.

DATE

FLORIDA CERTIFICATE NO. 6946  
4605 N.W. 6th STREET, SUITE H  
GAINESVILLE, FLORIDA 32609

SCALE: 1" = 30'

BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY



George F. Young, Inc.

4605 N.W. 6th STREET, SUITE H, GAINESVILLE, FLORIDA 32609  
PHONE (352) 378-1444 WWW.GEORGEFYOUNG.COM  
BUSINESS ENTITY LB21  
CIVIL, TRANSPORTATION, SUBSURFACE & STRUCTURAL ENGINEERING  
ECOLOGICAL GIS PLANNING SURVEYING  
ST. PETERSBURG • LAKEWOOD RANCH • TAMPA • GAINESVILLE • LAKE WALES • PUNTA GORDA



**NEW BUSINESS ITEM #4**

ZRQ24-000001

BRIDLEWOOD COMMUNITY DEVELOPMENT DISTRICT



# **PETITION TO ESTABLISH** **BRIDLEWOOD** **COMMUNITY** **DEVELOPMENT DISTRICT**

Submitted by: Jere Earlywine, Esq.  
Florida Bar No. 155527  
[Jere.Earlywine@KutakRock.com](mailto:Jere.Earlywine@KutakRock.com)  
Bennett Davenport, Esq.  
Florida Bar No. 1039354  
[Bennett.Davenport@KutakRock.com](mailto:Bennett.Davenport@KutakRock.com)  
KUTAK ROCK LLP  
107 West College Avenue  
Tallahassee, Florida 32301  
Ph: (850) 528-6152



**BEFORE THE CITY COMMISSION OF  
THE CITY OF HIGH SPRINGS, FLORIDA**

**PETITION TO ESTABLISH A COMMUNITY DEVELOPMENT DISTRICT**

Petitioner, Bridlewood of High Springs, LLC ("Petitioner"), hereby petitions the City Commission of High Springs, Florida, pursuant to the "Uniform Community Development District Act of 1980," Chapter 190, Florida Statutes, to establish a Community Development District ("District") with respect to the land described herein. In support of this petition, Petitioner states:

1. Location and Size. The proposed District is located entirely within City of High Springs, Florida, and covers approximately 244.80 acres of land, more or less. **Exhibit 1** depicts the general location of the project. The site is generally located south of NW 174<sup>th</sup> Ave, East of US-41, west of County Road 11, and north of NW 155<sup>th</sup> Ave. The sketch and metes and bounds descriptions of the external boundary of the proposed District is set forth in **Exhibit 2**.

2. Excluded Parcels. There are no parcels within the external boundaries of the proposed District which are to be excluded from the District.

3. Landowner Consent and Authorization. Petitioner, as the landowner of 100% of the lands to be included within the proposed District, has provided its written consent to establishment of the District. The consent is attached hereto as **Exhibit 3**.

4. Initial Board Members. The five (5) persons designated to serve as initial members of the Board of Supervisors of the proposed District are as follows: Andrew Jenkins, Kelly Crews, Greg Fowler, Stephen Lamelza and Clifton Fischer. All of the above-listed persons are residents of the state of Florida and citizens of the United States of America

All of the above-listed persons are residents of the state of Florida and citizens of the United States of America.

5. Name. The proposed name of the District is the Bridlewood Community Development District.

6. Major Water, Reuse and Wastewater Facilities. **Exhibit 4** shows the existing and proposed major trunk water mains and sewer connections serving the lands within and around the proposed District.

7. District Facilities and Services. **Exhibit 5** describes the type of facilities Petitioner presently expects the proposed District to finance, fund, construct, acquire and install, as well as the estimated costs of construction. At present, these improvements are estimated to be made, acquired, constructed and installed in four (4) phase(s) over an estimated six (6) year period from 2024 – 2030. Actual construction timetables and expenditures will likely vary, due in part to the



effects of future changes in the economic conditions upon costs such as labor, services, materials, interest rates and market conditions.

8. Existing and Future Land Uses. The existing use of the lands within the proposed District is vacant. The future general distribution, location and extent of the public and private land uses within and adjacent to the proposed District by land use plan element are shown in **Exhibit 6**. These proposed land uses are consistent with High Springs Comprehensive Plan.

9. Statement of Estimated Regulatory Costs. **Exhibit 7** is the statement of estimated regulatory costs ("SERC") prepared in accordance with the requirements of Section 120.541, Florida Statutes. The SERC is based upon presently available data. The data and methodology used in preparing the SERC accompany it.

10. Authorized Agents. The Petitioner is authorized to do business in the State of Florida. The Petitioner has designated Jere Earlywine and Bennett Davenport as its authorized agents. See **Exhibit 8** - Authorization of Agent. Copies of all correspondence and official notices should be sent to:

Jere Earlywine, Esq.  
Florida Bar No. 155527  
[Jere.Earlywine@KutakRock.com](mailto:Jere.Earlywine@KutakRock.com)  
Bennett Davenport, Esq.  
Florida Bar No. 1039354  
[Bennett.Davenport@KutakRock.com](mailto:Bennett.Davenport@KutakRock.com)  
KUTAK ROCK LLP  
107 West College Avenue  
Tallahassee, Florida 32301  
Ph: (850) 528-6152

11. This petition to establish the Bridlewood Community Development District should be granted for the following reasons:

a. Establishment of the proposed District and all land uses and services planned within the proposed District are not inconsistent with applicable elements or portions of the effective State Comprehensive Plan or High Springs Comprehensive Plan.

b. The area of land within the proposed District is part of a planned community. It is of sufficient size and is sufficiently compact and contiguous to be developed as one functional and interrelated community.

c. The establishment of the proposed District will prevent the general body of taxpayers in High Springs from bearing the burden for installation of the infrastructure and the maintenance of certain facilities within the development encompassed by the proposed District. The proposed District is the best alternative for delivering community development services and



facilities to the proposed community without imposing an additional burden on the general population of the local general-purpose government. Establishment of the proposed District in conjunction with a comprehensively planned community, as proposed, allows for a more efficient use of resources.

d. The community development services and facilities of the proposed District will not be incompatible with the capacity and use of existing local and regional community development services and facilities. In addition, the establishment of the proposed District will provide a perpetual entity capable of making reasonable provisions for the operation and maintenance of the proposed District's services and facilities.

e. The area to be served by the proposed District is amenable to separate special-district government.

WHEREFORE, Petitioner respectfully requests the City Commission of High Springs, Florida to:

a. schedule a public hearing in accordance with the requirements of Section 190.005(2)(b), Florida Statutes;

b. grant the petition and adopt an ordinance establishing the District pursuant to Chapter 190, Florida Statutes;

c. consent to the District exercise of certain additional powers to finance, plan, establish, acquire, construct, reconstruct, enlarge or extend, equip, operate and maintain systems and facilities for: (1) parks and facilities for indoor and outdoor recreational, cultural and educational uses; (2) security, including but not limited to, guardhouses, fences and gates, electronic intrusion-detection systems, and patrol cars, each as authorized and described by Section 190.012(2), Florida Statutes; (3) control and elimination of mosquitoes and other arthropods of public health importance; and

d. grant such other relief as may be necessary or appropriate.

[CONTINUED ON FOLLOWING PAGE]



RESPECTFULLY SUBMITTED, this 1<sup>st</sup> day of February, 2024.

**KUTAK ROCK LLP**



---

Jere Earlywine, Esq.

Florida Bar No. 155527

[Jere.Earlywine@KutakRock.com](mailto:Jere.Earlywine@KutakRock.com)

Bennett Davenport, Esq.

Florida Bar No. 1039354

[Bennett.Davenport@KutakRock.com](mailto:Bennett.Davenport@KutakRock.com)

KUTAK ROCK LLP

107 West College Avenue

Tallahassee, Florida 32301

Ph: (850) 528-6152

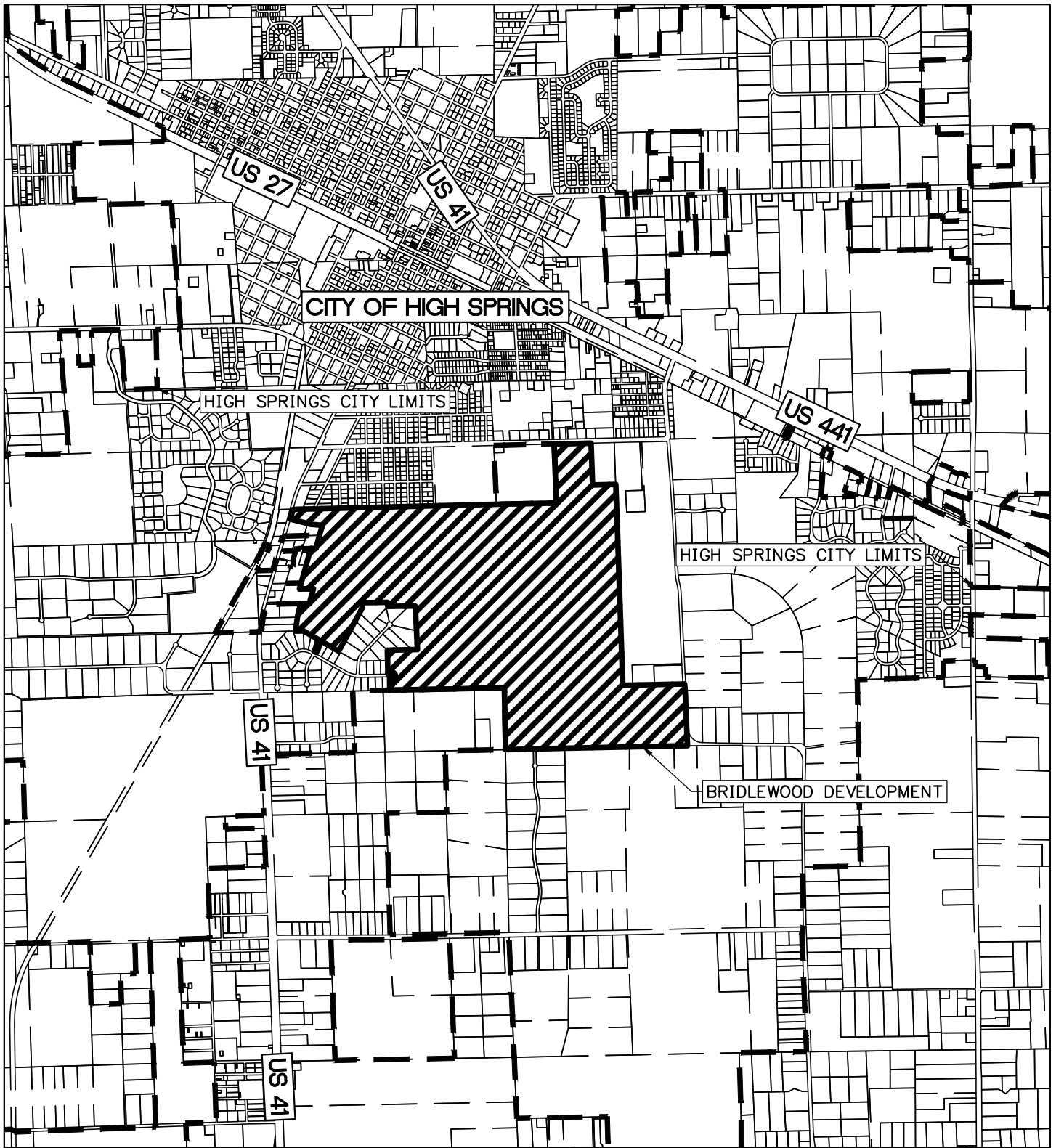
Attorneys for Petitioner





# **EXHIBIT 1**

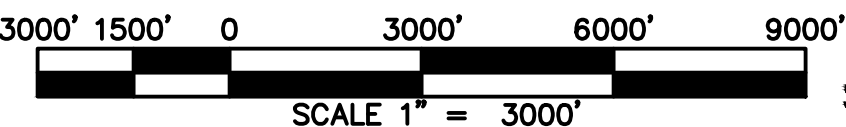


EXHIBIT 1



LEGEND

-  BRIDLEWOOD DEVELOPMENT
-  CITY OF HIGH SPRINGS BOUNDARY

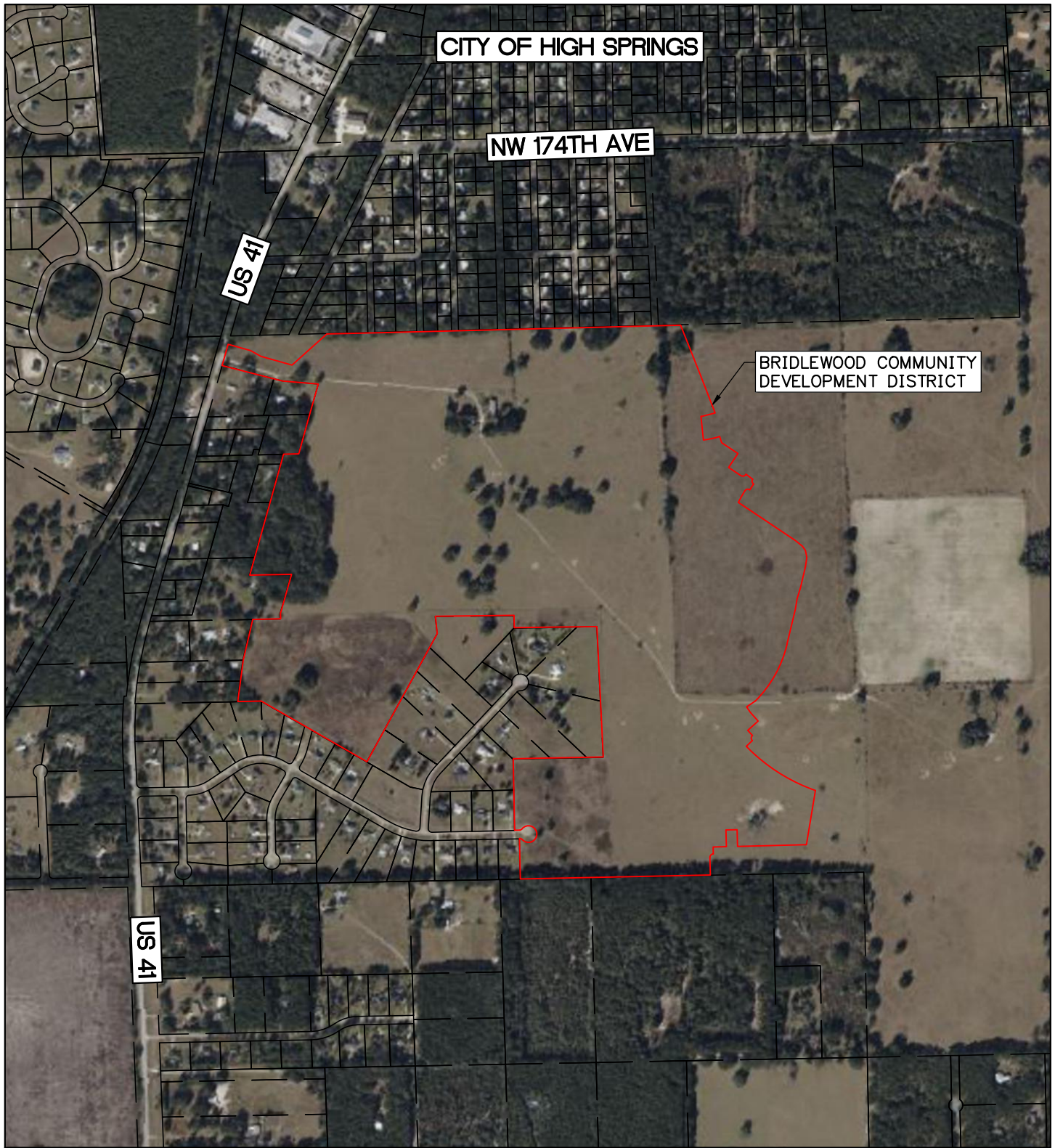


# JBPro

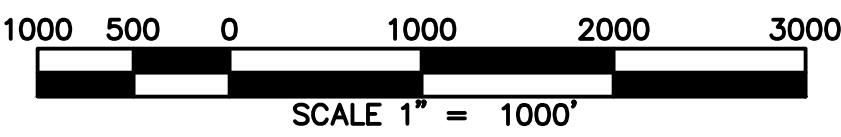
CIVIL ENGINEERING | LAND PLANNING  
SURVEYING | CONSTRUCTION SERVICES



EXHIBIT 1B



AERIAL MAP



# JBPro

CIVIL ENGINEERING | LAND PLANNING  
SURVEYING | CONSTRUCTION SERVICES



# **EXHIBIT 2**



# SKETCH AND DESCRIPTION

IN SECTIONS 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA

Line Table			Line Table			Line Table			Line Table			Curve Table						
Line#	Direction	Length	Line#	Direction	Length	Line#	Direction	Length	Line#	Direction	Length	Curve#	Length	Radius	Delta	Tangent	Chord Bearing	Chord Distance
L1	S88°49'51"W	1362.93'	L21	N13°13'00"E	300.59'	L41	S05°59'34"E	171.20'	L61	S41°43'48"E	50.00'	C1	21.56'	25.00'	49°24'30"	11.50'	N66°19'44"W	20.90'
L2	N01°10'36"W	290.20'	L22	N88°54'44"E	200.03'	L42	S18°04'20"E	46.86'	L62	S45°51'16"W	60.00'	C2	292.64'	59.99'	279°29'49"	50.79'	N01°09'13"W	77.53'
L3	S88°49'09"W	33.58'	L23	N01°13'13"W	40.52'	L43	S56°18'11"E	140.00'	L63	S09°26'53"W	393.54'	C3	21.58'	25.00'	49°26'58"	11.51'	N63°57'26"E	20.91'
L4	N01°09'57"W	512.57'	L24	N15°43'24"E	289.95'	L44	S33°41'49"W	120.00'	L64	S88°35'04"W	494.34'	C4	NOT	USED				
L5	N88°49'45"E	646.20'	L25	S88°50'07"W	299.92'	L45	S56°18'11"E	105.00'	L65	N01°24'56"W	120.00'	C5	NOT	USED				
L6	N02°50'00"W	935.94'	L26	N15°37'54"E	900.36'	L46	S53°54'19"E	60.00'	L66	S88°35'04"W	80.00'	C6	119.12'	565.00'	12°04'46"	59.78'	N77°58'03"E	118.90'
L7	S89°17'24"W	592.50'	L27	N88°24'16"E	109.06'	L47	S33°41'49"W	50.00'	L67	S01°24'56"E	120.00'	C7	38.31'	25.00'	87°48'15"	24.06'	N79°47'41"E	34.67'
L8	N00°43'57"W	87.99'	L28	N15°38'47"E	519.36'	L48	S56°18'11"E	491.83'	L68	S88°35'04"W	95.00'	C8	40.32'	25.00'	92°23'53"	26.07'	S10°06'15"E	36.09'
L9	S89°17'20"W	564.59'	L29	N89°05'11"W	257.16'	L49	S50°36'46"E	64.39'	L69	S01°24'56"E	50.00'	C9	40.32'	25.00'	92°23'53"	26.07'	S77°29'52"W	36.09'
L10	S06°11'56"E	124.36'	L30	N75°37'58"W	447.25'	L50	S36°06'52"E	36.94'	L70	S01°24'56"E	125.75'	C10	94.28'	1220.00'	4°25'40"	47.16'	S29°05'06"W	94.26'
L11	S28°44'19"W	1048.61'	L31	N15°42'12"E	158.57'	L51	S10°39'29"E	51.14'				C11	473.01'	855.00'	31°41'51"	242.73'	N29°14'31"E	467.00'
L12	N60°06'52"W	451.39'	L32	S74°17'48"E	167.25'	L52	S07°47'52"W	64.58'				C12	40.32'	25.00'	92°24'56"	26.08'	S02°03'44"W	36.09'
L13	N60°02'01"W	62.15'	L33	S60°48'03"E	85.70'	L53	S13°23'36"W	160.00'				C13	96.38'	1280.00'	4°18'52"	48.21'	S46°18'10"E	96.36'
L14	NOT USED		L34	S74°17'48"E	231.31'	L54	S16°48'30"W	79.16'				C14	497.05'	1280.00'	22°14'57"	251.70'	S59°35'04"E	493.94'
L15	NOT USED		L35	N48°06'24"E	334.52'	L55	S10°00'51"W	80.00'				C15	39.27'	25.00'	90°00'00"	25.00'	S43°35'04"W	35.36'
L16	NOT USED		L36	N88°35'04"E	2538.51'	L56	S13°23'36"W	256.23'										
L17	NOT USED		L37	S21°43'56"E	381.09'	L57	S56°00'36"W	73.48'										
L18	N60°07'26"W	360.06'	L38	S21°12'28"E	295.00'	L58	S33°59'24"E	47.85'										
L19	S88°50'36"W	168.96'	L39	S75°33'55"W	93.17'	L59	S41°43'48"E	83.79'										
L20	N07°28'23"E	299.22'	L40	S89°06'40"W	11.55'	L60	S48°16'12"W	99.35'										

## ABBREVIATIONS

Δ = DELTA  
(D) = DEED  
CHB = CHORD BEARING  
CHL = CHORD LENGTH  
CMON = CONCRETE MONUMENT  
ID = IDENTIFICATION  
INC = INCORPORATED  
IRC = IRON ROD - CAPPED  
JBPRO = JBBROWN PROFESSIONAL GROUP  
LB = ARC LENGTH  
L = LICENSED SURVEYING BUSINESS  
LS = LICENSED SURVEYOR  
P.B. = PLAT BOOK  
O.R.B. = OFFICIAL RECORDS BOOK  
PG. = PAGE  
PRM = PERMANENT REFERENCE MONUMENT  
PLS = PROFESSIONAL LAND SURVEYOR  
R = RADIUS  
R/W = RIGHT-OF-WAY

## SYMBOL LEGEND

— BOUNDARY LINE  
- - - TAX PARCEL LINE  
- - - RIGHT-OF-WAY LINE  
- - - SECTION LINE  
■ 4"x4" CONCRETE MONUMENT  
C&E INC. LB5075  
(UNLESS OTHERWISE NOTED)  
▲ 5/8" IRON ROD - CAPPED

## PROPERTY DESCRIPTION BY THIS FIRM

A PARCEL OF LAND, SITUATE, LYING AND BEING LOCATED SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT A 4 INCH BY 4 INCH CONCRETE MONUMENT WITHOUT IDENTIFICATION MARKING THE SOUTHEAST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, IN ALACHUA COUNTY, FLORIDA AND RUN SOUTH 88 DEGREES 49 MINUTES 51 SECONDS WEST ALONG THE SOUTH BOUNDARY OF SAID SECTION 10 A DISTANCE OF 1103.14 FEET FOR THE POINT OF BEGINNING; FROM SAID THE POINT OF BEGINNING CONTINUE THENCE SOUTH 88 DEGREES 49 MINUTES 51 SECONDS WEST ALONG SAID SOUTH SECTION BOUNDARY A DISTANCE OF 1362.93 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" BEING THE MOST SOUTHEASTERLY CORNER OF PHASE ONE OF THE PLAT OF TILLMAN ACRES, AS RECORDED IN PLAT BOOK 22, PAGE 82 IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE LEAVING SAID SOUTH BOUNDARY AND RUN NORTH 01 DEGREES 10 MINUTES 36 SECONDS WEST ALONG THE EASTERLY BOUNDARY OF SAID PLAT A DISTANCE OF 290.20 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE NORTHEAST CORNER OF LOT 28 OF SAID PLAT ALSO LYING ON THE SOUTH RIGHT-OF-WAY BOUNDARY OF NORTHWEST 160TH AVE AND A CURVE CONCAVE TO THE SOUTHWEST; THENCE ALONG THE BOUNDARY OF SAID PLAT AND SAID RIGHT-OF-WAY CURVE WITH A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 49 DEGREES 24 MINUTES 30 SECONDS, FOR AN ARC DISTANCE OF 21.56 FEET (THE CHORD OF SAID ARC BEING NORTH 66 DEGREES 19 MINUTES 44 SECONDS WEST 20.90 FEET) TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" BEING A POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT; THENCE CONTINUE ALONG THE BOUNDARY OF SAID PLAT AND RIGHT-OF-WAY ALONG SAID REVERSE CURVE WITH A RADIUS OF 60.00 FEET THROUGH A CENTRAL ANGLE OF 279 DEGREES 29 MINUTES 49 SECONDS, FOR AN ARC DISTANCE OF 292.64 FEET (THE CHORD OF SAID ARC BEING NORTH 01 DEGREES 09 MINUTES 13 SECONDS WEST 77.53 FEET) TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" BEING A POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT; THENCE CONTINUE ALONG THE BOUNDARY OF SAID PLAT AND RIGHT-OF-WAY ALONG SAID REVERSE CURVE WITH A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 49 DEGREES 26 MINUTES 58 SECONDS, FOR AN ARC DISTANCE OF 21.58 FEET (THE CHORD OF SAID ARC BEING SOUTH 63 DEGREES 57 MINUTES 26 SECONDS WEST 20.91 FEET) TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075"; THENCE CONTINUE SOUTH 88 DEGREES 56 MINUTES 37 SECONDS WEST ALONG THE BOUNDARY OF SAID PLAT AND SAID RIGHT-OF-WAY A DISTANCE OF 33.58 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE SOUTHEAST CORNER OF LOT 14 OF SAID PLAT; THENCE LEAVING SAID RIGHT-OF-WAY AND RUN NORTH 01 DEGREES 09 MINUTES 57 SECONDS WEST ALONG SAID THE BOUNDARY OF SAID PLAT A DISTANCE OF 512.58 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE MOST NORTHEASTERLY CORNER OF LOT 50 OF SAID PLAT; THENCE NORTH 88 DEGREES 49 MINUTES 45 SECONDS EAST ALONG THE BOUNDARY OF SAID PLAT A DISTANCE OF 646.20 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE SOUTHEAST CORNER OF LOT 48 OF SAID PLAT; THENCE NORTH 02 DEGREES 50 MINUTES 00 SECONDS WEST ALONG THE EASTERN MOST BOUNDARY OF SAID PLAT A DISTANCE OF 935.94 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE NORTHEAST CORNER OF LOT 47-B OF SAID PLAT; THENCE SOUTH 89 DEGREES 17 MINUTES 24 SECONDS WEST ALONG THE NORTHERN BOUNDARY OF SAID PLAT A DISTANCE OF 592.50 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE NORTHWEST CORNER OF LOT 47-A OF SAID PLAT; THENCE NORTH 00 DEGREES 43 MINUTES 57 SECONDS WEST ALONG THE BOUNDARY OF SAID PLAT A DISTANCE OF 87.99 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075"; THENCE SOUTH 89 DEGREES 17 MINUTES 20 SECONDS WEST ALONG THE NORTHERN BOUNDARY OF SAID PLAT A DISTANCE OF 564.59 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075"; THENCE SOUTH 06 DEGREES 11 MINUTES 56 SECONDS EAST ALONG THE BOUNDARY OF SAID PLAT A DISTANCE OF 124.36 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE NORTHERN MOST CORNER OF LOT 46 OF SAID PLAT; THENCE SOUTH 28 DEGREES 44 MINUTES 19 SECONDS WEST ALONG THE BOUNDARY OF SAID PLAT A DISTANCE OF 1048.61 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE WESTERN MOST CORNER OF LOT 42 OF SAID PLAT; THENCE NORTH 60 DEGREES 06 MINUTES 52 SECONDS WEST ALONG THE BOUNDARY OF SAID PLAT A DISTANCE OF 451.39 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE NORTHWEST CORNER OF LOT 8 OF SAID PLAT; THENCE NORTH 60 DEGREES 02 MINUTES 01 SECONDS WEST 62.15 FEET TO A 5/8 INCH ROD WITH CAP STAMPED "JBPRO LB 8031" MARKING THE NORTHEAST CORNER OF LOT 7 OF SAID PLAT; THENCE NORTH 60 DEGREES 07 MINUTES 26 SECONDS WEST ALONG THE BOUNDARY OF SAID PLAT A DISTANCE OF 360.06 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH CAP STAMPED "C&E INC. PRM LB5075" MARKING THE NORTHWEST CORNER OF LOT 6 OF SAID PLAT; THENCE SOUTH 88 DEGREES 50 MINUTES 36 SECONDS WEST ALONG THE NORTHERN BOUNDARY OF SAID PLAT A DISTANCE OF 168.96 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION LYING ON THE NORTH BOUNDARY OF LOT 5 OF SAID PLAT; THENCE LEAVING BOUNDARY OF SAID PLAT OF TILLMAN ACRES PHASE 1 AND RUN NORTH 07 DEGREES 28 MINUTES 23 SECONDS EAST A DISTANCE OF 299.22 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION; THENCE NORTH 13 DEGREES 13 MINUTES 00 SECONDS EAST A DISTANCE OF 300.59 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION; THENCE NORTH 88 DEGREES 54 MINUTES 44 SECONDS EAST A DISTANCE OF 200.03 TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION; THENCE NORTH 01 DEGREES 13 MINUTES 13 SECONDS WEST A DISTANCE OF 40.52 FEET TO A 5/8 INCH ROD WITH CAP STAMPED "JBPRO LB 8031"; THENCE NORTH 15 DEGREES 43 MINUTES 24 SECONDS EAST A DISTANCE OF 289.95 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION; THENCE SOUTH 88 DEGREES 50 MINUTES 07 SECONDS WEST A DISTANCE OF 299.92 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION; THENCE NORTH 15 DEGREES 37 MINUTES 54 SECONDS EAST A DISTANCE OF 900.36 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION LYING ON THE SOUTH BOUNDARY OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3118 PAGE 1446; THENCE NORTH 88 DEGREES 24 MINUTES 18 SECONDS EAST ALONG SAID SOUTH BOUNDARY A DISTANCE OF 109.06 FEET TO A 4 INCH BY 4 INCH CONCRETE MONUMENT WITH NO IDENTIFICATION MARKING THE SOUTHEAST CORNER OF SAID LANDS; THENCE LEAVING SAID SOUTH BOUNDARY AND RUN NORTH 15 DEGREES 38 MINUTES 47 SECONDS EAST A DISTANCE OF 519.36 FEET TO A 5/8 IRON ROD WITH CAP STAMPED "FLOWERS PLS 6602" MARKING THE NORTHWEST CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4204 PAGE 1763; THENCE NORTH 85 DEGREES 05 MINUTES 11 SECONDS WEST ALONG THE NORTH BOUNDARY OF SAID LANDS A DISTANCE OF 257.16 FEET TO A 5/8 IRON ROD WITH CAP STAMPED "FLOWERS PLS 6602"; THENCE NORTH 75 DEGREES 37 MINUTES 58 SECONDS WEST ALONG SIAD NORTH BOUNDARY AND THE NORTH BOUNDARY OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4934 PAGE 210 A DISTANCE OF 447.25 FEET TO A 1 INCH IRON PIPE LYING ON THE EASTERN RIGHT-OF-WAY BOUNDARY OF U.S. HIGHWAY NO. 41 AND BEING THE NORTHWEST CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4934 PAGE 210; THENCE LEAVING SAID NORTH BOUNDARY AND RUN NORTH 15 DEGREES 42 MINUTES 12 SECONDS EAST ALONG SAID RIGHT-OF-WAY BOUNDARY A DISTANCE OF 158.57 FEET; THENCE LEAVING SAID RIGHT-OF-WAY BOUNDARY AND RUN SOUTH 74 DEGREES 17 MINUTES 48 SECONDS EAST A DISTANCE OF 167.25 FEET; THENCE SOUTH 60 DEGREES 48 MINUTES 03 SECONDS EAST A DISTANCE OF 85.70 FEET; THENCE SOUTH 74 DEGREES 17 MINUTES 48 SECONDS EAST A DISTANCE OF 231.31 FEET; THENCE NORTH 48 DEGREES 06 MINUTES 24 SECONDS EAST A DISTANCE OF 334.52 FEET TO A POINT LYING ON THE SOUTH BOUNDARY OF SOUTHSIDE TERRACE PER PLAT THEREOF RECORDED IN PLAT BOOK E PAGE 75 OF THE OFFICIAL RECORDS OF ALACHUA COUNTY FLORIDA; THENCE NORTH 88 DEGREES 35 MINUTES 04 SECONDS EAST ALONG SAID SOUTH BOUNDARY AND AN EXTENSION THEREOF A DISTANCE OF 2538.51 FEET; THENCE LEAVING SAID BOUNDARY AND RUN SOUTH 21 DEGREES 43 MINUTES 56 SECONDS EAST A DISTANCE OF 381.09 FEET; THENCE SOUTH 21 DEGREES 12 MINUTES 28 SECONDS EAST A DISTANCE OF 295.00 FEET; THENCE SOUTH 75 DEGREES 33 MINUTES 55 SECONDS WEST A DISTANCE OF 93.17 FEET; THENCE SOUTH 89 DEGREES 06 MINUTES 40 SECONDS WEST A DISTANCE OF 11.55 FEET; THENCE SOUTH 05 DEGREES 59 MINUTES 34 SECONDS EAST A DISTANCE OF 171.20 FEET TO A POINT LYING ON A CURVE CONCAVE TO THE NORTH; THENCE ALONG THE ARC OF SAID CURVE WITH A RADIUS OF 565.00 FEET THROUGH A CENTRAL ANGLE OF 12 DEGREES 04 MINUTES 46 SECONDS FOR AN ARC DISTANCE OF 119.12 FEET (THE CHORD OF SAID ARC BEING NORTH 77 DEGREES 58 MINUTES 03 SECONDS EAST 118.20 FEET); THENCE SOUTH 18 DEGREES 04 MINUTES 20 SECONDS EAST A DISTANCE OF 46.86 FEET; THENCE SOUTH 56 DEGREES 18 MINUTES 11 SECONDS EAST A DISTANCE OF 140.00 FEET; THENCE SOUTH 33 DEGREES 41 MINUTES 49 SECONDS WEST A DISTANCE OF 120.00 FEET; THENCE SOUTH 56 DEGREES 18 MINUTES 11 SECONDS EAST A DISTANCE OF 105.00 FEET TO A POINT MARKING A CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 87 DEGREES 48 MINUTES 15 SECONDS FOR AN ARC DISTANCE OF 38.31 FEET (THE CHORD OF SAID ARC BEING NORTH 79 DEGREES 47 MINUTES 41 SECONDS EAST 34.67 FEET); THENCE NORTH 35 DEGREES 59 MINUTES 37 SECONDS EAST A DISTANCE OF 4.52 FEET; THENCE SOUTH 53 DEGREES 54 MINUTES 19 SECONDS EAST A DISTANCE OF 60.00 FEET TO A POINT LYING ON A CURVE CONCAVE TO THE EAST; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 92 DEGREES 23 MINUTES 53 SECONDS FOR AN ARC DISTANCE OF 40.32 FEET (THE CHORD OF SAID ARC BEING SOUTH 10 DEGREES 10 MINUTES 36 SECONDS WEST 36.09 FEET); THENCE SOUTH 33 DEGREES 41 MINUTES 49 SECONDS WEST A DISTANCE OF 50.00 FEET TO A POINT LYING ON A CURVE CONCAVE TO THE SOUTH; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 92 DEGREES 23 MINUTES 53 SECONDS FOR AN ARC DISTANCE OF 40.32 FEET (THE CHORD OF SAID ARC BEING SOUTH 77 DEGREES 29 MINUTES 52 SECONDS 36.09 FEET) TO A POINT OF COMPOUND CURVE; THENCE ALONG THE ARC OF SAID COMPOUND CURVE HAVING A RADIUS OF 1220.00 FEET THROUGH A CENTRAL ANGLE OF SOUTH 77 DEGREES 29 MINUTES 52 SECONDS FOR AN ARC DISTANCE OF 94.28 FEET (THE CHORD OF SAID ARC BEING SOUTH 29 DEGREES 05 MINUTES 06 SECONDS WEST 94.26 FEET); THENCE SOUTH 56 DEGREES 18 MINUTES 11 SECONDS EAST A DISTANCE OF 491.83 FEET; THENCE SOUTH 50 DEGREES 36 MINUTES 46 SECONDS EAST A DISTANCE OF 64.39 FEET; THENCE SOUTH 36 DEGREES 06 MINUTES 52 SECONDS EAST A DISTANCE OF 36.94 FEET; THENCE SOUTH 10 DEGREES 39 MINUTES 29 SECONDS EAST A DISTANCE OF 51.14 FEET; THENCE SOUTH 07 DEGREES 47 MINUTES 52 SECONDS WEST A DISTANCE OF 64.58 FEET; THENCE SOUTH 13 DEGREES 23 MINUTES 36 SECONDS WEST A DISTANCE OF 160.00 FEET; THENCE SOUTH 16 DEGREES 48 MINUTES 30 SECONDS WEST A DISTANCE OF 79.16 FEET; THENCE SOUTH 10 DEGREES 00 MINUTES 51 SECONDS WEST A DISTANCE OF 80.00 FEET; THENCE SOUTH 13 DEGREES 23 MINUTES 36 SECONDS WEST A DISTANCE OF 256.23 FEET TO A CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 855.00 FEET THROUGH A CENTRAL ANGLE OF 31 DEGREES 41 MINUTES 51 SECONDS FOR AN ARC DISTANCE OF 473.01 FEET (THE CHORD OF SAID ARC BEING NORTH 29 DEGREES 14 MINUTES 31 SECONDS 467.00 FEET); THENCE SOUTH 56 DEGREES 00 MINUTES 36 SECONDS WEST A DISTANCE OF 73.48 FEET; THENCE SOUTH 33 DEGREES 59 MINUTES 24 SECONDS EAST A DISTANCE OF 47.85 FEET; THENCE SOUTH 41 DEGREES 43 MINUTES 48 SECONDS EAST A DISTANCE OF 83.79 FEET; THENCE SOUTH 48 DEGREES 16 MINUTES 12 SECONDS WEST A DISTANCE OF 99.35 FEET; THENCE SOUTH 41 DEGREES 43 MINUTES 48 SECONDS EAST A DISTANCE OF 50.00 FEET TO A POINT LYING ON A CURVE CONCAVE TO THE EAST; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 92 DEGREES 24 MINUTES 56 SECONDS FOR AN ARC DISTANCE OF 40.32 FEET (THE CHORD OF SAID ARC BEING SOUTH 02 DEGREES 03 MINUTES 44 SECONDS WEST 36.09 FEET); THENCE SOUTH 45 DEGREES 51 MINUTES 16 SECONDS WEST A DISTANCE OF 60.00 FEET TO A POINT LYING ON A CURVE CONCAVE NORTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 1280.00 FEET THROUGH A CENTRAL ANGLE OF 04 DEGREES 18 MINUTES 52 SECONDS FOR AN ARC DISTANCE OF 96.38 FEET (THE CHORD OF SAID ARC BEING SOUTH 46 DEGREES 18 MINUTES 10 SECONDS EAST 96.36 FEET) TO A POINT LYING ON A COMPOUND CURVE; THENCE ALONG THE ARC OF SAID COMPOUND CURVE HAVING A RADIUS OF 493.94 FEET THROUGH A CENTRAL ANGLE OF 22 DEGREES 14 MINUTES 57 SECONDS FOR AN ARC DISTANCE OF 497.05 FEET (THE CHORD OF SAID ARC BEING SOUTH 59 DEGREES 35 MINUTES 04 SECONDS EAST 493.94 FEET); THENCE SOUTH 09 DEGREES 26 MINUTES 53 SECONDS WEST A DISTANCE OF 393.54 FEET; THENCE SOUTH 88 DEGREES 35 MINUTES 04 SECONDS WEST A DISTANCE OF 494.34 FEET; THENCE NORTH 01 DEGREES 24 MINUTES 56 SECONDS WEST A DISTANCE OF 120.00 FEET; THENCE SOUTH 88 DEGREES 35 MINUTES 04 SECONDS WEST A DISTANCE OF 50.00 FEET TO A POINT LYING ON A CURVE CONCAVE SOUTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS FOR AN ARC DISTANCE OF 39.27 FEET (THE CHORD OF SAID ARC BEING SOUTH 43 DEGREES 35 MINUTES 04 SECONDS WEST 35.36 FEET); THENCE SOUTH 01 DEGREES 24 MINUTES 56 SECONDS EAST A DISTANCE OF 125.75 FEET TO THE POINT OF BEGINNING; CONTAINING 244.80 ACRES MORE OR LESS.

## SURVEYOR'S NOTES

- THIS IS NOT A BOUNDARY SURVEY.
- ALL DISTANCES AS SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- BEARINGS ARE BASED ON THE NORTHERN MOST BOUNDARY LINE OF THE SUBJECT PARCEL HAVING AN ASSUMED BEARING OF N 88° 35' 04" E

## COMMUNITY DEVELOPMENT DISTRICT

### SKETCH AND DESCRIPTION

CERTIFIED TO:  
1. BRIDLEWOOD OF  
HIGHSPRINGS, LLC.

Scale: 1"=300'  
Proj. No. 438-23-02  
Drawn: J. Trahan  
Checked: R. White  
Dwg. Name: 438-23-02 CDD  
Dwg. Date: 01/23/2024  
Field Book: N/A  
Pages: 1  
Sheet: 1 of 1

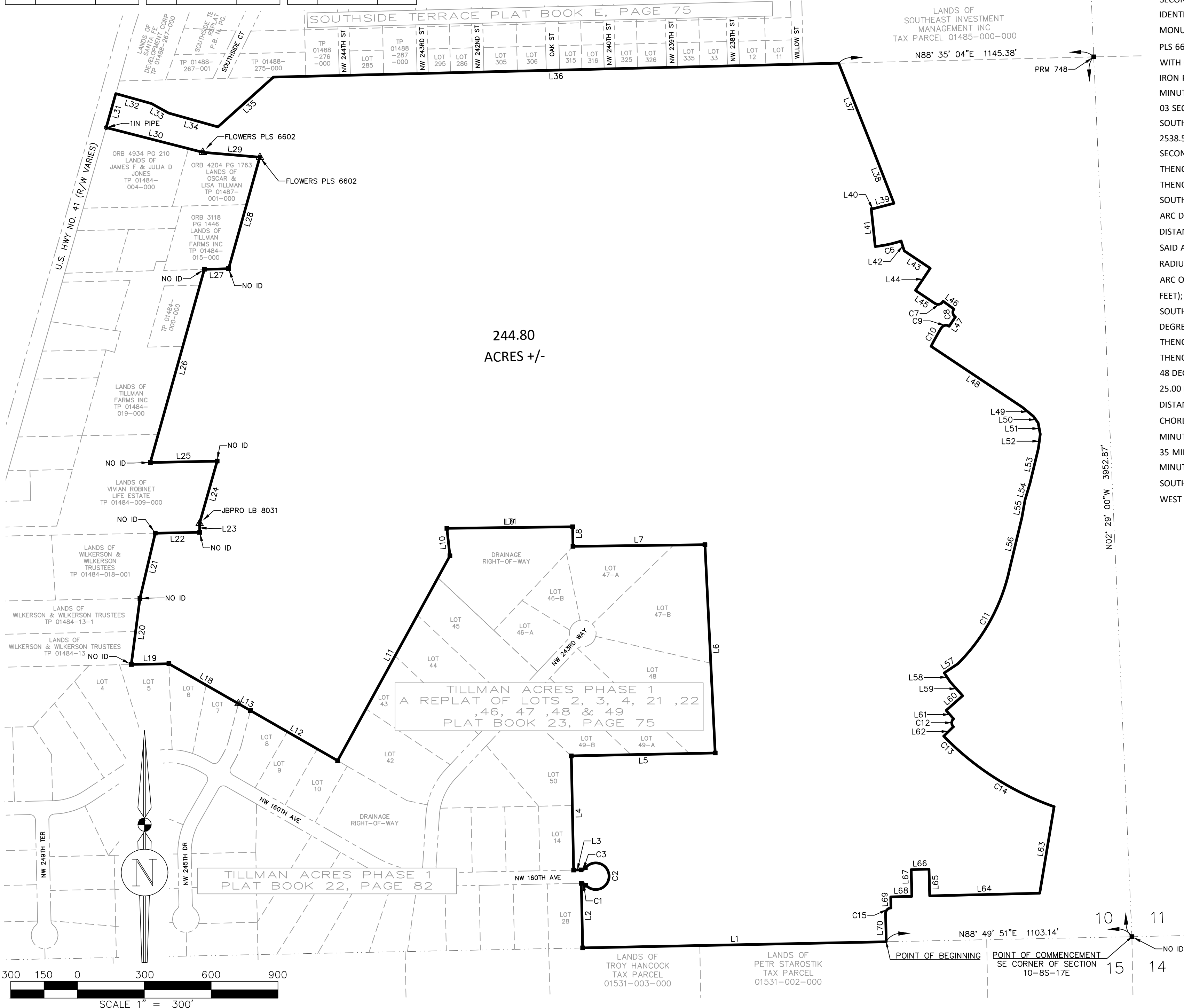


**JBPro**  
CIVIL ENGINEERING | LAND PLANNING  
SURVEYING | CONSTRUCTION SERVICES  
3530 NW 43rd Street | Gainesville, FL 32609  
4420 US-1 S, Suite 1 | St. Augustine, FL 32086  
1826 Ox Bottom Lane | Tallahassee, FL 32304  
Toll Free: (844) Go-JBPro

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 53-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

Florida License No. 154816  
Certificate of Authorization No. LB8031  
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER OR VALID DIGITAL SIGNATURE IN ELECTRONIC FORM

Richard L. White, PLS  
Professional Land Surveyor





# **EXHIBIT 3**



**Consent of Landowner  
to the Establishment of a Community Development District  
[*Proposed Bridlewood Community Development District*]**

The undersigned is the owner of certain lands more fully described on Exhibit A attached hereto and made a part hereof ("Property").

As an owner of lands that are intended to constitute all or a part of the Community Development District, the undersigned understands and acknowledges that pursuant to the provisions of Section 190.005, *Florida Statutes*, the Petitioner, is required to include the written consent to the establishment of the Community Development District of one hundred percent (100%) of the owners of the lands to be included within the Community Development District.

The undersigned hereby consents to the establishment of a Community Development District that will include the Property within the lands to be a part of the Community Development District and agrees to further execute any documentation necessary or convenient to evidence this consent and joinder during the application process for the establishment of the Community Development District.

The undersigned hereby represents and warrants that it has taken all actions and obtained all consents necessary to duly authorize the execution of this consent and joinder by the officer executing this instrument.

[SIGNATURE PAGE TO FOLLOW]

Executed this 28<sup>th</sup> day of January, 2024.

Witnessed:

BRIDLEWOOD OF HIGH SPRINGS, LLC

[Signature]  
Print Name: Leo J. Salvatori

[Signature]  
BY: Michael L. Hall  
ITS: Manager

Address: 5150 Tamiami Trail, Naples, FL

[Signature]  
Print Name: Lynelle Martine Roush

Address: 5150 Tamiami Tr. N. #304  
Naples, FL 34103

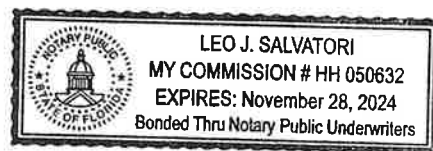
STATE OF Florida  
COUNTY OF Collier

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 28<sup>th</sup> day of January, 2024, by Michael L. Hall, as Manager of Bridlewood of High Springs, LLC, who appeared before me this day in person, and who is either personally known to me, or produced \_\_\_\_\_ as identification.

[Signature]  
NOTARY PUBLIC, STATE OF Florida

Name: Leo J. Salvatori  
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A: Legal Description





**WARRANTY DEED**

(STATUTORY FORM - SECTION 689.02, F.S.)

This document prepared by and to be returned to:

Gary D. Grunder

Grunder & Petteway, P. A.

23349 NW CR 236, Suite 10

High Springs, Florida, 32643

8/5/2021 11:17 AM

BOOK 4918 PAGE 1912

J.K. JESS IRBY, ESQ.

Clerk of the Court, Alachua County, Florida

ERECORDED Receipt # 1030361

Doc Stamp-Mort: \$0.00

Doc Stamp-Deed: \$40,317.90

Intang. Tax: \$0.00

Tax Parcel Number: 01487-000-000, 01486-000-000, 01511-001-000, 01529-001-000 and a portion of 01529-002-000

THIS INDENTURE made this 30 day of July, 2021,

BETWEEN Tillman Family Limited Partnership, a Florida limited partnership, whose post office address is P.O. Box 1829, High Springs, Florida, 32655, herein called Grantor, and

Bridlewood of High Springs, LLC, a Florida limited liability company, as to an undivided 91.2% interest and LMI Co., LLC, a California limited liability company, as to an undivided 8.8% interest, as tenants in common, whose post office address is P.O. Box 8329, Naples, Florida, 34101, herein called Grantee,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in the county(ies) of Alachua state of Florida, to wit:

SEE ATTACHED EXHIBIT "A"

AND SAID GRANTOR does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

Grantor and grantee are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Tillman Family Limited Partnership, a  
Florida limited partnership by Tillman  
Family, LLC, a Florida limited liability  
company, as General Partner

Amy S. Tillman  
Amy S. Tillman, Managing Member

Amy L. Kenner  
Witness 1 Print Name: Amy L. Kenner

Gary D. Grunder  
Witness 2 Print Name: Gary D. Grunder

Amy L. Kenner  
Witness 1 Print Name: Amy L. Kenner

Gary D. Grunder  
Witness 2 Print Name: Gary D. Grunder

Marian Tomlinson  
Marian Tomlinson, Managing Member

Amy L. Kenner  
Witness 1 Print Name: Amy L. Kenner

Gary D. Grunder  
Witness 2 Print Name: Gary D. Grunder

Dianne Tillman  
Dianne Tillman, Managing Member

*Amy L. Kenner*  
 Witness 1 Print Name: Amy L. Kenner  
*Gary D. Grunder*  
 Witness 2 Print Name: Gary D. Grunder

*Carolyn Tillman*  
 Carolyn Tillman, Managing Member

*Amy L. Kenner*  
 Witness 1 Print Name: Amy L. Kenner  
*Gary D. Grunder*  
 Witness 2 Print Name: Gary D. Grunder

*Teresa Wooden*  
 Teresa Wooden, Managing Member

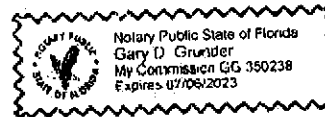
State of Florida  
 County of Alachua

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 30 day of July, 2021 by Amy S. Tillman, Marian Tomlinson, Dianne Tillman, Carolyn Tillman and Teresa Wooden, all as Managing Members of Tillman Family, LLC as General Partner of Tillman Family Limited Partnership who

- ☒ are personally known to me
- ☐ produced a current Florida driver's license as identification
- ☐ produced \_\_\_\_\_ as identification

*Gary D. Grunder*  
 Notary Public at Large, State of Florida  
 12157

(SEAL)





**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ALACHUA, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

THE EAST ONE-HALF (E 1/2) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 11; THE WEST ONE-HALF (W 1/2) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 11; THE NORTH ONE-HALF (N 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 11; THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 11; THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 11; THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 11; THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 11; THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 11, ALL IN TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

ALSO:

THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 14; THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 14; THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 14, ALL IN TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

ALSO:

THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 10; THE SOUTH ONE-HALF (S 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 10, ALL IN TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

ALSO:

PARCEL NO. I

COMMENCE AT THE SOUTHWEST CORNER OF LOT 275 OF SOUTHSIDE TERRACE AS RECORDED IN PLAT BOOK "E", PAGE 75-B, AND RUN SOUTH 89°49'43" WEST, ALONG THE NORTH LINE OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, 89.64 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE SOUTH 89°49'43" WEST ALONG SAID NORTH LINE 400 FEET TO THE EAST RIGHT-OF-WAY OF U.S. HIGHWAY NO. 41, THENCE RUN SOUTH 16°59' WEST ALONG SAID RIGHT-OF-WAY 217.47 FEET, THENCE RUN SOUTH 74°22'30" EAST, 382.35 FEET, THENCE RUN NORTH 16°59' EAST, 326.37 FEET TO THE POINT OF BEGINNING, BEING AND LYING IN THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-

QUARTER (NW 1/4) OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

PARCEL NO. II

BEGIN AT THE SOUTHEAST CORNER OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4), SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, AND RUN SOUTH 88°47'36" WEST, 1826.50 FEET, THENCE NORTH 7°18'36" EAST, 300.00 FEET, THENCE NORTH 13°23'06" EAST, 300.00 FEET, THENCE NORTH 88°47'36" EAST, 200.00 FEET, THENCE NORTH 1°12'24" WEST, 40.00 FEET, THENCE NORTH 15°39'36" EAST, 290.40 FEET, THENCE SOUTH 88°47'36" WEST, 300.00 FEET, THENCE NORTH 15°39'36" EAST, 900.17 FEET, THENCE NORTH 88°30'06" EAST, 109.10 FEET, THENCE NORTH 15°39'36" EAST 295.00 FEET, THENCE SOUTH 88°30'06" WEST, 332.26 FEET, THENCE NORTH 15°39'36" EAST, 600.00 FEET, THENCE NORTH 88°30'06" EAST, 2673.60 FEET, TO THE NORTHEAST CORNER OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, THENCE SOUTH 2°28'00" WEST, 1319.15 FEET, THENCE SOUTH 88°43'45" WEST, 1306.93 FEET, THENCE SOUTH 2°27'30" EAST, 1315.40 FEET TO THE POINT OF BEGINNING.

ALSO:

THAT PORTION OF NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 17 EAST, LYING WEST OF THE CENTERLINE OF NORTHWEST 222ND STREET (SAID STREET IS ALSO DESIGNATED AS SOUTHWEST 17 STREET BY THE CITY OF HIGH SPRINGS, FLORIDA).

LESS AND EXCEPT, THE FOLLOWING DESCRIBED LAND:

A PARCEL OF LAND IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCE AT A RAILROAD SPIKE MARKING THE NORTHWEST CORNER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, THENCE ALONG THE NORTH LINE OF SAID SECTION NORTH 89°20'32" EAST, 1294.69 FEET; THENCE SOUTH 01°30'46" EAST, 50.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF PALM AVENUE (A.K.A. NORTHWEST 174th AVENUE - 100 FOOT RIGHT-OF-WAY), THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 89°20'32" EAST, 1295.12 FEET TO THE POINT OF BEGINNING. THENCE SOUTH 01°18'33" EAST, 5222.70 FEET TO THE SOUTH LINE OF SAID SECTION 11; THENCE ALONG THE SOUTH LINE OF SAID SECTION NORTH 89°24'53" EAST, 1262.51 FEET; THENCE NORTH 00°57'09" WEST, 5274.03 FEET TO A FOUND CONCRETE MONUMENT ON THE NORTH LINE OF SAID SECTION; THENCE ALONG SAID NORTH LINE SOUTH 89°20'32" WEST, 82.39 FEET; THENCE SOUTH 03°31'25" EAST, 50.06 FEET TO THE SAID SOUTH RIGHT-OF-WAY LINE OF PALM AVENUE; THENCE SOUTH 89°20'32" WEST, 1214.84 FEET TO THE POINT OF BEGINNING.



THE ABOVE-DESCRIBED PARCEL CONTAINS 153.424 ACRES, MORE OR LESS.

LESS:

A PARCEL OF LAND IN SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT RAILROAD SPIKE MARKING THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, AND RUN N 89°31'42" E, 37.55 FEET ALONG THE SOUTH LINE OF SAID SECTION 10 TO A CONCRETE MONUMENT WITH A METAL CAP STAMPED P.R.M. 748 AT THE INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NUMBER 41 AND THE POINT OF BEGINNING; THENCE N 89°31'42" E, CONTINUING ALONG SAID SOUTH LINE OF SECTION 10, 1267.65 FEET; THENCE N 89°31'25" E, CONTINUING ALONG SAID SOUTH LINE OF SECTION 10, 1304.71 FEET; THENCE N 89°31'30" E, CONTINUING ALONG SAID SOUTH LINE OF SECTION 10, 144.25 FEET; THENCE N 00°28'43" W, 290.22 FEET TO A POINT ON A NON-TANGENT CURVE TO THE RIGHT, CONCAVE SOUTHWESTERLY, WHOSE RADIAL POINT BEARS S 00°28'43" E, 25.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 49°40'47", AN ARC DISTANCE OF 21.68 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT, CONCAVE WESTERLY, WHOSE RADIAL POINT BEARS N 49°12'04" E, 60.00 FEET; THENCE CIRCULARLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 279°21'34", AN ARC DISTANCE OF 292.55 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT, CONCAVE NORTHWESTERLY, WHOSE RADIAL POINT BEARS N 50°09'30" W, 25.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 49°40'47", AN ARC DISTANCE OF 21.68 FEET TO THE POINT OF TANGENCY; THENCE S 89°31'17" W, 33.57 FEET; THENCE N 00°28'43" W, 512.56 FEET; THENCE N 89°31'17" E, 646.28 FEET; THENCE N 02°08'34" W, 936.02 FEET; THENCE S 89°59'02" W, 592.52 FEET; THENCE N 00°00'58" W, 88.00 FEET; THENCE S 89°59'02" W, 564.66 FEET; THENCE S 05°30'27" E, 124.57 FEET; THENCE S 29°26'06" W, 1048.54 FEET; THENCE N 59°25'14" W, 451.43 FEET; THENCE S 15°32'05" W, 151.29 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°02'41", A DISTANCE OF 86.65 FEET TO THE POINT OF TANGENCY; THENCE S 30°34'46" W, 33.23 FEET; THENCE N 59°25'14" W, 60.00 FEET; THENCE N 30°34'46" E, 33.23 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°02'41", A DISTANCE OF 70.90 FEET TO THE POINT OF TANGENCY; THENCE N 15°32'05" E, 167.42 FEET; THENCE N 59°25'14" W, 360.10 FEET; THENCE S 89°30'38" W, 896.87 FEET TO A POINT ON SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NUMBER 41, SAID POINT BEING ON A NON-TANGENT CURVE TO THE LEFT, CONCAVE EASTERLY, WHOSE RADIAL POINT BEARS S 84°56'45" E, 2824.79 FEET; THENCE

SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 06°56'19", A DISTANCE OF 342.09 FEET TO THE POINT OF TANGENCY; THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE S 01°53'12" E, 971.78 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 98.375 ACRES, MORE OR LESS, THE SAME BEING ALSO KNOWN AS TILLMAN ACRES PHASE 1, RECORDED IN PLAT BOOK 22, PAGE 82, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

LESS:

A PARCEL OF LAND LYING IN SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, CITY OF HIGH SPRINGS, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS 2193, PAGE 755, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST FOR THE POINT OF REFERENCE; THENCE RUN SOUTH 88°30'06" WEST, ALONG THE LAND LINE, A DISTANCE OF 3073.60 FEET TO THE INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 45 (U.S. HIGHWAY 27/41); THENCE RUN SOUTH 15°39'36" WEST, ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 214.47 FEET TO A 3/4" IRON PIPE (NO IDENTIFICATION) AT THE NORTHWEST CORNER OF THE LANDS DESCRIBED IN O.R. 3064, PAGE 191, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN SOUTH 75°38'24" EAST, ALONG THE NORTH LINE OF SAID LANDS, A DISTANCE OF 382.45 FEET TO A 1" IRON PIPE (NO IDENTIFICATION) AT THE NORTHEAST CORNER OF SAID LANDS AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 75°38'24" EAST, ALONG THE SOUTHEASTERLY EXTENSION OF SAID NORTH LINE, A DISTANCE OF 64.83 FEET TO A 5/8" REBAR & CAP (PLS 6602) AT THE INTERSECTION OF THE WESTERLY EXTENSION OF A FENCE LINE; THENCE RUN SOUTH 85°05'28" EAST, ALONG A FENCE LINE AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 257.22 FEET TO A 5/8" REBAR & CAP (PLS 6602) AT THE INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE EAST LINE OF THE LANDS DESCRIBED IN O.R. BOOK 3118, PAGE 1446, OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 15°38'47" WEST, ALONG THE NORTHEASTERLY EXTENSION, A DISTANCE OF 224.80 FEET TO A 4"X4" CONCRETE MONUMENT AT THE NORTHEAST CORNER OF SAID LANDS; THENCE RUN SOUTH 88°30'06" WEST, ALONG THE NORTH LINE OF SAID LANDS AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 332.41 FEET TO A 4"X4" CONCRETE MONUMENT (RLS 509) AT THE SOUTHEAST CORNER OF THE AFOREMENTIONED LANDS DESCRIBED IN O.R. BOOK 3064, PAGE 191; THENCE RUN NORTH 15°40'59" EAST, ALONG THE EAST LINE OF SAID LANDS, A DISTANCE OF 273.41 FEET TO THE POINT OF BEGINNING.

LESS:



A PARCEL OF LAND LYING AND BEING IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST; THENCE RUN NORTH 89°20'32" EAST, ON THE NORTH LINE OF SAID SECTION 11, A DISTANCE OF 2,589.91 FEET TO THE INTERSECTION WITH THE EAST LINE OF THE EAST ONE-HALF OF THE NORTHWEST ONE-QUARTER (E 1/2 OF NW 1/4) OF SAID SECTION 11; THENCE RUN SOUTH 01°18'33" EAST, ON SAID EAST LINE, A DISTANCE OF 50.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B (N.W. 174TH AVENUE) AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01°18'33" EAST, ON SAID EAST LINE, A DISTANCE OF 900.00 FEET; THENCE RUN SOUTH 89°20'32" WEST, A DISTANCE OF 500.00 FEET; THENCE RUN NORTH 01°18'33" WEST, A DISTANCE OF 900.00 FEET TO THE AFOREMENTIONED SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B (N.W.174TH AVENUE); THENCE NORTH 89°20'32" EAST, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 500.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

A PARCEL OF LAND IN THE EAST ONE-HALF OF THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 11, THENCE NORTH 89°20'32" EAST ALONG THE NORTH LINE OF SAID SECTION 2,589.91 FEET TO THE INTERSECTION WITH THE EAST LINE OF THE EAST ONE-HALF OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 11; THENCE SOUTH 01°18'33" EAST ALONG SAID EAST LINE, 50.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01°18'33" EAST ALONG SAID EAST LINE 624.04 FEET; THENCE SOUTH 89°20'32" WEST, 158.32 FEET; THENCE NORTH 00°39'28" WEST, 624.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B; THENCE NORTH 89°20'32" EAST ALONG SAID RIGHT-OF-WAY LINE, 151.23 FEET TO THE POINT OF BEGINNING.

LESS:

A PORTION OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA; THENCE RUN NORTH 89 DEG. 46 MIN. 12 SEC. EAST ALONG THE NORTH LINE OF SECTION 14, A DISTANCE OF 3878.29 FEET TO THE CENTERLINE OF NW 222<sup>ND</sup> STREET AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 03 DEG. 57 MIN. 10 SEC. EAST ALONG SAID CENTERLINE, A DISTANCE OF 208.83

FEET; THENCE DEPARTING SAID CENTERLINE, RUN SOUTH 88 DEG. 46 MIN. 12 SEC. WEST, A DISTANCE OF 238.86 FEET; THENCE RUN NORTH 03 DEG. 57 MIN. 10 SEC. WEST, A DISTANCE OF 208.83 FEET TO SAID NORTH LINE OF SECTION 14; THENCE RUN NORTH 88 DEG. 46 MIN. 12 SEC. EAST ALONG SAID NORTH LINE, A DISTANCE OF 238.86 FEET TO THE CENTERLINE OF NW 222<sup>ND</sup> STREET AND THE POINT OF BEGINNING.

LESS AND EXCEPT THE EAST 30' FOR THE RIGHT-OF-WAY OF NW 222<sup>ND</sup> STREET.



**Consent of Landowner  
to the Establishment of a Community Development District  
[*Proposed Bridlewood Community Development District*]**

The undersigned is the owner of certain lands more fully described on Exhibit A attached hereto and made a part hereof ("Property").

As an owner of lands that are intended to constitute all or a part of the Community Development District, the undersigned understands and acknowledges that pursuant to the provisions of Section 190.005, *Florida Statutes*, the Petitioner, is required to include the written consent to the establishment of the Community Development District of one hundred percent (100%) of the owners of the lands to be included within the Community Development District.

The undersigned hereby consents to the establishment of a Community Development District that will include the Property within the lands to be a part of the Community Development District and agrees to further execute any documentation necessary or convenient to evidence this consent and joinder during the application process for the establishment of the Community Development District.

The undersigned hereby represents and warrants that it has taken all actions and obtained all consents necessary to duly authorize the execution of this consent and joinder by the officer executing this instrument.

[SIGNATURE PAGE TO FOLLOW]

Executed this 21<sup>st</sup> day of January, 2024.

Witnessed:

LMI CO, LLC

[Signature]  
Print Name: Leo J. Salvatori

[Signature]  
BY: Isabel L. Hernandez  
ITS: Manager

Address: 5051 Tamiami Trail, Naples, FL 34103

[Signature]  
Print Name: Lynette Marlene Roca  
Address: 5150 Tamiami Trail, #304 Naples, FL 34103

STATE OF Florida  
COUNTY OF Collier

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 21<sup>st</sup> day of January, 2024, by Isabel L. Hernandez, as Manager of LMI Co, LLC, who appeared before me this day in person, and who is either personally known to me, or produced \_\_\_\_\_ as identification.

[Signature]  
NOTARY PUBLIC, STATE OF Florida

Name: Leo J. Salvatori  
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

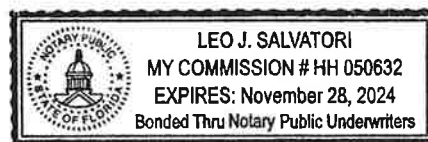


Exhibit A: Legal Description



**WARRANTY DEED**

(STATUTORY FORM - SECTION 689.02, F.S.)

This document prepared by and to be returned to:

Gary D. Grunder

Grunder & Petteway, P. A.

23349 NW CR 236, Suite 10

High Springs, Florida, 32643

8/5/2021 11:17 AM

BOOK 4918 PAGE 1912

J.K. JESS IRBY, ESQ.

Clerk of the Court, Alachua County, Florida

ERECORDED Receipt # 1030361

Doc Stamp-Mort: \$0.00

Doc Stamp-Deed: \$40,317.90

Intang. Tax: \$0.00

Tax Parcel Number: 01487-000-000, 01486-000-000, 01511-001-000, 01529-001-000 and a portion of 01529-002-000

THIS INDENTURE made this 30 day of July, 2021,

BETWEEN Tillman Family Limited Partnership, a Florida limited partnership, whose post office address is P.O. Box 1829, High Springs, Florida, 32655, herein called Grantor, and

Bridlewood of High Springs, LLC, a Florida limited liability company, as to an undivided 91.2% interest and LMI Co., LLC, a California limited liability company, as to an undivided 8.8% interest, as tenants in common, whose post office address is P.O. Box 8329, Naples, Florida, 34101, herein called Grantee,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in the county(ies) of Alachua state of Florida, to wit:

SEE ATTACHED EXHIBIT "A"

AND SAID GRANTOR does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

Grantor and grantee are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Tillman Family Limited Partnership, a  
Florida limited partnership by Tillman  
Family, LLC, a Florida limited liability  
company, as General Partner

Amy S. Tillman  
Amy S. Tillman, Managing Member

Amy L. Kenner  
Witness 1 Print Name: Amy L. Kenner

Gary D. Grunder  
Witness 2 Print Name: Gary D. Grunder

Amy L. Kenner  
Witness 1 Print Name: Amy L. Kenner

Gary D. Grunder  
Witness 2 Print Name: Gary D. Grunder

Marian Tomlinson  
Marian Tomlinson, Managing Member

Amy L. Kenner  
Witness 1 Print Name: Amy L. Kenner

Gary D. Grunder  
Witness 2 Print Name: Gary D. Grunder

Dianne Tillman  
Dianne Tillman, Managing Member

*Amy L. Kenner*  
 Witness 1 Print Name: Amy L. Kenner  
*Gary D. Grunder*  
 Witness 2 Print Name: Gary D. Grunder

*Carolyn Tillman*  
 Carolyn Tillman, Managing Member

*Amy L. Kenner*  
 Witness 1 Print Name: Amy L. Kenner  
*Gary D. Grunder*  
 Witness 2 Print Name: Gary D. Grunder

*Teresa Wooden*  
 Teresa Wooden, Managing Member

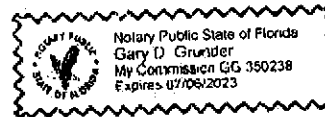
State of Florida  
 County of Alachua

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 30 day of July, 2021 by Amy S. Tillman, Marian Tomlinson, Dianne Tillman, Carolyn Tillman and Teresa Wooden, all as Managing Members of Tillman Family, LLC as General Partner of Tillman Family Limited Partnership who

- ☒ are personally known to me
- ☐ produced a current Florida driver's license as identification
- ☐ produced \_\_\_\_\_ as identification

*Gary D. Grunder*  
 Notary Public at Large, State of Florida  
 12157

(SEAL)





**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ALACHUA, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

THE EAST ONE-HALF (E 1/2) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 11; THE WEST ONE-HALF (W 1/2) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 11; THE NORTH ONE-HALF (N 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 11; THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 11; THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 11; THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 11; THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 11; THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 11, ALL IN TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

ALSO:

THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 14; THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 14; THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 14, ALL IN TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

ALSO:

THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 10; THE SOUTH ONE-HALF (S 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 10, ALL IN TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

ALSO:

PARCEL NO. I

COMMENCE AT THE SOUTHWEST CORNER OF LOT 275 OF SOUTHSIDE TERRACE AS RECORDED IN PLAT BOOK "E", PAGE 75-B, AND RUN SOUTH 89°49'43" WEST, ALONG THE NORTH LINE OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, 89.64 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE SOUTH 89°49'43" WEST ALONG SAID NORTH LINE 400 FEET TO THE EAST RIGHT-OF-WAY OF U.S. HIGHWAY NO. 41, THENCE RUN SOUTH 16°59' WEST ALONG SAID RIGHT-OF-WAY 217.47 FEET, THENCE RUN SOUTH 74°22'30" EAST, 382.35 FEET, THENCE RUN NORTH 16°59' EAST, 326.37 FEET TO THE POINT OF BEGINNING, BEING AND LYING IN THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-

QUARTER (NW 1/4) OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA.

PARCEL NO. II

BEGIN AT THE SOUTHEAST CORNER OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4), SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, AND RUN SOUTH 88°47'36" WEST, 1826.50 FEET, THENCE NORTH 7°18'36" EAST, 300.00 FEET, THENCE NORTH 13°23'06" EAST, 300.00 FEET, THENCE NORTH 88°47'36" EAST, 200.00 FEET, THENCE NORTH 1°12'24" WEST, 40.00 FEET, THENCE NORTH 15°39'36" EAST, 290.40 FEET, THENCE SOUTH 88°47'36" WEST, 300.00 FEET, THENCE NORTH 15°39'36" EAST, 900.17 FEET, THENCE NORTH 88°30'06" EAST, 109.10 FEET, THENCE NORTH 15°39'36" EAST 295.00 FEET, THENCE SOUTH 88°30'06" WEST, 332.26 FEET, THENCE NORTH 15°39'36" EAST, 600.00 FEET, THENCE NORTH 88°30'06" EAST, 2673.60 FEET, TO THE NORTHEAST CORNER OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, THENCE SOUTH 2°28'00" WEST, 1319.15 FEET, THENCE SOUTH 88°43'45" WEST, 1306.93 FEET, THENCE SOUTH 2°27'30" EAST, 1315.40 FEET TO THE POINT OF BEGINNING.

ALSO:

THAT PORTION OF NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 17 EAST, LYING WEST OF THE CENTERLINE OF NORTHWEST 222ND STREET (SAID STREET IS ALSO DESIGNATED AS SOUTHWEST 17 STREET BY THE CITY OF HIGH SPRINGS, FLORIDA).

LESS AND EXCEPT, THE FOLLOWING DESCRIBED LAND:

A PARCEL OF LAND IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCE AT A RAILROAD SPIKE MARKING THE NORTHWEST CORNER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, THENCE ALONG THE NORTH LINE OF SAID SECTION NORTH 89°20'32" EAST, 1294.69 FEET; THENCE SOUTH 01°30'46" EAST, 50.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF PALM AVENUE (A.K.A. NORTHWEST 174th AVENUE - 100 FOOT RIGHT-OF-WAY), THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 89°20'32" EAST, 1295.12 FEET TO THE POINT OF BEGINNING. THENCE SOUTH 01°18'33" EAST, 5222.70 FEET TO THE SOUTH LINE OF SAID SECTION 11; THENCE ALONG THE SOUTH LINE OF SAID SECTION NORTH 89°24'53" EAST, 1262.51 FEET; THENCE NORTH 00°57'09" WEST, 5274.03 FEET TO A FOUND CONCRETE MONUMENT ON THE NORTH LINE OF SAID SECTION; THENCE ALONG SAID NORTH LINE SOUTH 89°20'32" WEST, 82.39 FEET; THENCE SOUTH 03°31'25" EAST, 50.06 FEET TO THE SAID SOUTH RIGHT-OF-WAY LINE OF PALM AVENUE; THENCE SOUTH 89°20'32" WEST, 1214.84 FEET TO THE POINT OF BEGINNING.



THE ABOVE-DESCRIBED PARCEL CONTAINS 153.424 ACRES, MORE OR LESS.

LESS:

A PARCEL OF LAND IN SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT RAILROAD SPIKE MARKING THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, AND RUN N 89°31'42" E, 37.55 FEET ALONG THE SOUTH LINE OF SAID SECTION 10 TO A CONCRETE MONUMENT WITH A METAL CAP STAMPED P.R.M. 748 AT THE INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NUMBER 41 AND THE POINT OF BEGINNING; THENCE N 89°31'42" E, CONTINUING ALONG SAID SOUTH LINE OF SECTION 10, 1267.65 FEET; THENCE N 89°31'25" E, CONTINUING ALONG SAID SOUTH LINE OF SECTION 10, 1304.71 FEET; THENCE N 89°31'30" E, CONTINUING ALONG SAID SOUTH LINE OF SECTION 10, 144.25 FEET; THENCE N 00°28'43" W, 290.22 FEET TO A POINT ON A NON-TANGENT CURVE TO THE RIGHT, CONCAVE SOUTHWESTERLY, WHOSE RADIAL POINT BEARS S 00°28'43" E, 25.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 49°40'47", AN ARC DISTANCE OF 21.68 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT, CONCAVE WESTERLY, WHOSE RADIAL POINT BEARS N 49°12'04" E, 60.00 FEET; THENCE CIRCULARLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 279°21'34", AN ARC DISTANCE OF 292.55 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT, CONCAVE NORTHWESTERLY, WHOSE RADIAL POINT BEARS N 50°09'30" W, 25.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 49°40'47", AN ARC DISTANCE OF 21.68 FEET TO THE POINT OF TANGENCY; THENCE S 89°31'17" W, 33.57 FEET; THENCE N 00°28'43" W, 512.56 FEET; THENCE N 89°31'17" E, 646.28 FEET; THENCE N 02°08'34" W, 936.02 FEET; THENCE S 89°59'02" W, 592.52 FEET; THENCE N 00°00'58" W, 88.00 FEET; THENCE S 89°59'02" W, 564.66 FEET; THENCE S 05°30'27" E, 124.57 FEET; THENCE S 29°26'06" W, 1048.54 FEET; THENCE N 59°25'14" W, 451.43 FEET; THENCE S 15°32'05" W, 151.29 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°02'41", A DISTANCE OF 86.65 FEET TO THE POINT OF TANGENCY; THENCE S 30°34'46" W, 33.23 FEET; THENCE N 59°25'14" W, 60.00 FEET; THENCE N 30°34'46" E, 33.23 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 270.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°02'41", A DISTANCE OF 70.90 FEET TO THE POINT OF TANGENCY; THENCE N 15°32'05" E, 167.42 FEET; THENCE N 59°25'14" W, 360.10 FEET; THENCE S 89°30'38" W, 896.87 FEET TO A POINT ON SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NUMBER 41, SAID POINT BEING ON A NON-TANGENT CURVE TO THE LEFT, CONCAVE EASTERLY, WHOSE RADIAL POINT BEARS S 84°56'45" E, 2824.79 FEET; THENCE

SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 06°56'19", A DISTANCE OF 342.09 FEET TO THE POINT OF TANGENCY; THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE S 01°53'12" E, 971.78 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 98.375 ACRES, MORE OR LESS, THE SAME BEING ALSO KNOWN AS TILLMAN ACRES PHASE 1, RECORDED IN PLAT BOOK 22, PAGE 82, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

LESS:

A PARCEL OF LAND LYING IN SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST, CITY OF HIGH SPRINGS, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS 2193, PAGE 755, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 17 EAST FOR THE POINT OF REFERENCE; THENCE RUN SOUTH 88°30'06" WEST, ALONG THE LAND LINE, A DISTANCE OF 3073.60 FEET TO THE INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 45 (U.S. HIGHWAY 27/41); THENCE RUN SOUTH 15°39'36" WEST, ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 214.47 FEET TO A 3/4" IRON PIPE (NO IDENTIFICATION) AT THE NORTHWEST CORNER OF THE LANDS DESCRIBED IN O.R. 3064, PAGE 191, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN SOUTH 75°38'24" EAST, ALONG THE NORTH LINE OF SAID LANDS, A DISTANCE OF 382.45 FEET TO A 1" IRON PIPE (NO IDENTIFICATION) AT THE NORTHEAST CORNER OF SAID LANDS AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 75°38'24" EAST, ALONG THE SOUTHEASTERLY EXTENSION OF SAID NORTH LINE, A DISTANCE OF 64.83 FEET TO A 5/8" REBAR & CAP (PLS 6602) AT THE INTERSECTION OF THE WESTERLY EXTENSION OF A FENCE LINE; THENCE RUN SOUTH 85°05'28" EAST, ALONG A FENCE LINE AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 257.22 FEET TO A 5/8" REBAR & CAP (PLS 6602) AT THE INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE EAST LINE OF THE LANDS DESCRIBED IN O.R. BOOK 3118, PAGE 1446, OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 15°38'47" WEST, ALONG THE NORTHEASTERLY EXTENSION, A DISTANCE OF 224.80 FEET TO A 4"X4" CONCRETE MONUMENT AT THE NORTHEAST CORNER OF SAID LANDS; THENCE RUN SOUTH 88°30'06" WEST, ALONG THE NORTH LINE OF SAID LANDS AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 332.41 FEET TO A 4"X4" CONCRETE MONUMENT (RLS 509) AT THE SOUTHEAST CORNER OF THE AFOREMENTIONED LANDS DESCRIBED IN O.R. BOOK 3064, PAGE 191; THENCE RUN NORTH 15°40'59" EAST, ALONG THE EAST LINE OF SAID LANDS, A DISTANCE OF 273.41 FEET TO THE POINT OF BEGINNING.

LESS:



A PARCEL OF LAND LYING AND BEING IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST; THENCE RUN NORTH 89°20'32" EAST, ON THE NORTH LINE OF SAID SECTION 11, A DISTANCE OF 2,589.91 FEET TO THE INTERSECTION WITH THE EAST LINE OF THE EAST ONE-HALF OF THE NORTHWEST ONE-QUARTER (E 1/2 OF NW 1/4) OF SAID SECTION 11; THENCE RUN SOUTH 01°18'33" EAST, ON SAID EAST LINE, A DISTANCE OF 50.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B (N.W. 174TH AVENUE) AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01°18'33" EAST, ON SAID EAST LINE, A DISTANCE OF 900.00 FEET; THENCE RUN SOUTH 89°20'32" WEST, A DISTANCE OF 500.00 FEET; THENCE RUN NORTH 01°18'33" WEST, A DISTANCE OF 900.00 FEET TO THE AFOREMENTIONED SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B (N.W.174TH AVENUE); THENCE NORTH 89°20'32" EAST, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 500.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

A PARCEL OF LAND IN THE EAST ONE-HALF OF THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 17 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 11, THENCE NORTH 89°20'32" EAST ALONG THE NORTH LINE OF SAID SECTION 2,589.91 FEET TO THE INTERSECTION WITH THE EAST LINE OF THE EAST ONE-HALF OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 11; THENCE SOUTH 01°18'33" EAST ALONG SAID EAST LINE, 50.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01°18'33" EAST ALONG SAID EAST LINE 624.04 FEET; THENCE SOUTH 89°20'32" WEST, 158.32 FEET; THENCE NORTH 00°39'28" WEST, 624.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 25-B; THENCE NORTH 89°20'32" EAST ALONG SAID RIGHT-OF-WAY LINE, 151.23 FEET TO THE POINT OF BEGINNING.

LESS:

A PORTION OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA; THENCE RUN NORTH 89 DEG. 46 MIN. 12 SEC. EAST ALONG THE NORTH LINE OF SECTION 14, A DISTANCE OF 3878.29 FEET TO THE CENTERLINE OF NW 222<sup>ND</sup> STREET AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 03 DEG. 57 MIN. 10 SEC. EAST ALONG SAID CENTERLINE, A DISTANCE OF 208.83

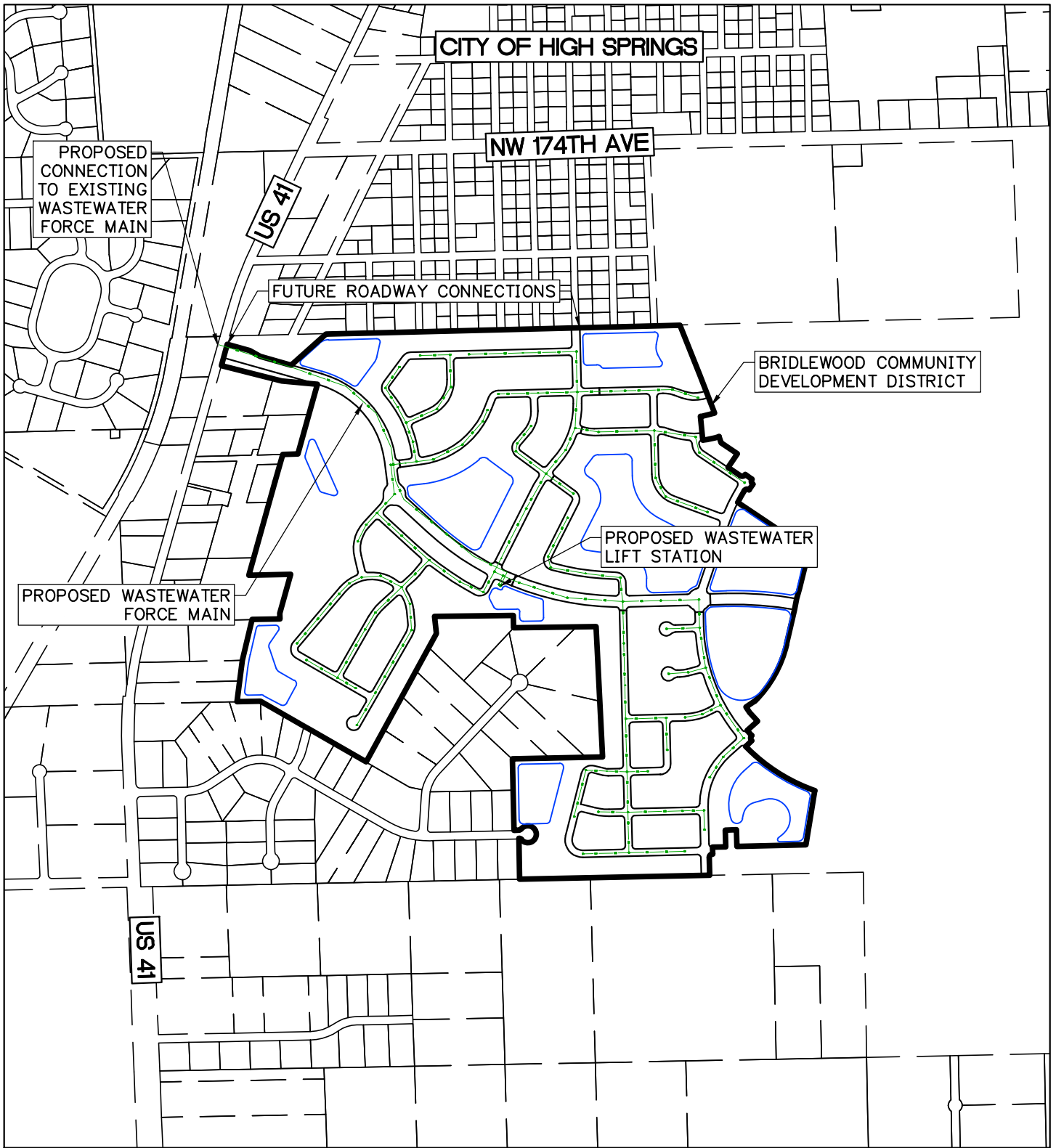
FEET; THENCE DEPARTING SAID CENTERLINE, RUN SOUTH 88 DEG. 46 MIN. 12 SEC. WEST, A DISTANCE OF 238.86 FEET; THENCE RUN NORTH 03 DEG. 57 MIN. 10 SEC. WEST, A DISTANCE OF 208.83 FEET TO SAID NORTH LINE OF SECTION 14; THENCE RUN NORTH 88 DEG. 46 MIN. 12 SEC. EAST ALONG SAID NORTH LINE, A DISTANCE OF 238.86 FEET TO THE CENTERLINE OF NW 222<sup>ND</sup> STREET AND THE POINT OF BEGINNING.

LESS AND EXCEPT THE EAST 30' FOR THE RIGHT-OF-WAY OF NW 222<sup>ND</sup> STREET.







# **EXHIBIT 4**

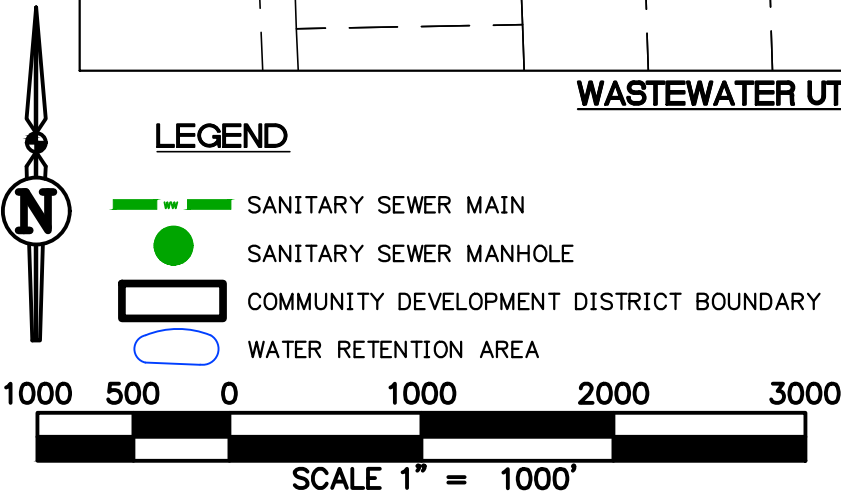
EXHIBIT 6A



**WASTEWATER UTILITIES MAP**

**LEGEND**

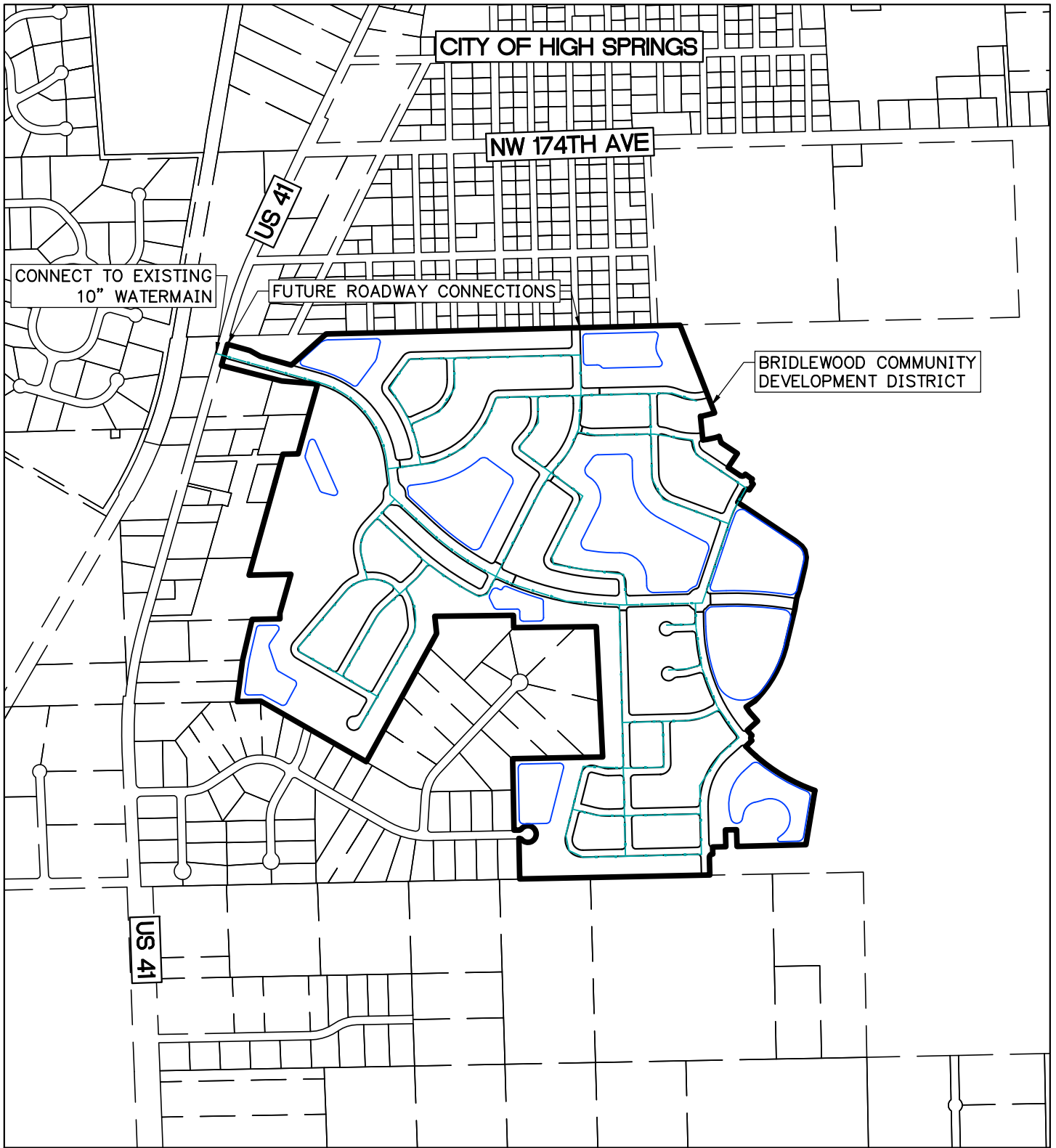
-  SANITARY SEWER MAIN
-  SANITARY SEWER MANHOLE
-  COMMUNITY DEVELOPMENT DISTRICT BOUNDARY
-  WATER RETENTION AREA



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SURVEYING | CONSTRUCTION SERVICES






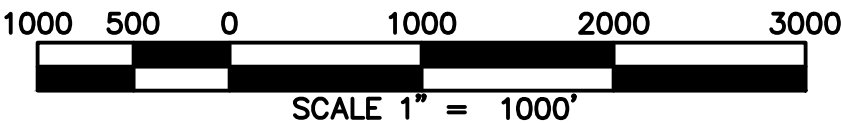
EXHIBIT 6B



POTABLE WATER UTILITIES MAP

LEGEND

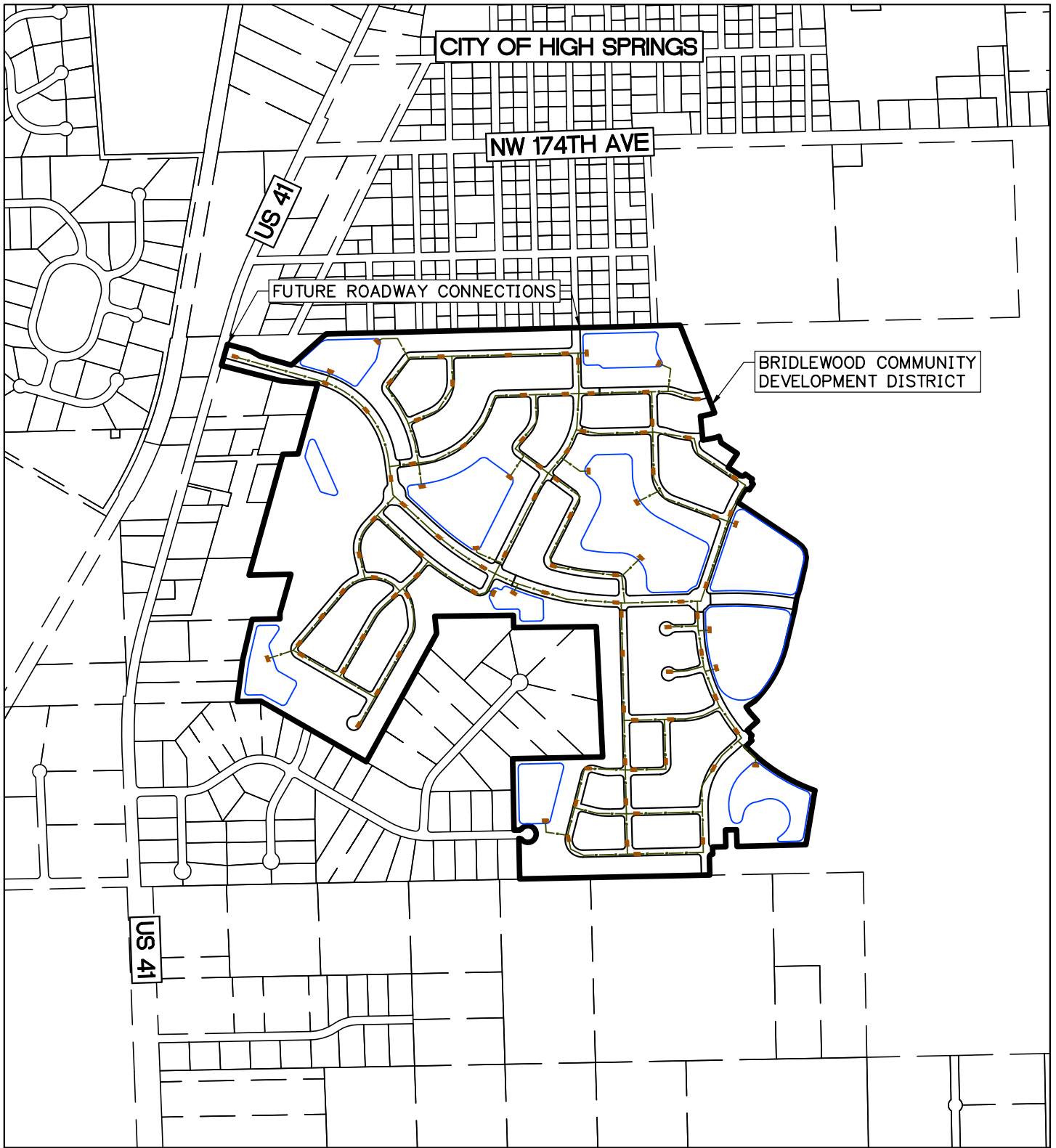
-  POTABLE WATER MAIN
-  COMMUNITY DEVELOPMENT DISTRICT BOUNDARY
-  WATER RETENTION AREA



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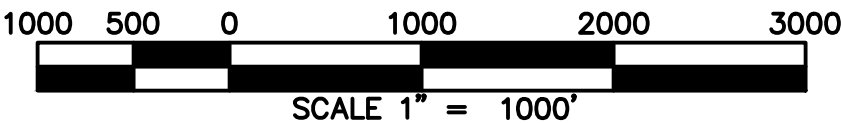
EXHIBIT 6C



DRAINAGE UTILITIES MAP

LEGEND

- ST — STORM SEWER LINE
- STORM SEWER STRUCTURE
- ▭ COMMUNITY DEVELOPMENT DISTRICT BOUNDARY
- WATER RETENTION AREA



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# **EXHIBIT 5**

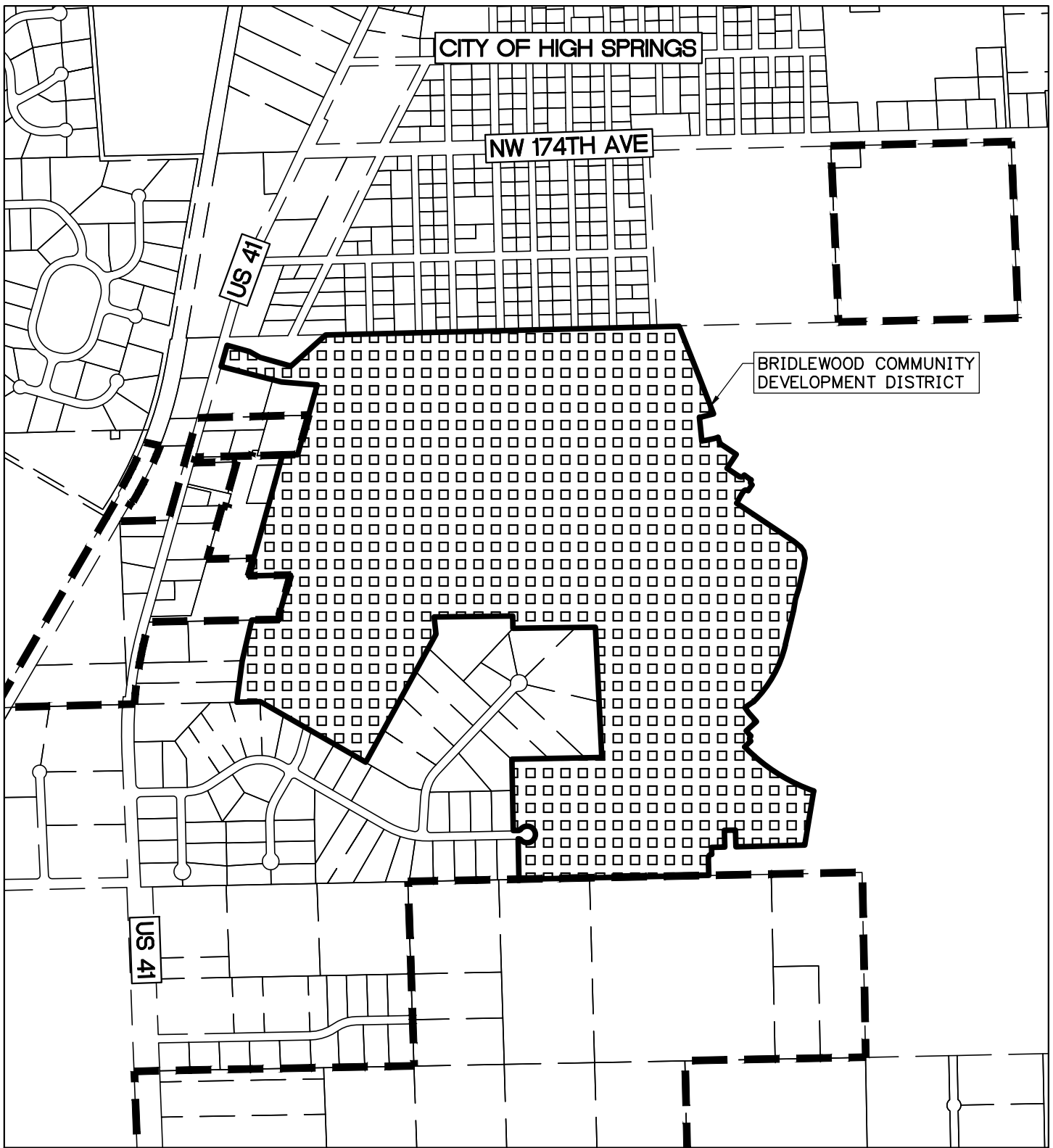
<b>PROPOSED FACILITIES &amp; ESTIMATED COSTS CHART</b>			
<b>Improvement</b>	<b>Estimated Cost</b>	<b>Finance / Construction Entity</b>	<b>Final Owner/Maintenance Entity</b>
Stormwater Management System	\$6,754,451.00	CDD	CDD
Roadways	\$5,699,310.00	CDD	CDD
Potable Water, Wastewater, Reclaim Water Systems	\$13,238,853.00	CDD	City of High Springs
Undergrounding of Conduit	\$1,500,000.00	CDD	CDD
Hardscaping, Landscape, Irrigation	\$3,000,000.00	CDD	CDD
Amenities*	\$3,000,000.00	CDD	
Conservation Areas	\$100,000.00		
Offsite Improvements*	\$400,000.00	CDD	Florida Department of Transportation
Professional Services	\$900,000.00	N/A	N/A
Contingency 10%	\$3,459,261.00	N/A	N/A
<b>TOTAL</b>	<b>\$38,051,875.00</b>		

\* The Developer may alternatively elect to privately finance certain of the improvements above, and have an HOA own and operate such improvements instead of the District.



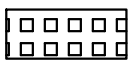
# **EXHIBIT 6**

EXHIBIT 5



LANDUSE MAP

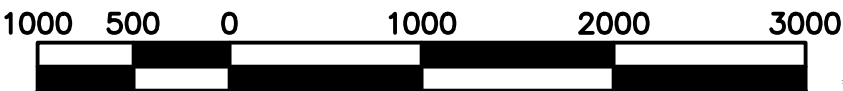
LEGEND



LOW DENSITY RESIDENTIAL



CITY OF HIGH SPRINGS BOUNDARY



SCALE 1" = 1000'

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# **EXHIBIT 7**

# Bridlewood

## COMMUNITY DEVELOPMENT DISTRICT

### Statement of Estimated Regulatory Costs

January 22, 2024



Provided by

***Wrathell, Hunt and Associates, LLC***

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Boca Raton, FL 33431

Phone: 561-571-0010

Fax: 561-571-0013

Website: [www.whhassociates.com](http://www.whhassociates.com)



# **STATEMENT OF ESTIMATED REGULATORY COSTS**

## **1.0 Introduction**

### **1.1 Purpose and Scope**

This Statement of Estimated Regulatory Costs ("SERC") supports the petition to establish the Bridlewood Community Development District ("District") in accordance with the "Uniform Community Development District Act of 1980," Chapter 190, Florida Statutes (the "Act"). The proposed District will comprise approximately 244.80 +/- acres of land located within the City of High Springs, Alachua County, Florida (the "City") and is projected to contain approximately 474 residential dwelling units, which will make up the Bridlewood development ("Project"). The limitations on the scope of this SERC are explicitly set forth in Section 190.002(2)(d), Florida Statutes ("F.S.") (governing the District establishment) as follows:

*"That the process of establishing such a district pursuant to uniform general law be fair and based only on factors material to managing and financing the service delivery function of the district, so that any matter concerning permitting or planning of the development is not material or relevant (emphasis added)."*

### **1.2 Overview of the Bridlewood Community Development District**

The District is designed to provide public infrastructure, services, and facilities, along with operation and maintenance of the same, to a master planned residential development currently anticipated to contain a total of approximately 474 residential dwelling units. Tables 1 and 2 under Section 5.0 detail the improvements and ownership/maintenance responsibilities the proposed District is anticipated to construct, operate and maintain.

A community development district ("CDD") is an independent unit of special purpose local government authorized by the Act to plan, finance, construct, operate and maintain community-wide infrastructure in planned community developments. CDDs provide a "solution to the state's planning, management and financing needs for delivery of capital infrastructure in order to service projected growth without overburdening other governments and their taxpayers." Section 190.002(1)(a), F.S.

A CDD is not a substitute for the local, general purpose government unit, i.e., the city or county in which the CDD lies. A CDD does not have the permitting, zoning or policing powers possessed by general purpose governments. A CDD is an alternative means of financing, constructing, operating and maintaining public infrastructure for developments, such as Bridlewood.

### **1.3 Requirements for Statement of Estimated Regulatory Costs**

Section 120.541(2), F.S., defines the elements a statement of estimated regulatory costs must contain:

(a) An economic analysis showing whether the rule directly or indirectly:

1. Is likely to have an adverse impact on economic growth, private sector job creation or employment, or private sector investment in excess of \$1 million in the aggregate within 5 years after the

implementation of the rule;

2. Is likely to have an adverse impact on business competitiveness, including the ability of persons doing business in the state to compete with persons doing business in other states or domestic markets, productivity, or innovation in excess of \$1 million in the aggregate within 5 years after the implementation of the rule; or

3. Is likely to increase regulatory costs, including any transactional costs, in excess of \$1 million in the aggregate within 5 years after the implementation of the rule.

(b) A good faith estimate of the number of individuals and entities likely to be required to comply with the rule, together with a general description of the types of individuals likely to be affected by the rule.

(c) A good faith estimate of the cost to the agency, and to any other state and local government entities, of implementing and enforcing the proposed rule, and any anticipated effect on state or local revenues.

(d) A good faith estimate of the transactional costs likely to be incurred by individuals and entities, including local government entities, required to comply with the requirements of the rule. As used in this section, "transactional costs" are direct costs that are readily ascertainable based upon standard business practices, and include filing fees, the cost of obtaining a license, the cost of equipment required to be installed or used or procedures required to be employed in complying with the rule, additional operating costs incurred, the cost of monitoring and reporting, and any other costs necessary to comply with the rule.

(e) An analysis of the impact on small businesses as defined by s. 288.703, and an analysis of the impact on small counties and small cities as defined in s. 120.52. The impact analysis for small businesses must include the basis for the agency's decision not to implement alternatives that would reduce adverse impacts on small businesses. (The City of High Springs, according to Census 2020, has a population of 6,215; therefore, it is not defined as a small city for the purposes of this requirement.)

(f) Any additional information that the agency determines may be useful.

(g) In the statement or revised statement, whichever applies, a description of any regulatory alternatives submitted under paragraph (1)(a) and a statement adopting the alternative or a statement of the reasons for rejecting the alternative in favor of the proposed rule.

Note: the references to "rule" in the statutory requirements for the Statement of Estimated Regulatory Costs also apply to an "ordinance" under section 190.005(2)(a), F.S.



- 2.0 An economic analysis showing whether the ordinance directly or indirectly:**
- 1. Is likely to have an adverse impact on economic growth, private sector job creation or employment, or private sector investment in excess of \$1 million in the aggregate within 5 years after the implementation of the ordinance;**
  - 2. Is likely to have an adverse impact on business competitiveness, including the ability of persons doing business in the state to compete with persons doing business in other states or domestic markets, productivity, or innovation in excess of \$1 million in the aggregate within 5 years after the implementation of the ordinance; or**
  - 3. Is likely to increase regulatory costs, including any transactional costs, in excess of \$1 million in the aggregate within 5 years after the implementation of the ordinance.**

The ordinance establishing the District is not anticipated to have any direct or indirect adverse impact on economic growth, private sector job creation or employment, private sector investment, business competitiveness, ability of persons doing business in the state to compete with persons doing business in other states or domestic markets, productivity, or innovation. Any increases in regulatory costs, principally the anticipated increases in transactional costs as a result of imposition of special assessments by the District will be the direct result of facilities and services provided by the District to the landowners within the District. However, as property ownership in the District is voluntary and all additional costs will be disclosed to prospective buyers prior to sale, such increases should be considered voluntary, self-imposed and offset by benefits received from the infrastructure and services provided by the District.

**2.1 Impact on economic growth, private sector job creation or employment, or private sector investment in excess of \$1 million in the aggregate within 5 years after the implementation of the ordinance.**

The purpose for establishment of the District is to provide public facilities and services to support the development of a new, master planned residential development. The development of the approximately 244.80 +/- acres anticipated to be within the District will promote local economic activity, create local value, lead to local private sector investment and is likely to result in local private sector employment and/or local job creation.

Establishment of the District will allow a systematic method to plan, fund, implement, operate and maintain, for the benefit of the landowners within the District, various public facilities and services. Such facilities and services, as further described in Section 5, will allow for the development of the land within the District. The provision of District's infrastructure and the subsequent development of land will generate private economic activity, economic growth, investment and employment, and job creation. The District intends to use proceeds of indebtedness to fund construction of public infrastructure, which will be constructed by private firms, and once constructed, is likely to use private firms to operate and maintain such infrastructure and provide services to the landowners and residents of the District. The private developer of the land in the District will use its private funds to conduct the private land development and construction of an anticipated approximately 474 residential dwelling units, the construction, sale, and continued use/maintenance of which will involve private firms. While similar economic growth, private sector job creation or employment, or private sector investment could be achieved in absence of the District by the private sector alone, the fact that the establishment of the District is initiated by the private developer means that the private developer considers the establishment and continued operation of the District as beneficial to the process of land development and the future economic activity taking place within the District, which in turn will lead directly or indirectly to economic growth, likely private sector job growth and/or support private

sector employment, and private sector investments.

**2.2 Impact on business competitiveness, including the ability of persons doing business in the state to compete with persons doing business in other states or domestic markets, productivity, or innovation in excess of \$1 million in the aggregate within 5 years after the implementation of the ordinance.**

When assessing the question of whether the establishment of the District is likely to directly or indirectly have an adverse impact on business competitiveness, including the ability of persons doing business in the state to compete with persons doing business in other states or domestic markets, productivity, or innovation, one has to compare these factors in the presence and in the absence of the District in the development. When the question is phrased in this manner, it can be surmised that the establishment of the District is likely to not have a direct or indirect adverse impact on business competitiveness, productivity, or innovation versus that same development without the District. Similar to a purely private solution, District contracts will be bid competitively as to achieve the lowest cost/best value for the particular infrastructure or services desired by the landowners, which will ensure that contractors wishing to bid for such contracts will have to demonstrate to the District the most optimal mix of cost, productivity and innovation. Additionally, the establishment of the District for the development is not likely to cause the award of the contracts to favor non-local providers any more than if there was no District. The District, in its purchasing decisions, will not vary from the same principles of cost, productivity and innovation that guide private enterprise.

**2.3 Likelihood of an increase in regulatory costs, including any transactional costs, in excess of \$1 million in the aggregate within 5 years after the implementation of the ordinance.**

The establishment of the District will not increase any regulatory costs of the State by virtue that the District will be one of many already existing similar districts within the State. As described in more detail in Section 4, the proposed District will pay a one-time filing fee to the City to offset any expenses that the City may incur in holding a local public hearing on the petition. Similarly, the proposed District will pay annually the required Special District Filing Fee, which fee is meant to offset any State costs related to its oversight of all special districts in the State.

The establishment of the District will, however, directly increase regulatory costs to the landowners within the District. Such increases in regulatory costs, principally the anticipated increases in transactional costs as a result of likely imposition of special assessments and use fees by the District, will be the direct result of facilities and services provided by the District to the landowners within the District. However, as property ownership in the District is completely voluntary, all current property owners must consent to the establishment of the District and all initial prospective buyers will have such additional transaction costs disclosed to them prior to sale, as required by State law. Such costs, however, should be considered voluntary, self-imposed, and as a tradeoff for the enhanced service and facilities provided by the District.

The District will incur overall operational costs related to services for infrastructure maintenance, landscaping, amenity operation and similar items. In the initial stages of development, the costs will likely be minimized. These operating costs will be funded by the landowners through direct funding agreements or special assessments levied by the District. Similarly, the District may incur costs associated with the issuance and repayment of special assessment revenue bonds. While these costs in the aggregate may approach the stated threshold over a five-year period, this would not be unusual for a Project of this nature and the infrastructure and services proposed to be provided by the District will



be needed to serve the Project regardless of the existence of the District. Thus, the District-related costs are not additional development costs. Due to the relatively low cost of financing available to CDDs, due to the tax-exempt nature of CDD debt, certain improvements can be provided more efficiently by the District than by alternative entities. Furthermore, it is important to remember that such costs would be funded through special assessments paid by landowners within the District, and would not be a burden on the taxpayers outside the District nor can the District debt be a debt of the City or the State.

**3.0 A good faith estimate of the number of individuals and entities likely to be required to comply with the ordinance, together with a general description of the types of individuals likely to be affected by the ordinance.**

The individuals and entities likely to be required to comply with the ordinance or affected by the proposed action (i.e., adoption of the ordinance) can be categorized, as follows: 1) The State of Florida and its residents, 2) The City of High Springs and its residents, 3) current property owners, and 4) future property owners.

a. The State of Florida

The State of Florida and its residents and general population will not incur any compliance costs related to the establishment and on-going administration of the District, and will only be affected to the extent that the State incurs those nominal administrative costs outlined herein. The cost of any additional administrative services provided by the State as a result of this project will be incurred whether the infrastructure is financed through a CDD or any alternative financing method.

b. The City of High Springs, Florida

The City and its residents not residing within the boundaries of the District will not incur any compliance costs related to the establishment and on-going administration of the District other than any one-time administrative costs outlined herein, which will be offset by the filing fee submitted to the City. Once the District is established, these residents will not be affected by adoption of the ordinance. The cost of any additional administrative services provided by the City as a result of this development will be incurred whether the infrastructure is financed through the District or any alternative financing method.

c. Current Property Owners

The current property owners of the lands within the proposed District boundaries will be affected to the extent that the District allocates debt for the construction of infrastructure and undertakes operation and maintenance responsibility for that infrastructure.

d. Future Property Owners

The future property owners are those who will own property in the proposed District. These future property owners will be affected to the extent that the District allocates debt for the construction of infrastructure and undertakes operation and maintenance responsibility for that infrastructure.

The proposed District will serve land that comprises an approximately 244.80 +/- acre master planned residential development currently anticipated to contain a total of approximately 474 residential

dwelling units, although the development plan can change. Assuming an average density of 3.5 persons per residential dwelling unit, the estimated residential population of the proposed District at build out would be approximately 924 +/- and all of these residents as well as the landowners within the District will be affected by the ordinance. The City, the proposed District and certain state agencies will also be affected by or required to comply with the ordinance as more fully discussed hereafter.

#### **4.0 A good faith estimate of the cost to the agency, and to any other state and local government entities, of implementing and enforcing the proposed ordinance, and any anticipated effect on state or local revenues.**

The City is establishing the District by ordinance in accordance with the Act and, therefore, there is no anticipated effect on state or local revenues.

#### **4.1 Costs to Governmental Agencies of Implementing and Enforcing Ordinance**

Because the result of adopting the ordinance is the establishment of an independent local special purpose government, there will be no significant enforcing responsibilities of any other government entity, but there will be various implementing responsibilities which are identified with their costs herein.

##### State Governmental Entities

The cost to state entities to review or enforce the proposed ordinance will be very modest. The District comprises less than 2,500 acres and is located within the boundaries of The City of High Springs. Therefore, the City (and not the Florida Land and Water Adjudicatory Commission) will review and act upon the Petition to establish the District, in accordance with Section 190.005(2), F.S. There are minimal additional ongoing costs to various state entities to implement and enforce the proposed ordinance. The costs to various state entities to implement and enforce the proposed ordinance relate strictly to the receipt and processing of various reports that the District is required to file with the State and its various entities. Appendix A lists the reporting requirements. The costs to those state agencies that will receive and process the District's reports are minimal because the District is only one of many governmental units that are required to submit the various reports. Therefore, the marginal cost of processing one additional set of reports is inconsequential. Additionally, pursuant to section 189.064, F.S., the District must pay an annual fee to the State of Florida Department of Economic Opportunity which offsets such costs.

##### City of High Springs, Florida

The proposed land for the District is located within The City of High Springs, Florida and consists of less than 2,500 acres. The City and its staff may process, analyze, conduct a public hearing, and vote upon the petition to establish the District. These activities will absorb some resources; however, these costs incurred by the City will be modest for a number of reasons. First, review of the petition to establish the District does not include analysis of the project itself. Second, the petition itself provides most, if not all, of the information needed for a staff review. Third, the City already possesses the staff needed to conduct the review without the need for new staff. Fourth, there is no capital required to review the petition. Fifth, the potential costs are offset by a filing fee included with the petition to offset any expenses the City may incur in the processing of this petition. Finally, the City already processes similar petitions, though for entirely different subjects, for land uses and zoning changes that are far more complex than the petition to establish a community development district.



The annual costs to the City, because of the establishment of the District, are also very small. The District is an independent unit of local government. The only annual costs the City faces are the minimal costs of receiving and reviewing the reports that the District is required to provide to the City, or any monitoring expenses the City may incur if it establishes a monitoring program for governmental entities.

#### **4.2 Impact on State and Local Revenues**

Adoption of the proposed ordinance will have no negative impact on state or local revenues. A CDD is an independent unit of local government. It is designed to provide infrastructure facilities and services to serve the development project and it has its own sources of revenue. No state or local subsidies are required or expected.

Any non-ad valorem assessments levied by the District will not count against any millage caps imposed on other taxing authorities providing services to the lands within the District. It is also important to note that any debt obligations the District may incur are not debts of the State of Florida or any other unit of local government, including the City. By Florida law, debts of the District are strictly its own responsibility.

#### **5.0 A good faith estimate of the transactional costs likely to be incurred by individuals and entities, including local government entities, required to comply with the requirements of the ordinance.**

Table 1 provides an outline of the various facilities and services the proposed District may provide. Financing for these facilities is projected to be provided by the District.

Table 2 illustrates the estimated costs of construction of the capital facilities, outlined in Table 1. Total costs of construction for those facilities that may be provided are estimated to be approximately \$38,051,875.00. The District may levy non-ad valorem special assessments (by a variety of names) and may issue special assessment bonds to fund the costs of these facilities. These bonds would be repaid through non-ad valorem special assessments levied on all developable properties in the District that may benefit from the District's infrastructure program as outlined in Table 2.

Prospective future landowners in the proposed District may be required to pay non-ad valorem special assessments levied by the District to provide for facilities and secure any debt incurred through bond issuance. In addition to the levy of non-ad valorem special assessments which may be used for debt service, the District may also levy a non-ad valorem assessment to fund the operations and maintenance of the District and its facilities and services. However, purchasing a property within the District or locating in the District by new residents is completely voluntary, so, ultimately, all landowners and residents of the affected property choose to accept the non-ad valorem assessments as a tradeoff for the services and facilities that the District will provide. In addition, state law requires all assessments levied by the District to be disclosed by the initial seller to all prospective purchasers of property within the District.

**Table 1**

**BRIDLEWOOD COMMUNITY DEVELOPMENT DISTRICT**  
**Proposed Facilities and Services**

<b>FACILITY</b>	<b>FUNDED BY</b>	<b>OWNED BY</b>	<b>MAINTAINED BY</b>
Stormwater Management System	CDD	CDD	CDD
Roadways	CDD	CDD	CDD
Water & Wastewater Systems	CDD	CDD	City
Undergrounding of Conduit	CDD	CDD	CDD
Hardscaping, Landscape, Irrigation	CDD	CDD	CDD
Conservation Areas	CDD	CDD	CDD
Off-site Improvements	CDD	CDD	FDOT

A CDD provides the property owners with an alternative mechanism of providing public services; however, special assessments and other impositions levied by the District and collected by law represent the transactional costs incurred by landowners as a result of the establishment of the District. Such transactional costs should be considered in terms of costs likely to be incurred under alternative public and private mechanisms of service provision, such as other independent special districts, the City or its dependent districts, or city management but financing with municipal service benefit units and municipal service taxing units, or private entities, all of which can be grouped into three major categories: public district, public other, and private.

**Table 2**

**BRIDLEWOOD COMMUNITY DEVELOPMENT DISTRICT**  
**Estimated Costs of Construction**

<b>CATEGORY</b>	<b>COST</b>
Stormwater Management System	\$6,754,451.00
Roadways	\$5,699,310.00
Potable Water, Wastewater, Reclaim Water Systems	\$13,238,853.00
Undergrounding of Conduit	\$1,500,000.00
Hardscaping, Landscape, Irrigation	\$3,000,000.00
Amenities	\$3,000,000.00
Conservation Areas	\$100,000.00
Off-site Improvements	\$400,000.00
Professional Services	\$900,000.00
Contingency	\$3,459,261.00
<b>Total</b>	<b>\$38,051,875.00</b>

With regard to the public services delivery, dependent and other independent special districts can be used to manage the provision of infrastructure and services, however, they are limited in the types of services they can provide, and likely it would be necessary to employ more than one district to provide all services needed by the development.



Other public entities, such as counties, are also capable of providing services, however, their costs in connection with the new services and infrastructure required by the new development and, transaction costs, would be borne by all taxpayers, unduly burdening existing taxpayers. Additionally, other public entities providing services would also be inconsistent with the State's policy of "growth paying for growth".

Lastly, services and improvements could be provided by private entities. However, their interests are primarily to earn short-term profits and there is no public accountability. The marginal benefits of tax-exempt financing utilizing CDDs would cause the CDD to utilize its lower transactional costs to enhance the quality of infrastructure and services.

In considering transactional costs of CDDs, it shall be noted that occupants of the lands to be included within the District will receive three major classes of benefits.

First, those residents in the District will receive a higher level of public services which in most instances will be sustained over longer periods of time than would otherwise be the case.

Second, a CDD is a mechanism for assuring that the public services will be completed concurrently with development of lands within the development. This satisfies the revised growth management legislation, and it assures that growth pays for itself without undue burden on other consumers. Establishment of the District will ensure that these landowners pay for the provision of facilities, services and improvements to these lands.

Third, a CDD is the sole form of local governance which is specifically established to provide CDD landowners with planning, construction, implementation and short and long-term maintenance of public infrastructure at sustained levels of service.

The cost impact on the ultimate landowners in the development is not the total cost for the District to provide infrastructure services and facilities. Instead, it is the incremental costs above, if applicable, what the landowners would have paid to install infrastructure via an alternative financing mechanism.

Consequently, a CDD provides property owners with the option of having higher levels of facilities and services financed through self-imposed revenue. The District is an alternative means to manage necessary development of infrastructure and services with related financing powers. District management is no more expensive, and often less expensive, than the alternatives of various public and private sources.

## **6.0 An analysis of the impact on small businesses as defined by Section 288.703, F.S., and an analysis of the impact on small counties and small cities as defined by Section 120.52, F.S.**

There will be little impact on small businesses because of the establishment of the District. If anything, the impact may be positive because the District must competitively bid all of its contracts and competitively negotiate all of its contracts with consultants over statutory thresholds. This affords small businesses the opportunity to bid on District work.

The City of High Springs has a population of 6,215 according to the Census 2020 conducted by the United States Census Bureau and is therefore not defined as a "small" city according to Section 120.52, F.S. It can be reasonably expected that the establishment of community development district for the Bridlewood development will not produce any marginal effects that would be different from those that would have occurred if the Bridlewood development was developed without a community

development district established by the City.

## **7.0 Any additional useful information.**

The analysis provided above is based on a straightforward application of economic theory, especially as it relates to tracking the incidence of regulatory costs and benefits. Inputs were received from the Petitioner's Engineer and other professionals associated with the Petitioner.

In relation to the question of whether the proposed Bridlewood Community Development District is the best possible alternative to provide public facilities and services to the project, there are several additional factors which bear importance. As an alternative to an independent district, the City could establish a dependent district for the area or establish an MSBU or MSTU. Either of these alternatives could finance the improvements contemplated in Tables 1 and 2 in a fashion similar to the proposed District.

There are a number of reasons why a dependent district is not the best alternative for providing public facilities and services to the Bridlewood development. First, unlike a CDD, this alternative would require the City to administer the project and its facilities and services. As a result, the costs for these services and facilities would not be directly and wholly attributed to the land directly benefiting from them, as the case would be with a CDD. Administering a project of the size and complexity of the development program anticipated for the Bridlewood development is a significant and expensive undertaking.

Second, a CDD is preferable from a government accountability perspective. With a CDD, residents and landowners in the District would have a focused unit of government ultimately under their direct control. The CDD can then be more responsive to resident needs without disrupting other city responsibilities. By contrast, if the City were to establish and administer a dependent special district, then the residents and landowners of the Bridlewood development would take their grievances and desires to the City Commission meetings.

Third, any debt of an independent CDD is strictly that CDD's responsibility. While it may be technically true that the debt of a city-established, dependent special district is not strictly the City's responsibility, any financial problems that a dependent special district may have may reflect on the City. This will not be the case if a CDD is established.

Another alternative to a CDD would be for a Property Owners' Association (POA) to provide the infrastructure as well as operations and maintenance of public facilities and services. A CDD is superior to a POA for a variety of reasons. First, unlike a POA, a CDD can obtain low-cost financing from the municipal capital market. Second, as a government entity a CDD can impose and collect its assessments along with other property taxes on the City's real estate tax bill. Therefore, the District is far more assured of obtaining its needed funds than is a POA. Third, the proposed District is a unit of local government. This provides a higher level of transparency, oversight and accountability and the CDD has the ability to enter into interlocal agreements with other units of government.

## **8.0 A description of any regulatory alternatives submitted under section 120.541(1)(a), F.S., and a statement adopting the alternative or a statement of the reasons for rejecting the alternative in favor of the proposed ordinance.**

No written proposal, statement adopting an alternative or statement of the reasons for rejecting an alternative have been submitted.



Based upon the information provided herein, this Statement of Estimated Regulatory Costs supports the petition to establish the Bridlewood Community Development District.

**APPENDIX A**  
**LIST OF REPORTING REQUIREMENTS**

<b>REPORT</b>	<b>FL. STATUE CITATION</b>	<b>DATE</b>
Annual Financial Audit	190.008/218.39	9 months after end of Fiscal Year
Annual Financial Report	190.008/218.32	45 days after the completion of the Annual Financial Audit but no more than 9 months after end of Fiscal Year
TRIM Compliance Report	200.068	no later than 30 days following the adoption of the property tax levy ordinance/resolution (if levying property taxes)
Form 1 - Statement of Financial Interest	112.3145	within 30 days of accepting the appointment, then every year thereafter by 7/1 (by "local officers" appointed to special district's board); during the qualifying period, then every year thereafter by 7/1 (by "local officers" elected to special district's board)
Public Facilities Report	189.08	within one year of special district's creation; then annual notice of any changes; and updated report every 7 years, 12 months prior to submission of local government's evaluation and appraisal report
Public Meetings Schedule	189.015	quarterly, semiannually, or annually
Bond Report	218.38	when issued; within 120 days after delivery of bonds
Registered Agent	189.014	within 30 days after first meeting of governing board
Proposed Budget	190.008	annually by June 15
Adopted Budget	190.008	annually by October 1
Public Depositor Report	280.17	annually by November 30
Notice of Establishment	190.0485	within 30 days after the effective date of an ordinance establishing the District
Notice of Public Financing	190.009	file disclosure documents in the property records of the City after financing



# **EXHIBIT 8**

## AUTHORIZATION OF AGENT

This letter shall serve as a designation of Jere Earlywine and Bennett Davenport of Kutak Rock LLP, to act as agents for Petitioner, **Bridlewood of High Springs, LLC**, with regard to any and all matters pertaining to the Petition to the City Commission of the City of High Springs, Florida, to Establish the Bridlewood Community Development District pursuant to the "Uniform Community Development District Act of 1980," Chapter 190, *Florida Statutes*, Section 190.156(1), *Florida Statutes*. This authorization shall remain in effect until revoked in writing.

Witnessed:

Print Name:

Address: 5150 Tamiami Trail North  
Naples, FL 34103

Print Name:

Address: 5150 Tamiami Trail North  
Naples, FL 34103

**BRIDLEWOOD OF HIGH SPRINGS, LLC**  
**PETITIONER**

By:

Its: Manager

STATE OF Florida

COUNTY OF Collier

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 20 day of January, 2024, by Michael Lanteta, as Manager of Bridlewood of High Springs, LLC, on its behalf. He ☒ is personally known to me or ☐ produced \_\_\_\_\_ as identification.

Notary Public, State of Florida

