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High Springs, Florida 32643



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**HIGH SPRINGS
PLAN BOARD MEETING
MINUTES
May 25, 2021**

Meeting called to order by Chair Alderman at 6:30PM.
Pledge of Allegiance: Chair Alderman

ROLL CALL PLAN BOARD:

Chair Donald Alderman - Present
Vice-Chair Ronald Wilson - Present
Member Eyvonne Andrews - Present
Member Michael Kearney - Present
Member Bradley Riddle - Present

STAFF PRESENT:

Ashley Stathatos, City Manager
Scott Walker, City Attorney
Kevin Mangan, Public Information Officer
Kristyn Adkins, Planning Assistant

APPROVAL OF MINUTES

Motion Member Kearney to approve the May 11, 2021, minutes as presented.
Second Member Riddle.
Motion carried 5-0.

BUSINESS ITEM

1. MEMORIAL PARK REZONING – PB/LPA Z 21-01

City staff gave a summary of the project: rezoning of Memorial Park from R1 to Public/Semi-Public. There were no comments or questions received.

Motion Member Kearney to approve.
Second Member Wilson.
Motion carried 5-0.

2. ALLOWABLE USES TABLE AMENDMENT – LDC 21-05

City staff presented the changes via a presentation.

Member Kearney commented on drive-throughs within the City.

Ashley Stathatos explained that our comprehensive plan is changing now, and that the land development code is next, but it cannot wait.

Member Wilson asked what needed to be changed in it. Ms. Stathatos stated the following: tree preservation, signage, commercial and architectural guidelines, residential guidelines, zoning is inadequate, and that there are too many conflicts in the LDC making it difficult to administer. She stated we wanted to make it easier for others to understand.

Chair Alderman commented on air BNBs.

Ms. Stathatos stated that staff needs to look more into the issue due to statutes not letting us regulate as much unless we had something already in place in code.

Member Kearney stated he has spoke to Bruce Gillingham over the years regarding air bnbs not meeting proper fire code, not having inspections, etc.

Ms. Stathatos stated we do not have anything in code to regulate them. The County is starting a registration program for long-term/short-term. She agrees with Member Kearney that they should be inspected if people are staying in them. She further stated that we don't know whether we would want to piggyback off of the County's potential program, or start our own. This would require dedicated staff personnel and significant time. With the new budget process we could look into it to see if it's feasible. If we had the County do it for us we wouldn't want to be tied into it being theirs forever. Furthermore, we do not want it to negatively impact historic homes. She stated there are pluses and minuses to it.

Member Kearney stated you have to pay County tax for running an air bnb.

Ms. Stathatos stated that a lot of the time it is hard to tell when people are running them, and enforce it.

Member Wilson asked if the air bnb violates a code can we shut them down?

Ms. Stathatos responded that we would have to have something in code/a rental program. We want to adopt the international property maintenance code. Rental registration would require inspections yearly.

Chair Alderman brought up the potential issue of an air bnb by a school that anyone could rent, even those not allowed to reside near schools.

Member Kearney brought up the issue of sheds/RVs as air bnbs and that they need inspections from a safety standpoint.

Chair Alderman stated there are life safety standards and that air bnbs are outside of these regulations right now. He stated air bnb is vague on purpose so you can't track them down to enforce rules.

Member Kearney stated there was no way to check fire alarms, carbon monoxide alarms, etc.

Ms. Stathatos stated that we would need to talk to the attorneys to make sure we are in compliance with statute.

No further comments or questions.

Motion Member Riddle to approve.

Second Member Kearney.

Member Andrews stated she had issues with the mobile homes change and will vote against.

Motion carried 4-1, Member Andrews against.

Chair Alderman asked when we would resume in person meetings. Ms. Stathatos stated that we would need the elevator working in order to do that.

Member Andrews commented regarding handicap accessibility.

Ms. Stathatos responded that we have the potential to use the old school in the meantime, and that we keep fixing the elevator but then it breaks down again.

Member Andrews stated it had been a problem for years.

Ms. Stathatos stated she would talk to Paul Stressing regarding the issue.

3. FOOD TRUCK ORDINANCE – LDC 21-04

City staff gave an overview of the project. Stated that a 'food truck park' is only a portion of this ordinance. She stated that they are a heavy use that impacts adjoining neighborhoods, and that site plans must be reviewed – parking spaces, restrooms, etc. The ordinance outlines what is needed.

Member Kearney commented on private owners with food trucks.

Member Wilson commented on the Brewery, which has food trucks.

Ms. Stathatos stated they can do special events, just not all the time.

Member Kearney commented on food trucks being set up on their own property that meet requirements.

Ms. Stathatos stated there are requirements – that they can be on site up to 4 days a week, no more than 3 consecutive days. They cannot have a food truck out there all the time.

Attorney Scott Walker explained that we can no longer permit food trucks because it runs through the state department of agriculture. Local governments can still govern where they can be placed. It allows for individual food trucks, and food truck parks.

No further discussion from Plan Board, or public.

Motion Member Kearney to approve.

Second Member Riddle.

Motion

There were no additional public comments.

Motion carried 3-2, Member Wilson and Member Andrews against.

Member Andrews motion to adjourn Plan Board Meeting and move on to Historic Board.

Meeting adjourned at 7:07PM.

SHOWN HEREON WERE TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY CHW,

2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.

6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY THE CITY OF HIGH SPRINGS ENVIRONMENTAL PROTECTION DEPARTMENT PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.

OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.

18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.

20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2020-21 ROAD CONSTRUCTION) AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JULY 2020, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.

22. ALL STRIPING WITHIN THE COUNTY RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.

24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.

27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 2018 EDITION, SECTION 120.

29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

MAINTENANCE OF TRAFFIC (MOT) NOTES

I. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS

**S RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY T
WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROA**

2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. NO ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL

2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.

5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY

WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:

A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SEED SHALL BE PLACED AS CLOSE AS POSSIBLE ON ALL SLOPES STEEPER THAN 1:1 (2% HORIZONTAL TO 1% VERTICAL).

NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.

C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, THE FACILITIES BOTTOM SHALL BE OVER-EXCAVATED BY THREE FEET, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.

F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM

2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.

4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.

6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.

8. AS DETERMINED NECESSARY AND DIRECTED BY THE CITY OF HIGH SPRINGS STAFF OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX 120-001 AND 120-002.

11. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.

14. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY FDOT INDEX 524-001 AND FDOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDING AND MULCHED.

17. ALL HDPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.

services not provided to children or youth with mental health needs identified with respect to the child protection system. For

AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES FOR THE ELECTRICAL DESIGN AND DETAILS.

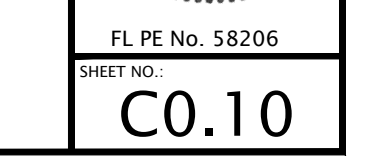
2. ELECTRIC DESIGN PROVIDED BY CLAY ELECTRIC.

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N/A	<p>VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING</p> <p>IF NOT ONE INCH ON THIS SHEET, ADJUST</p>
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02/16/21 - CITY OF HIGH SPRINGS, FDEP, AND SRWMD
05/25/21 - SJRWMD
07/14/21 - CITY OF HIGH SPRINGS

FL PE No. 58206
 EXPIRATION DATE: 07/21/2021
 C0.10



ABBREVIATIONS

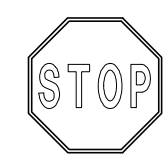
SYMBOLS		N	
'	FEET (WHEN USED WITH LENGTHS)	N	NORTH
°	DEGREES	N-E	NORTHING - EASTING
'	MINUTES (WHEN USED WITH ANGLES)	N/A	NOT APPLICABLE
"	SECONDS	NAVD	NORTH AMERICAN VERTICAL DATUM OF 1988
%	PERCENT	NGVD	NATIONAL GEODETIC VERTICAL DATUM OF 1929
@	AT	NO	NUMBER
		NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
		NTS	NOT TO SCALE
A	ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	O	ON CENTER
AC	ACRES	OHW	OVERHEAD WIRE
ADA	AMERICAN WITH DISABILITIES ACT	ORB	OFFICIAL RECORDS BOOK
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ARCH	ARCHITECT		
ARV	AIR RELEASE VALVE	P	PAVEMENT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	PAVT	PAVEMENT
AWWA	AMERICAN WATER WORKS ASSOCIATION	PC	POINT OF CURVATURE
		PCC	POINT OF COMPOUND CURVE
BC	BACK OF CURB	PERF	PERFORATED
BFP	BACKFLOW PREVENTER	PROP	PROPOSED
BLDG	BUILDING	PT	POINT OF TANGENCY
BM	BENCHMARK	PVC	POLYVINYL CHLORIDE
BMP	BEST MANAGEMENT PRACTICE	PVI	POINT OF VERTICAL INTERSECTION
BOC	BACK OF CURB		
BVCS	BEGIN VERTICAL CURVE STATION	R	RADIUS
BVCE	BEGIN VERTICAL CURVE ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	BOTTOM OF WALL	RPM	RAISED REFLECTIVE PAVEMENT MARKER
BSL	BUILDING SETBACK LINE	RPZ	REDUCED PRESSURE ZONE
		RT	RIGHT
		R/W	RECLAIMED WATER MAIN
		R/W	RIGHT-OF-WAY
		S	SOUTH
C	CABLE TELEVISION	SAN	SANITARY
CI	CURB INLET	SHWE	SEASONAL HIGH WATER ELEVATION
CIP	CAST IRON PIPE	SL	SLOPE
CMP	CORRUGATED METAL PIPE	SP	SUPERPAVE
CO	CLEANOUT	SR	STATE ROAD
CONC	CONCRETE	SS	SANITARY SEWER
COORD	COORDINATE	ST	STORM
CR	COUNTY ROAD	STA	STATION
C/O	CLEANOUT	STD	STANDARD
D	DIAMETER AT BREAST HEIGHT	T	TEMPORARY CONSTRUCTION EASEMENT
DBH	DIAMETER AT BREAST HEIGHT	TEMP	TEMPORARY
DE	DRAINAGE EASEMENT	TOB	TOP OF BANK
DEG	DEGREE	TV	TELEVISION
DIA	DIAMETER	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	TYP	TYPICAL
DWG	DRAWING		
		U	UNITED STATES FOUNDRY
E	RATE OF ELEVATION	USF	UNITED STATES FOUNDRY
EA	EACH	USGS	UNITED STATES GEOLOGICAL SURVEY
EL	ELEVATION	UTIL	UTILITY
ELEV	ELEVATION		
EOP	EDGE OF PAVEMENT	V	VERTICAL
EOR	ENGINEER OF RECORD	VC	VERTICAL CURVE
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	VCP	VITRIFIED CLAY PIPE
ESMT	EASEMENT		
EVCS	END VERTICAL CURVE STATION	W	WEST
EVCE	END VERTICAL CURVE ELEVATION	W	WATER
EX	EXISTING	W/	WITH
		WM	WATER MAIN
F	FLORIDA ADMINISTRATIVE CODE	WW	WASTEWATER
FAC	FLORIDA ADMINISTRATIVE CODE	WWF	WELDED WIRE FABRIC
FBR	FLORIDA BEARING RATIO		
FC	FRICTION COURSE		
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION		
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION		
FFE	FINISHED FLOOR ELEVATION		
FH	FIRE HYDRANT		
FHWA	FLORIDA HIGHWAY ADMINISTRATION		
FIG	FIGURE		
FM	FORCE MAIN		
FOC	FACE OF CURB		
FS	FLORIDA STATUTES		
FT	FEET		
G			
GALV	GALVANIZED		
GM	GAS MAIN		
GV	GATE VALVE		
H			
HDPE	HIGH DENSITY POLYETHYLENE		
HP	HIGH POINT		
I			
ID	IDENTIFICATION		
INV	INVERT		
INV EL	INVERT ELEVATION		
IP	IRON PIPE		
K			
L			
LA	LANDSCAPE ARCHITECT		
LBR	LIMEROCK BEARING RATIO		
LDR	LAND DEVELOPMENT REGULATION		
LF	LINEAR FEET		
LP	LOW POINT		
LT	LEFT		
M			
MAX	MAXIMUM		
ME	MATCH EXISTING		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES		

SIGNAGE

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO. 700-010. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO. 700-101.

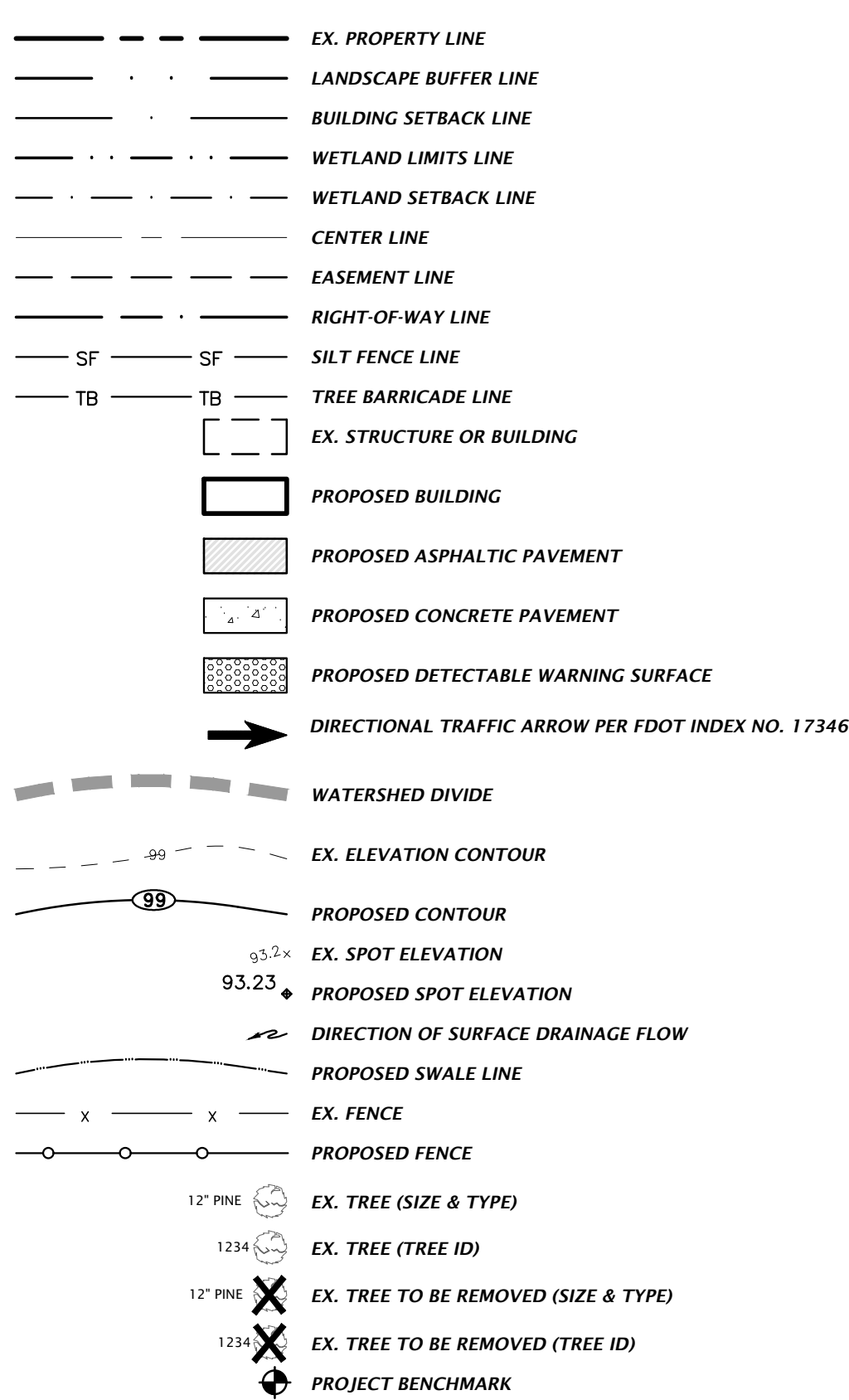


FTP-20-06 (12" X 18") PER FDOT INDEX NO. 700-102



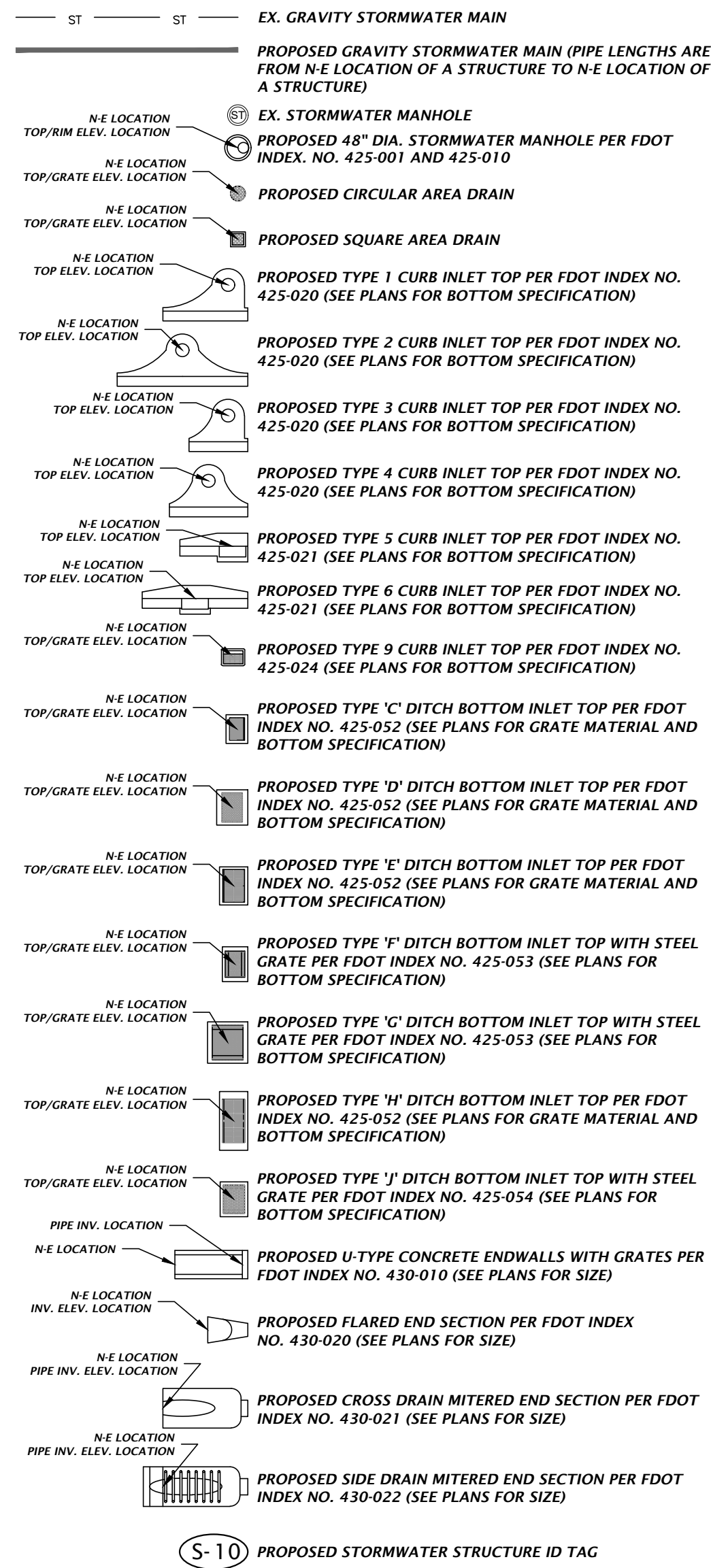
R1-1 "STOP" - SEE PLANS FOR SIZE

SITE INFORMATION



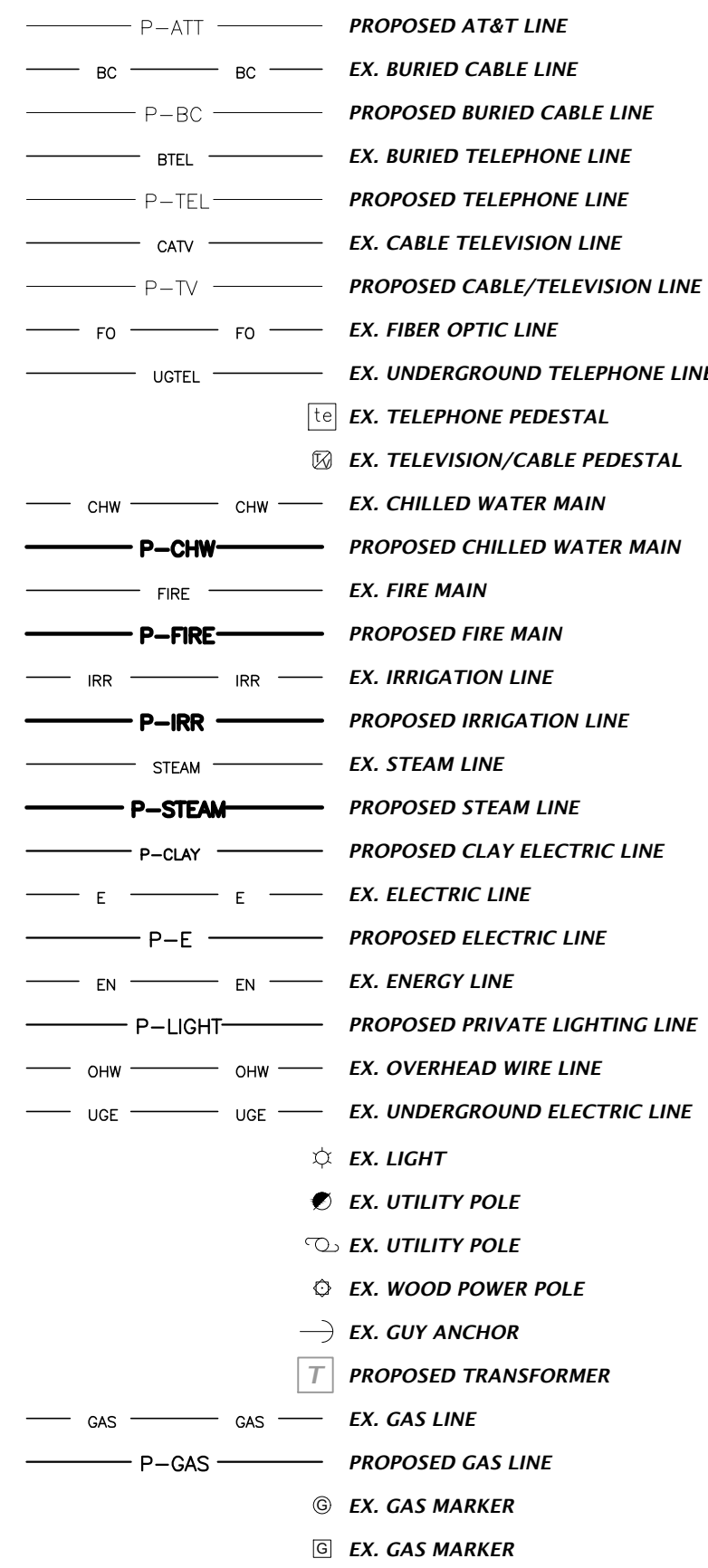
STORMWATER

THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THE PLAN SHEETS.



MISCELLANEOUS UTILITIES

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS.



NOTES:
1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.
2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

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www.cdw-inc.com
est. 1988 FLORIDA
CA-5075

CDW
Professional Consultants

VERIFY SCALE ON
ORIGINAL DRAWING
IF NOT THE SAME
THIS SHEET ADJUST
SCALES ACCORDINGLY.

SCALE: N/A
CONSTRUCTION IN DIMENSIONS

DATE: 02/16/21 - CITY OF HIGH SPRINGS, FDEP, AND SRWMD
05/25/21 - SRWMD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE VUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: LEGEND

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE

PROFESSIONAL ENGINEER
No. 58206
JUL 2021
STATE OF FLORIDA

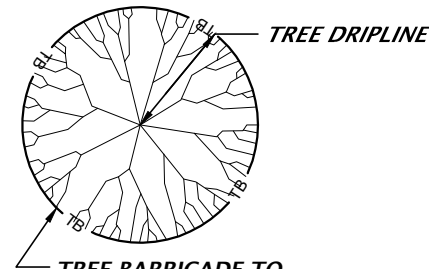
FL PE No. 58206

SHEET NO.

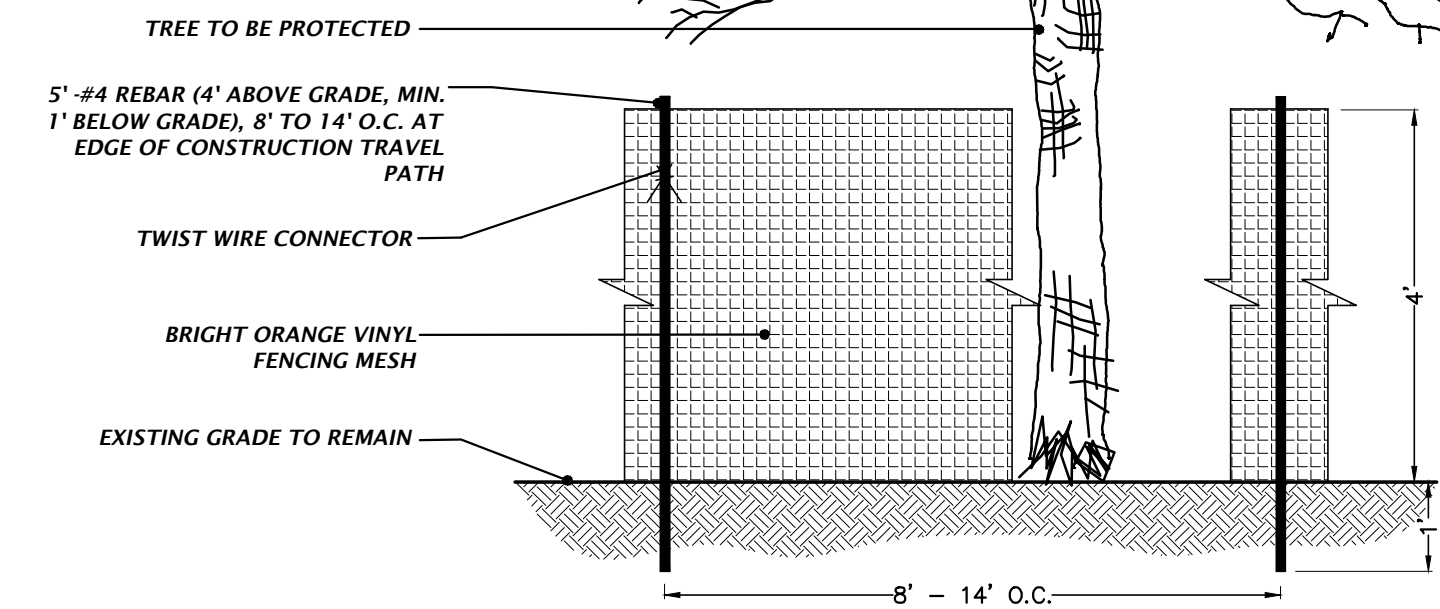
C0.11

NOTE:

1. TREE BARRICADES MUST BE INSPECTED AND APPROVED BY THE COUNTY ARBORIST (352-374-5243, EXT. 3503) PRIOR TO ANY CLEARING, DEMOLITION, OR GRUBBING WORK BEGINS.
2. TREE BARRICADES SHALL REMAIN IN-PLACE, AND IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. BARRICADES SHALL BE REMOVED ONCE MAJOR CONSTRUCTION IS COMPLETE AND PRIOR TO COMPLETION OF LANDSCAPE INSTALLATION.
3. NO CONSTRUCTION EQUIPMENT, MATERIALS, SUPPLIES, FUELS OR CHEMICALS SHALL BE STORED WITHIN THE TREE BARRICADE LIMITS.
4. HERITAGE TREES (GREATER THAN 20" DIAMETER) ARE TO BE ENCLOSED TO THEIR ENTIRE DRIPLINE WHERE POSSIBLE.

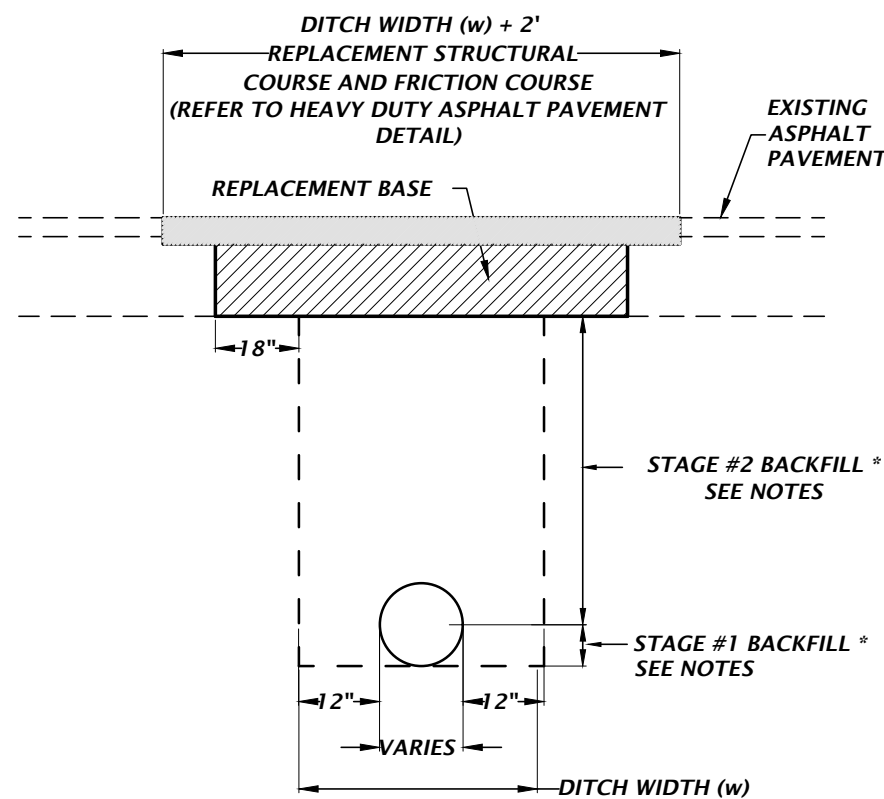


REGULATED TREE PLAN VIEW



TREE PROTECTION DETAIL

NTS

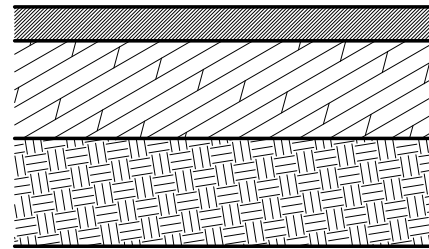


NOTES:

1. IN STAGE #1, CONSTRUCT COMPACTED FILL BENEATH THE HAUNCHES OF THE PIPE, USING MECHANICAL TAMPS SUITABLE FOR THIS PURPOSE. THIS COMPACTION APPLIES TO THE MATERIAL PLACED BENEATH THE HAUNCHES OF THE PIPE AND ABOVE ANY BEDDING.
2. IN STAGE #2, CONSTRUCT COMPACTED FILL ALONG THE SIDES OF THE PIPE AND UP TO THE BOTTOM OF THE BASE, WITH THE UPPER 12" RECEIVING TYPE B STABILIZATION. IN LIEU OF TYPE B STABILIZATION, THE CONTRACTOR MAY CONSTRUCT USING OPTIONAL BASE GROUP 3.
3. NEW 8" LIMEROCK BASE SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAX DENSITY AS SPECIFIED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION 200-7.2. THE WIDTH OF THE LIMEROCK BASE SHALL BE THE WIDTH OF THE PIPE TRENCH PLUS 18" ON BOTH SIDES SEE DETAIL.
4. UNLESS OTHERWISE SPECIFIED, MATERIALS AND METHODS OF OPERATION REQUIRED TO INSTALL NEW AND REPLACEMENT PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST APPLICABLE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. PAVEMENT SHALL BE REMOVED TO NEATLY SAWED STRAIGHT EDGES.
6. THE TYPE AND THICKNESS OF THE NEW SURFACE MATERIAL SHALL BE CONSISTENT WITH THAT OF THE EXISTING SURFACE, BUT IN ALL CASES SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE PLANS AND SPECIFICATIONS.
7. THE BACKFILLING AND PAVEMENT REPLACEMENT MUST BE DONE IN ACCORDANCE WITH FDOT INDEX 307.
8. PAVEMENT CUTS SHALL HAVE THE ASPHALT SURFACE REPLACED WITHIN 24 HOURS, WITH OPEN CUT RESTORATION PERFORMED IN ACCORDANCE WITH MOST CURRENT EDITION OF FDOT INDEX NO. 307 USING THE FLWABLE FILL OPTION.
9. THE CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED BY CALLING 352-334-5070 PRIOR TO START OF EXCAVATION.

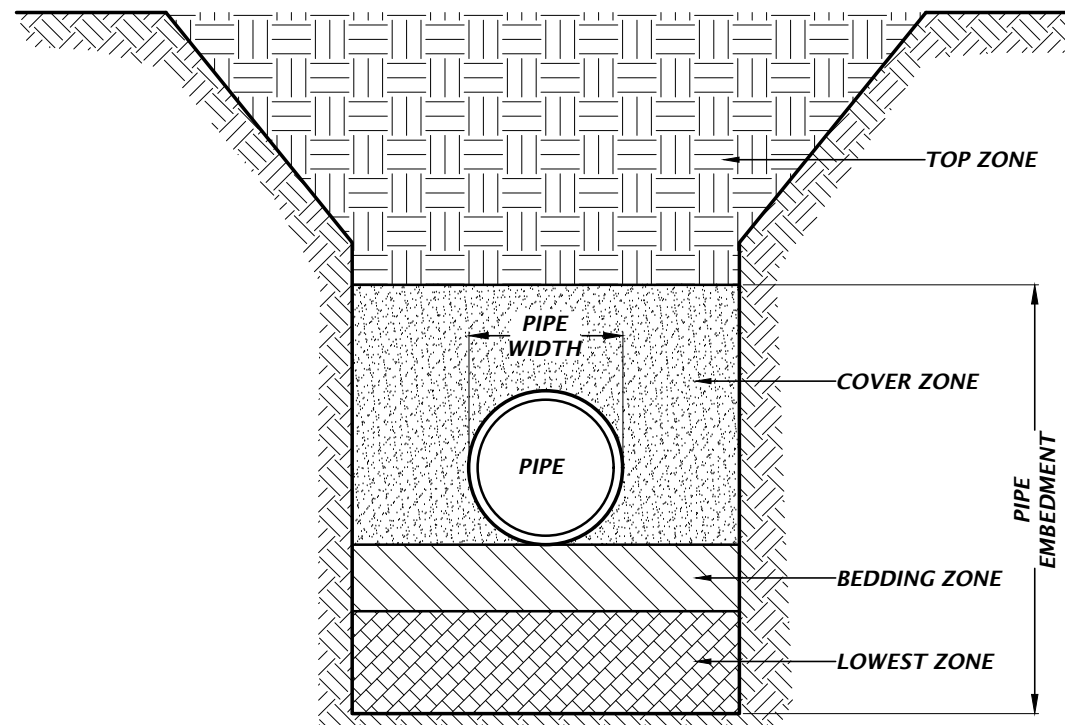
OPEN CUT AND REPAIR PAVEMENT DETAILS

NTS



TYPICAL ONSITE ASPHALT PAVEMENT DETAIL

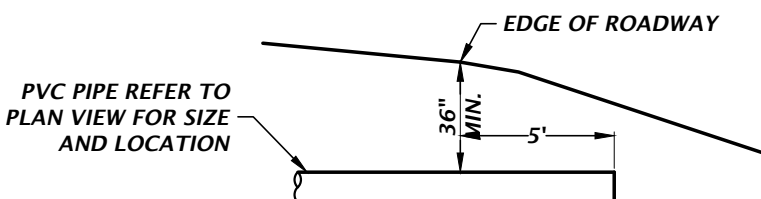
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1. STORM PIPE BEDDING AND BACKFILL SHALL BE PER FDOT SPECIFICATION 125-8 AND 125-9.
2. SOIL/MATERIAL TYPES ARE AS DETERMINED PER AASHTO M145 SOIL CLASSIFICATIONS AND ASTM D3282.
3. DO NOT ALLOW HEAVY CONSTRUCTION EQUIPMENT TO CROSS OVER CULVERT OR STORM SEWER PIPES UNTIL PLACING AND COMPACTING BACKFILL MATERIAL TO THE FINISHED EARTHWORK GRADE OR TO AN ELEVATION AT LEAST FOUR (4) FEET ABOVE THE CROWN OF THE PIPE.
4. THE LOWEST ZONE IS BACKFILLED FOR DEEP UNDERCUTS UP TO WITHIN FOUR (4) INCHES OF THE BOTTOM OF THE PIPE. BACKFILL IN THIS ZONE SHALL BE COARSE SAND, OR OTHER SUITABLE GRANULAR MATERIAL, OBTAINED FROM THE GRADING OPERATIONS ON THE PROJECT, OR A COMMERCIAL MATERIAL (AS APPROVED BE THE ENGINEER OF RECORD) IF NO SUITABLE MATERIAL IS AVAILABLE. COMPACT THE SOIL TO APPROXIMATELY MATCH THE DENSITY OF THE SOIL IN WHICH THE TRENCH WAS CUT.
5. THE BEDDING ZONE IS ABOVE THE LOWEST ZONE AND USUALLY WILL BE THE BACKFILL WHICH IS THE FOUR (4) INCHES OF SOIL BELOW THE BOTTOM OF THE PIPE. WHEN ROCK OR OTHER HARD MATERIAL HAS BEEN REMOVED TO PLACE THE PIPE, THE BEDDING ZONE WILL BE THE TWELVE (12) INCHES OF SOIL BELOW THE BOTTOM OF THE PIPE. THE BACKFILL MATERIAL TO BE USED SHALL BE CLASSIFIED AS A-1, A-2, OR A-3. MATERIAL CLASSIFIED AS A-4 MAY BE USED IF THE PIPE IS CONCRETE PIPE. PLACE MATERIAL IN LIFTS NO GREATER THAN SIX (6) INCHES (COMPACTED THICKNESS). EVENLY DEPOSITED ON BOTH SIDES OF THE PIPE AND COMPACT WITH MECHANICAL TAMPERS SUITABLE FOR THIS PURPOSE. HAND TAMP MATERIAL BELOW THE PIPE HAUNCH THAT CANNOT BE REACHED BY MECHANICAL TAMPERS.
6. THE COVER ZONE IS BACKFILL THAT IS PLACED AFTER THE PIPE HAS BEEN LAID AND EXTENDS TWELVE (12) INCHES ABOVE THE TOP OF THE PIPE. HE BACKFILL MATERIAL TO BE USED SHALL BE CLASSIFIED AS A-1, A-2, OR A-3. MATERIAL CLASSIFIED AS A-4 MAY BE USED IF THE PIPE IS CONCRETE PIPE. PLACE MATERIAL IN LIFTS NO GREATER THAN SIX (6) INCHES (COMPACTED THICKNESS). EVENLY DEPOSITED ON BOTH SIDES OF THE PIPE AND COMPACT WITH MECHANICAL TAMPERS SUITABLE FOR THIS PURPOSE. HAND TAMP MATERIAL BELOW THE PIPE HAUNCH THAT CANNOT BE REACHED BY MECHANICAL TAMPERS.
7. THE TOP ZONE EXTENDS FROM TWELVE (12) INCHES ABOVE THE TOP OF THE PIPE TO THE BASE OR FINAL GRADE. BACKFILL WITH MATERIALS ALLOWED PER FDOT INDEX NO. 505. PLACE MATERIAL IN LAYERS NOT TO EXCEED TWELVE (12) INCHES IN COMPACTED THICKNESS.
8. MINIMUM ACCEPTABLE COMPACTION FOR THE BEDDING, COVER, AND TOP ZONES IS 100% OF THE STANDARD PROCTOR MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD C. FOR METAL OR PLASTIC PIPE, COMPACT THE BACKFILL TO A DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR AS DETERMINED BY AASHTO T-99, METHOD C.
9. WHEN INSTALLING HDPE PIPE, BEDDING, BACKFILL, AND GENERAL INSTALLATION REQUIREMENTS SHALL COMPLY WITH ASTM D2321.

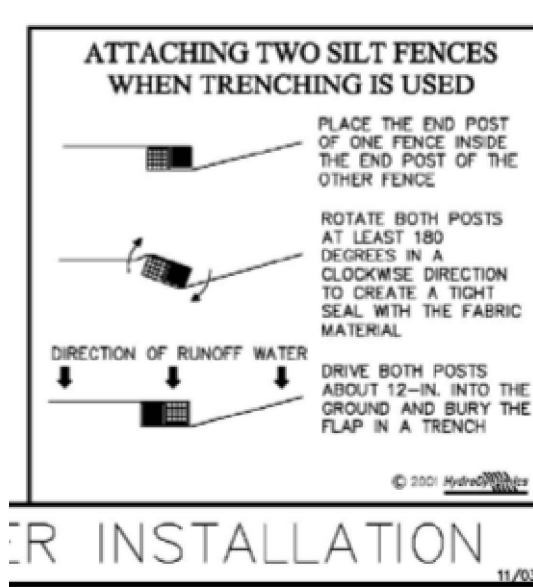
STORM PIPE BEDDING AND BACKFILLING DETAIL

NTS



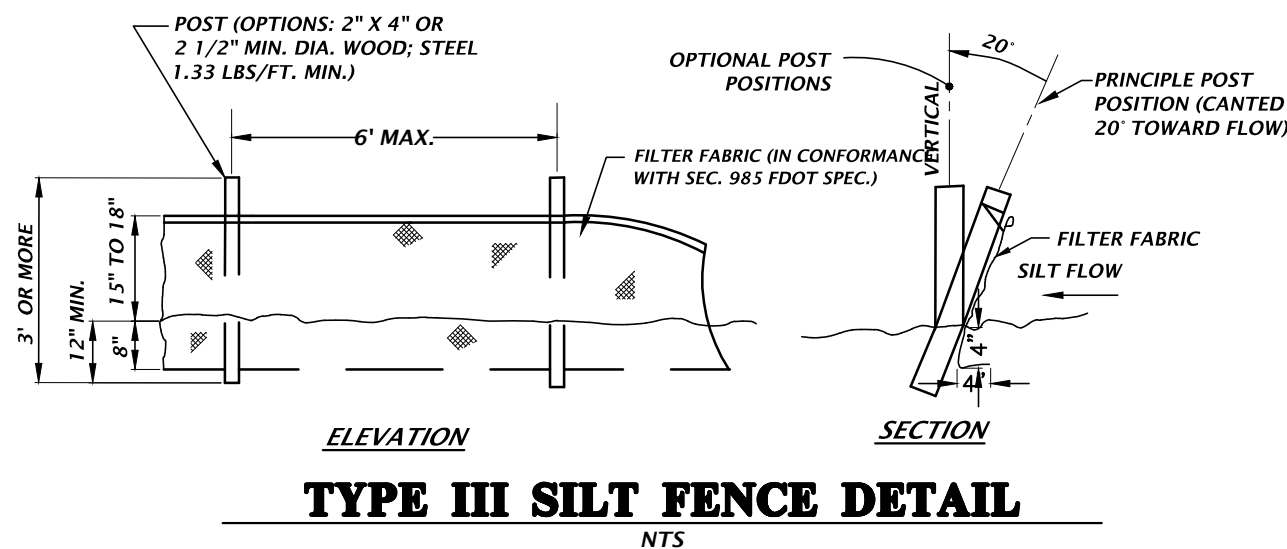
SLEEVE CROSSING DETAIL

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TYPE III SILT FENCE WRAPPING DETAIL

NTS

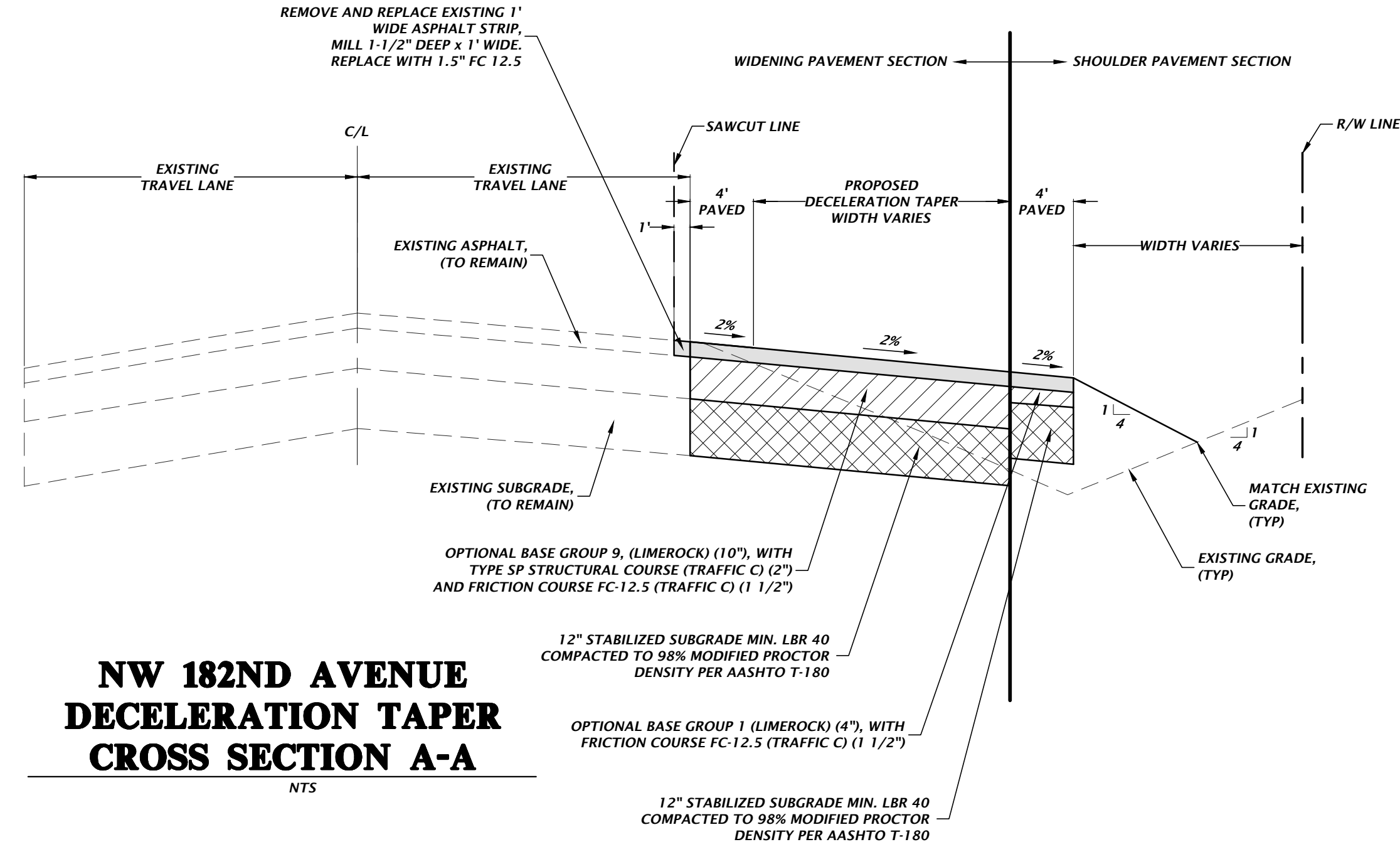


TYPE III SILT FENCE DETAIL

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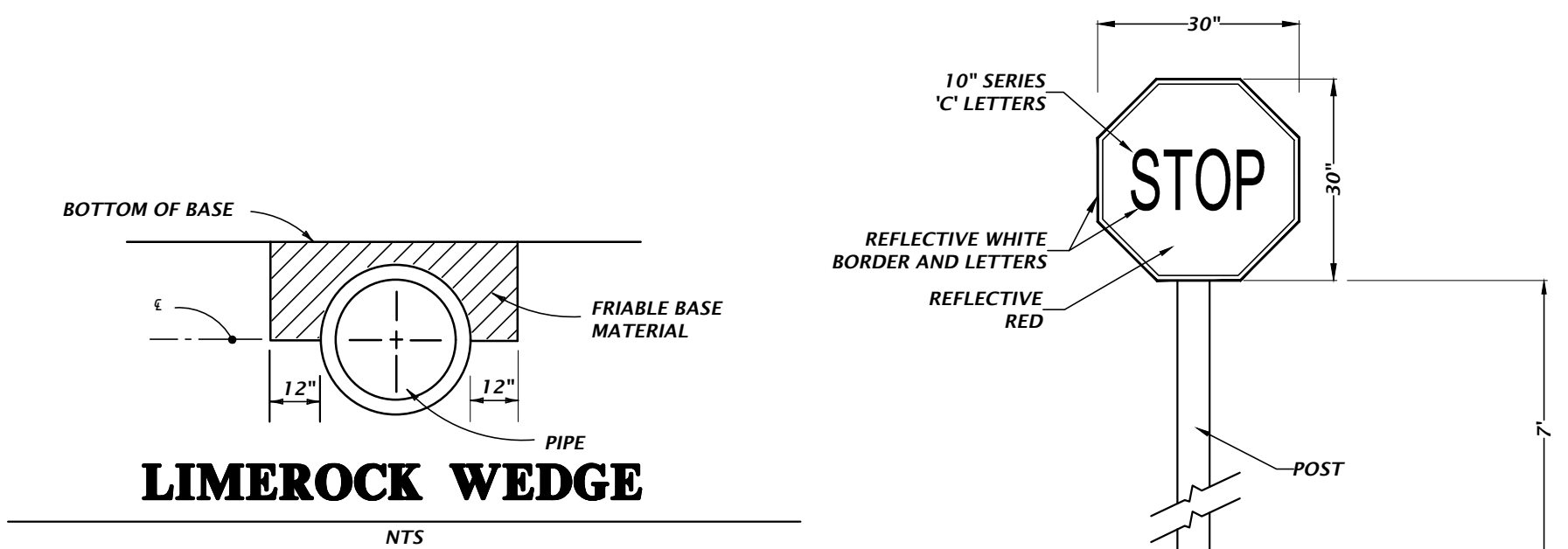
NOTE:

1. ALL DISTURBED AREAS TO BE SODDED WITH COMMON BERMUDA. FINE GRADE PRIOR TO SODDING.
2. REMOVE AND REPLACE EXISTING PAVEMENT MARKINGS AS NEEDED.
3. CONTRACTOR SHALL GRADE TO PROPOSED SPOT ELEVATIONS.



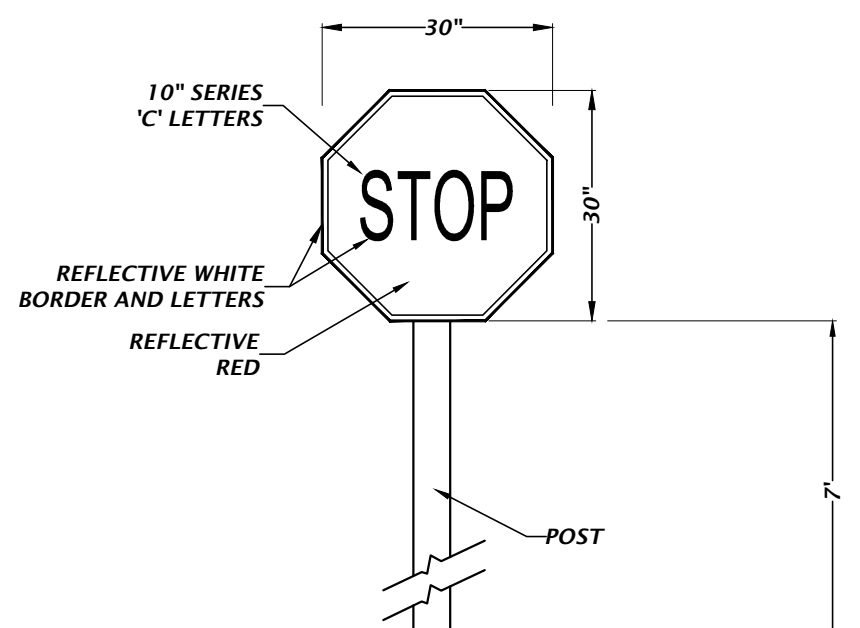
NW 182ND AVENUE DECELERATION TAPER CROSS SECTION A-A

NTS



LIMEROCK WEDGE

NTS



MUTCD R1-1 (30"x30") STOP SIGN DETAIL

NTS



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CA-5075

CHW
Professional Consultants

VERIFY SCALE ON
ORIGINAL DRAWING
IF NOT THE SAME AS
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

SCALE
N/A

CONSTRUCTION DIVISIONS

REVISIONS
02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE VUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: 18-0273

DESIGNED BY: J. THOMAS
CHECKED BY: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE

FL PE NO. 58206

SHEET NO.

C0.12

BASIN OPERATION AND MAINTENANCE REQUIREMENTS

SURFACEWATER MANAGEMENT FACILITIES (SMF'S):

ALL SMF'S PERMITTED BY THE DISTRICT SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE DISTRICT, AND INCORPORATED BY REFERENCE INTO ANY PERMIT ISSUED. SMF'S SHALL BE KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE THROUGH REGULAR INSPECTION AND MAINTENANCE BY THE PERMITTEE.

EROSION CONTROL:

THE SYSTEM SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE PERMITTEE TO INSURE THAT ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE. ANY VEGETATION ESTABLISHED FOR EROSION CONTROL SHALL BE PROPERLY MAINTAINED FOR FUNCTION.

THE EROSION CONTROL PLAN IS A WORKING PLAN AND SHALL BE AMENDED BY THE CONTRACTOR IF THE PLAN DOES NOT WORK OR IS FOUND TO NOT ADEQUATELY CONTROL SEDIMENTATION.

CULVERTS, PIPES AND STRUCTURES:

ALL STRUCTURES WITHIN THE SYSTEM SHALL BE REGULARLY INSPECTED AND MAINTAINED ON A REGULAR BASIS BY THE PERMITTEE TO INSURE THAT THEY DO NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.

MAINTENANCE:

THE STORMWATER MANAGEMENT FACILITIES (SMF-1 & 2) HAVE BEEN DESIGNED WITH FOUR DISTINCT MAINTENANCE AREAS (A, B, C, AND D). REFER TO THE SMF OPEN SPACE BASIN DIAGRAM DETAILS OR THE OPEN SPACE MANAGEMENT PLAN FOR A FIGURE OF THE DISTINCT MAINTENANCE AREAS.

AREA A: "NO-MOW" AREA: MOWING OR UNDERBRUSHING SHALL ONLY OCCUR IF NECESSARY TO MAINTAIN PROPER FUNCTION OF THE STORMWATER MANAGEMENT FACILITY. NATIVE/NON-INVASIVE GROUND COVER PLANTINGS MAY BE SELECTIVELY TRIMMED TO ENCOURAGE NEW GROWTH, AS DETERMINED BY A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST. ANNUAL REMOVAL OF EXOTIC INVASIVE PLANT SPECIES IS PERMITTED. CONTACT ALACHUA COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT AND ALACHUA COUNTY PUBLIC WORKS STAFF PRIOR TO MOWING, CLEARING, OR OTHER ACTIVITIES IN THIS LOCATION.

AREA B: GROUND COVER AREA: ALL NATIVE/NON-INVASIVE GROUND COVER PLANTINGS LOCATED WITHIN THIS DESIGNATED AREA MAY BE CUT BACK AS NECESSARY, TO ENCOURAGE NEW GROWTH, AS DETERMINED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR THE ALACHUA COUNTY FIRE RESCUE. ANNUAL REMOVAL OF EXOTIC INVASIVE PLANT SPECIES IS PERMITTED.

AREA C: ROUTINE MOW AREA (MAINTENANCE PATHS - 25-FT AROUND STRUCTURES): THESE AREAS ARE TYPICALLY ADJACENT TO INFLOW, OUTFALL STRUCTURES, MAINTENANCE AND ACCESS PATHS, AND OTHER AREAS THAT NEED TO BE REGULARLY INSPECTED. UP TO 25-FT FROM STRUCTURES MAY BE REGULARLY MAINTAINED. GRASSING WITHIN THIS DESIGNATED AREA SHALL BE ROUTINELY MOWED A MINIMUM OF SIX (6) TIMES A YEAR. ALL MAINTENANCE PATHS SHALL BE MOWED ROUTINELY AND MAINTAINED FOR MAINTENANCE VEHICLES, INGRESS/EGRESS, AS WELL AS PEDESTRIAN ACCESSIBILITY. ALL LITTER/LEAVES SHALL BE ROUTINELY REMOVED TO AVOID BUILD-UP OF ADVERSE IMPACTS ON SOIL PERMEABILITY CHARACTERISTICS.

AREA D: SEASONAL MOW AREA: ALL WILDFLOWERS AND WOODY SPECIES LOCATED WITHIN THIS DESIGNATED AREA SHALL BE MOWED A MAXIMUM OF THREE (3) TIMES A YEAR. MOWING SHALL OCCUR ONE (1) TIME AFTER SPRING BLOOM WITH THE MOWER SET AT 6" HEIGHT (TYPICALLY AT THE END OF FEBRUARY OR MARCH, BUT SHALL BE DEPENDENT ON THE WEATHER); ONE (1) TIME AFTER SUMMER BLOOM WITH THE MOWER SET AT 6" HEIGHT (THIS MOWING IS OPTIONAL); AND ONE (1) TIME IN THE FALL AFTER THE FIRST FREEZE, WITH THE MOWER SET AT 2" HEIGHT TO DISCOURAGE WOODY GROWTH AND HELP DISTRIBUTE SEED (TYPICALLY AFTER THANKSGIVING, BUT SHALL BE DEPENDENT ON THE WEATHER). ANNUAL REMOVAL OF INVASIVE EXOTIC PLANT SPECIES IS PERMITTED.

ALL BASINS SHALL BE INSPECTED MONTHLY. MONTHLY DOCUMENTATION SHALL BE NOTED BASED UPON INSPECTION FINDINGS. EXOTIC INVASIVE PLANT SPECIES AND OTHER UNDESIRABLE VEGETATION AS DESIGNATED BY A REGISTERED LANDSCAPE ARCHITECT AND/OR ALACHUA COUNTY STAFF MAY BE REMOVED PERIODICALLY. ALL BASIN AREAS SHALL BE ROUTINELY INSPECTED, DEFICIENCIES, AND ACTIONS SHOULD BE NOTED, AND REPORTED TO THE OPERATION AND MAINTENANCE ENTITY.

REFER TO THE OPEN SPACE MANAGEMENT PLAN FOR ADDITIONAL MAINTENANCE AREA DETAILS.

FUNCTION:

BASINS THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT IMPROPER RECOVERY IS NOTED.

SINKHOLE:

IF A SINKHOLE FORMS IN THE AREA OF A DRAINAGE SWALE/BASIN THE ENGINEER OF RECORD SHALL BE NOTIFIED BY EITHER THE CONTRACTOR OR THE ESTABLISHED OPERATION AND MAINTENANCE ENTITY. THE ENGINEER OF RECORD SHALL INSPECT THE REPAIRED AREA UPON COMPLETION OF THE REPAIR.

ALL SWALES/BASINS SHALL BE INSPECTED MONTHLY FOR SINKHOLE OCCURRENCE. SHOULD A SINKHOLE OCCUR, THE AREA SHALL BE REPAIRED AS SOON AS POSSIBLE. REPAIR SHALL INCLUDE FILLING (LIMEROCK SUCH AS ROAD BASE MATERIAL, CLAY/SAND MIXTURE, OR CONCRETE IF NECESSARY). A 3-FOOT DEEP CAP THAT EXTENDS 3 FEET BEYOND THE PERIMETER OF THE SINKHOLE SHALL BE CONSTRUCTED WITH CLAYEY SOILS. THE CLAYEY SOIL SHALL HAVE AT LEAST 20% PASSING THE NO. 200 SIEVE, COMPACTED TO 95% OF STANDARD PROCTOR, AND COMPACTED IN A WET CONDITION WITH MOISTURE 2% - 4% ABOVE OPTIMUM. THE CLAY SOIL CAP SHALL BE RE-GRADED TO PREVENT CONCENTRATION OF WATERS (PONDING) AND RE-VEGETATED.

OPERATION & MAINTENANCE ENTITY:
SPRINGFIELD ASSOCIATION, INC.

BASIN EROSION & SEDIMENTATION CONTROL

1. SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
2. ALL STORMDRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH F.D.O.T. FLORIDA EROSION AND SEDIMENT CONTROL MANUAL.
3. THE DRAINAGE BASINS SHALL BE ROUGH GRADED PRIOR TO CONSTRUCTING THE LIMEROCK BASE. THE RETENTION BASINS SHALL BE FINE GRADED AND GRASSED PRIOR TO PAVING AND SITE CLEANUP.
4. THE STORMDRAIN SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
5. THE DRAINAGE BASIN BOTTOM SHALL BE SCRAPED CLEAN OF ALL ACCUMULATED SEDIMENT UPON COMPLETION OF CONSTRUCTION AFTER THE STORMDRAIN SYSTEM IS COMPLETELY FLUSHED OUT. THIS ACTIVITY SHALL ONLY OCCUR IN A DRY STATE.
6. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY STABILIZED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX NO. 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
7. REFER TO THE SWPPP PLAN FOR COMPLETE EROSION CONTROL MEASURES.

BASIN LIMEROCK OUTCROP CONSTRUCTION NOTES

1. IN THE EVENT THAT LIMEROCK IS ENCOUNTERED DURING CONSTRUCTION OF THE RETENTION BASINS, THE FOLLOWING TREATMENT SHALL BE PERFORMED. THE LIMEROCK OUTCROP SHALL BE EXCAVATED TO AN ELEVATION OF THREE (3) FEET BELOW THE DESIGN BASIN BOTTOM. THE EXCAVATED AREA SHALL BE BACKFILLED TO THE DESIGN BASIN BOTTOM ELEVATION WITH CLAYEY SAND/SANDY-CLAY (ASHTO SOIL GROUP A2) SOILS. A MIXTURE OF THE BACKFILL/MATERIAL SHALL BE PLACED IN SIX INCH LIFTS AND ROLLED WITH HEAVILY LOADED RUBBER Tired EQUIPMENT. BOTH THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT AND THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED WHEN LIMEROCK OUTCROPS ARE ENCOUNTERED AND PRIOR TO COMMENCING REMEDIAL ACTION.

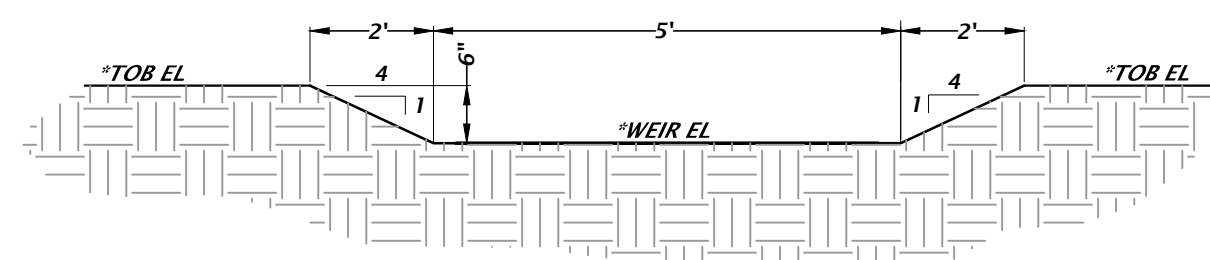
2. IN THE EVENT THAT ANY KARST FEATURES, SUCH AS SOLUTION CAVITIES, CHIMNEYS, OR SINKHOLES APPEAR IN THE RETENTION BASIN, THE FOLLOWING ACTIONS SHALL BE REQUIRED.

A. ONCE THE FEATURE IS IDENTIFIED, IT SHALL BE ISOLATED BY CREATING A BERM AROUND THE FEATURE A MINIMUM OF 2 FEET HIGH TO PREVENT DIRECT DISCHARGE INTO THE KARST FEATURE.

B. THE CIVIL ENGINEER, THE SRWMD MANAGEMENT DISTRICT, AND THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED WHEN THE FEATURE IS ENCOUNTERED PRIOR TO REMEDIAL ACTION.

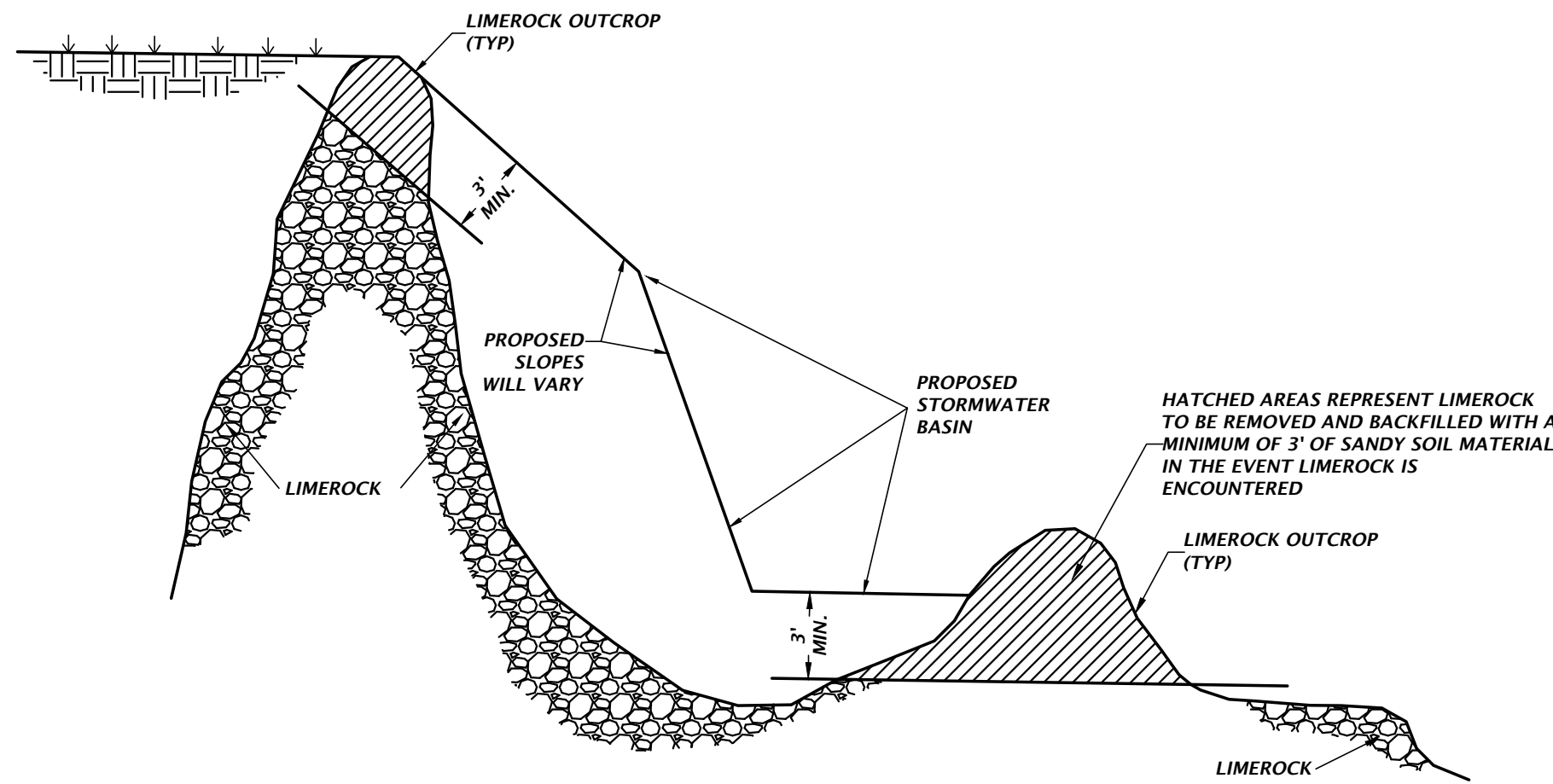
C. A LICENSED GEOTECHNICAL ENGINEERING FIRM SHALL BE RETAINED TO EVALUATE THE SIGNIFICANCE OF THE FEATURE AND TO DETERMINE THE REMEDIAL ACTION NECESSARY. SEE SHALLOW AND DEEP SINKHOLE/CAVITY MAINTENANCE REPAIR DETAIL.

D. THE GEOTECHNICAL ENGINEERING FIRM SHALL BE REQUIRED TO MONITOR THE REMEDIAL WORK AND SEND A SUMMARY REPORT UPON REPAIR COMPLETION TO THE CIVIL ENGINEER, THE SRWMD, AND THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT.



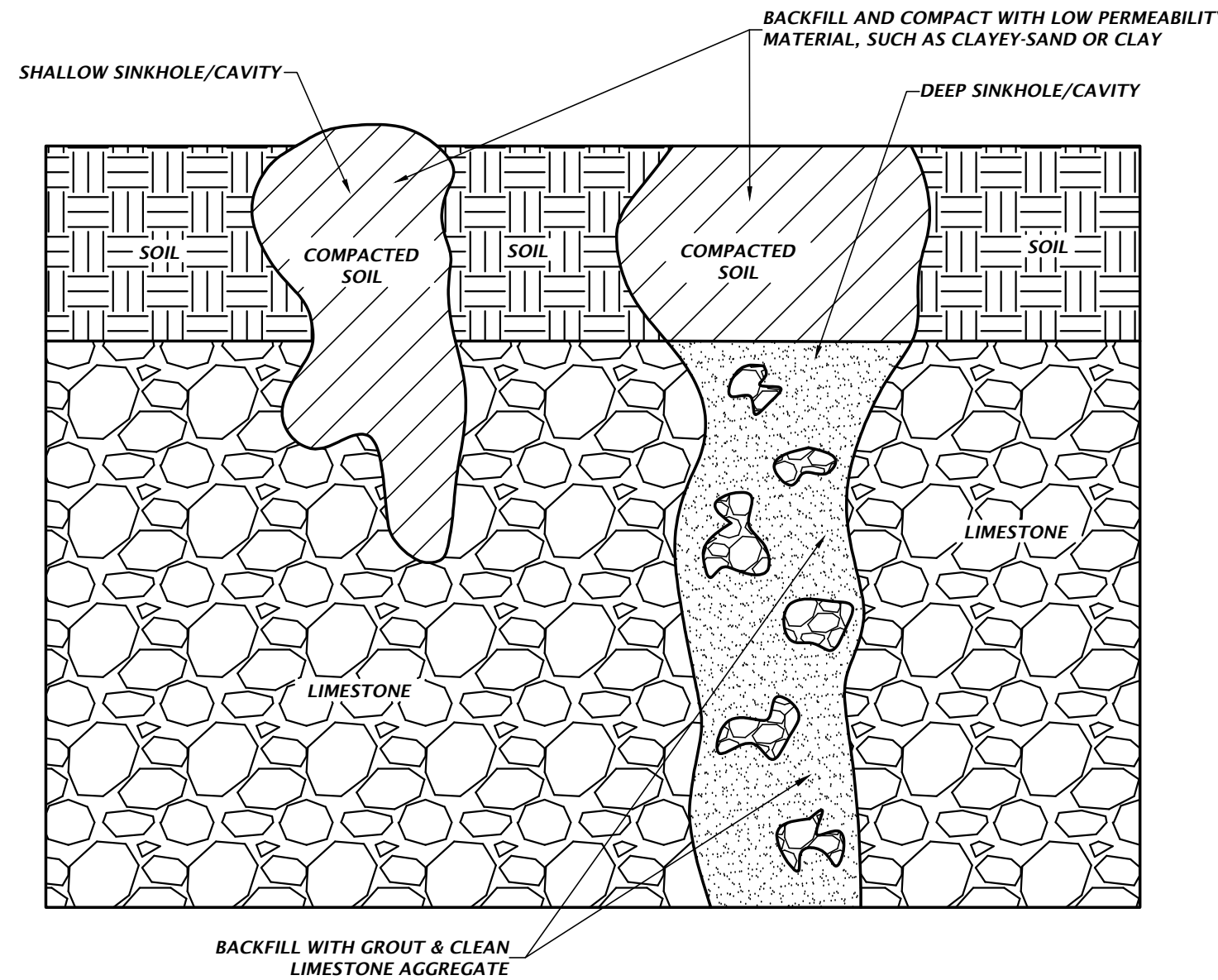
EMERGENCY SPILLWAY

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LIMEROCK OUTCROP REMOVAL DETAIL

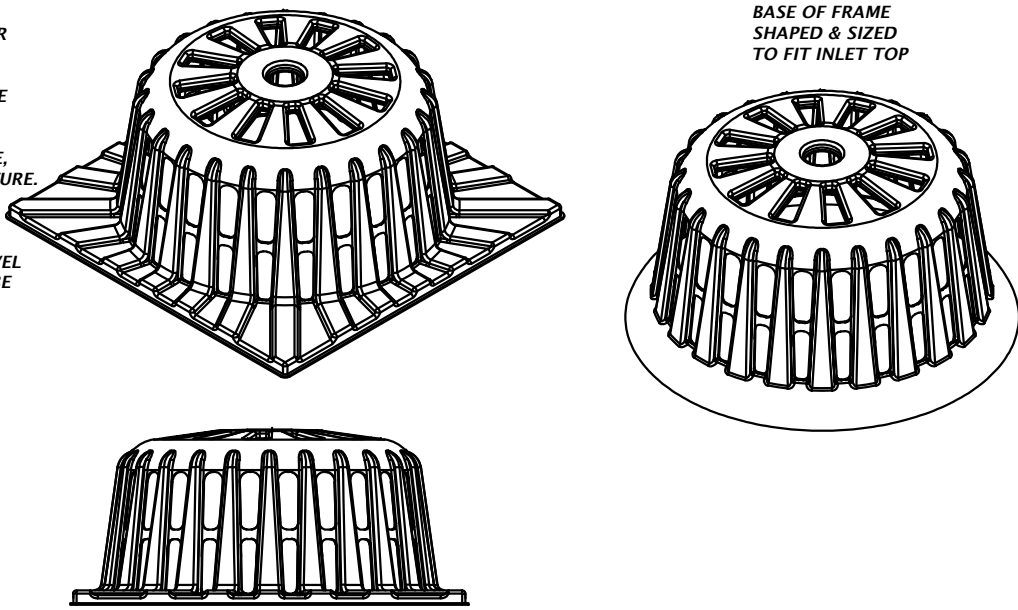
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SHALLOW AND DEEP SINKHOLE/CAVITY MAINTENANCE REPAIR DETAIL

NTS

- TYPICAL INSTALLATION SEQUENCE FOR SILT-SAVER FRAME AND FILTER
1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
 2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
 3. SLIDE THE FILTER OVER THE FRAME.
 4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
 5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.



SILT-SAVER DETAIL

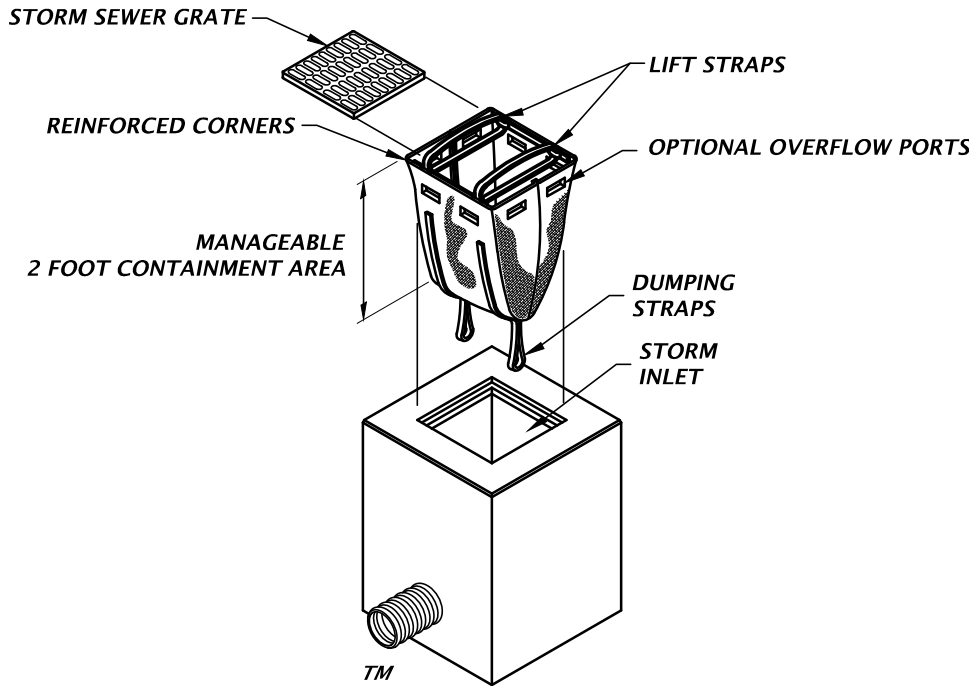
NTS

INSTALLATION:

REMOVE THE GRATE FROM INLET. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

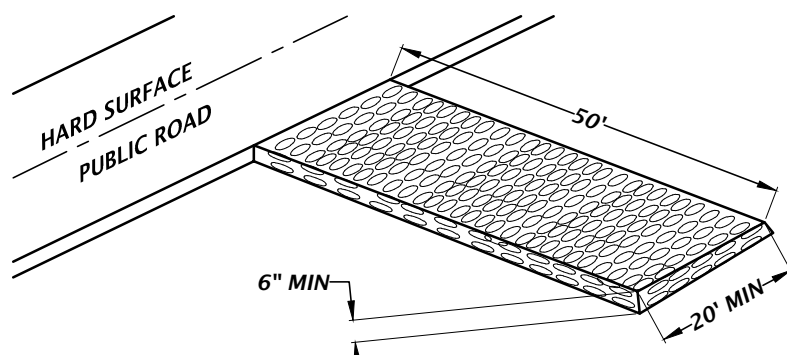
MAINTENANCE:

REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS: REPLACE ABSORBENT WHEN NEAR SATURATION.



DANDY SACK DETAIL

NTS

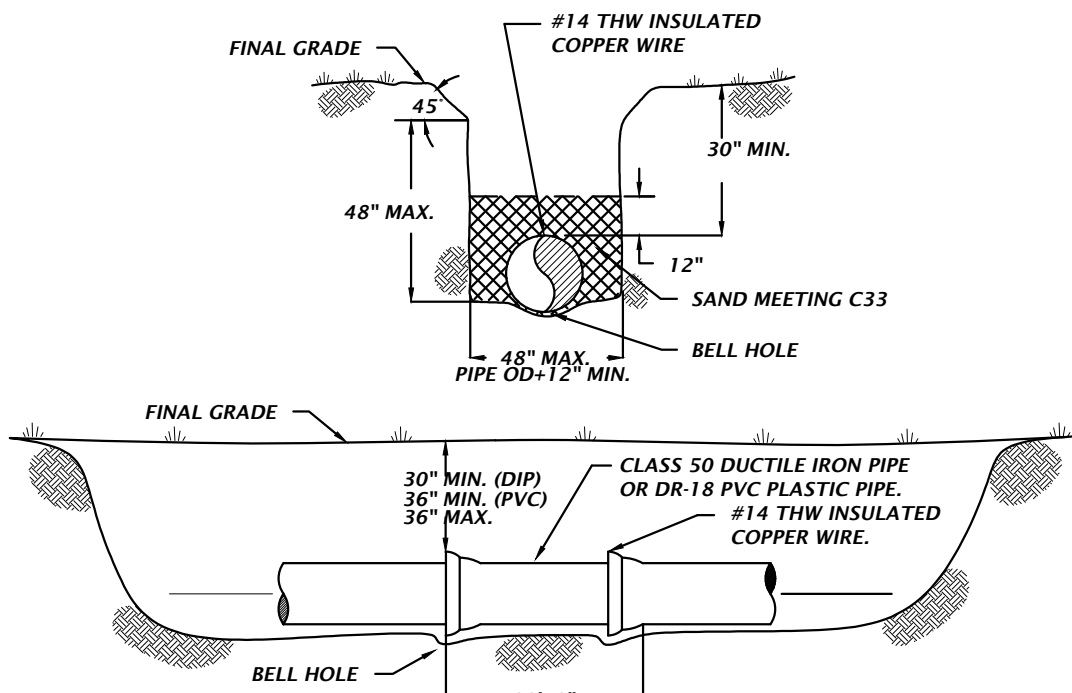


STONE SIZE: ASTM D448 SIZE #1 (1-1/2" TO 3-1/2" DIA)
STANDARD CONSTRUCTION EXIT

TEMPORARY CONSTRUCTION EXIT DETAIL

NTS

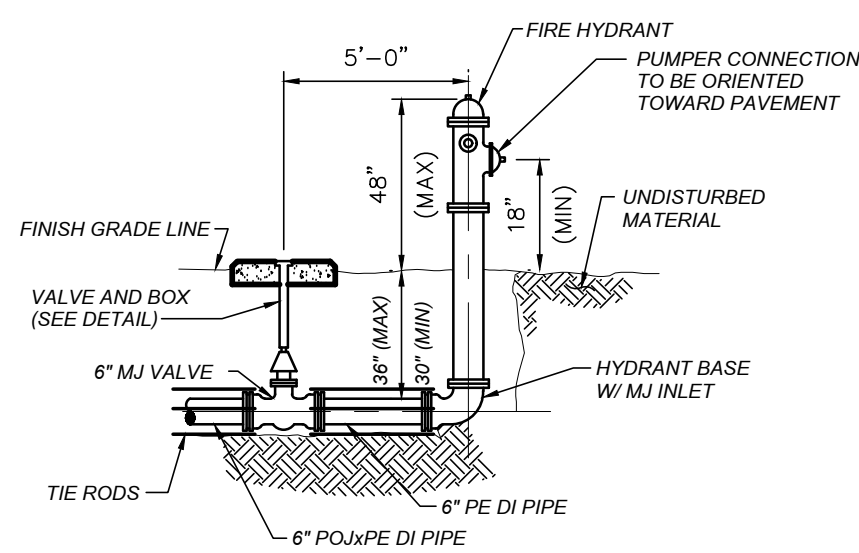
- NOTE:
1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.
 2. TOP DRESSING WITH 2" STONE MAY BE REQ'D AS DETERMINED BY THE USE AND FUNCTION OF THE SYSTEM.



- NOTES:
1. PVC PLASTIC PIPE SHALL REQUIRE A CONTINUOUS INSULATED COPPER WIRE TAPED EVERY TEN FEET ON TOP OF THE PIPE AND WRAPPED AROUND EACH FIRE HYDRANT AT FINAL GRADE. THE WIRE SHALL BE CONTINUOUS AND ALL CONNECTIONS TAPED.
 2. DEPTH OF PIPE MAY BE FIELD ADJUSTED TO MEET SPECIAL CONDITIONS AS DETERMINED BY THE ENGINEER-OF-RECORD.
 3. WATER MAIN SHALL NOT BE INSTALLED WITHIN 10 FEET OF ANY BUILDING OR SANITARY SEWER MAIN.
 4. ALL PIPE AND FITTINGS SHALL BE RESTRAINED JOINT.

WATER MAINS INSTALLATION

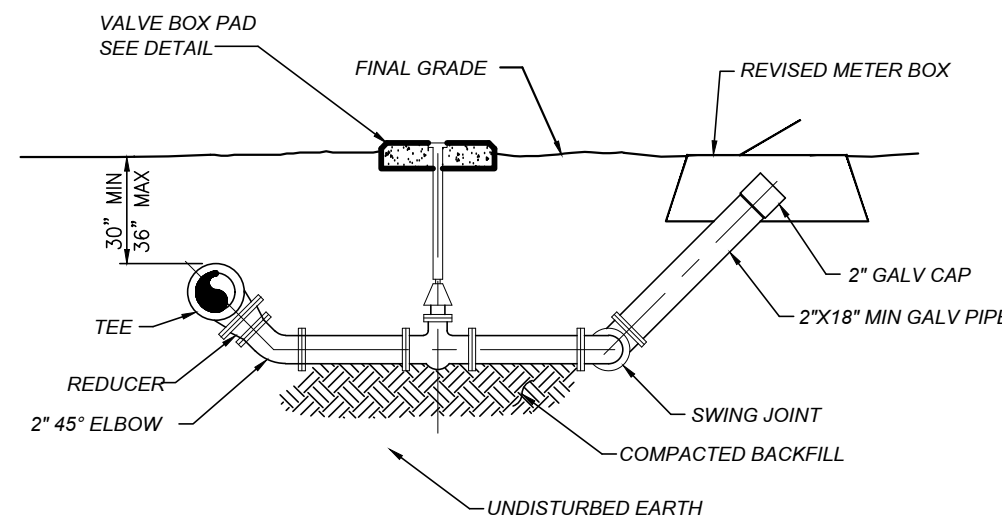
NTS



NOTE: ALL JOINTS AND FITTINGS SHALL BE RESTRAINED JOINT.

FIGURE 402 FIRE HYDRANT DETAIL

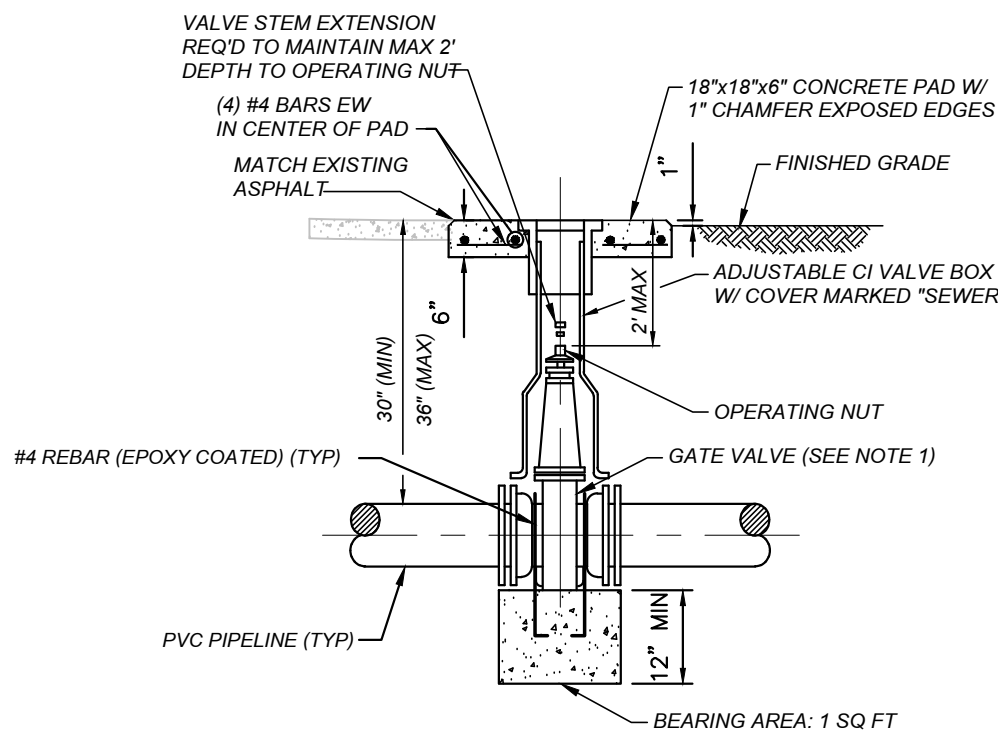
NTS



2" BLOW-OFF VALVE DETAIL

NTS

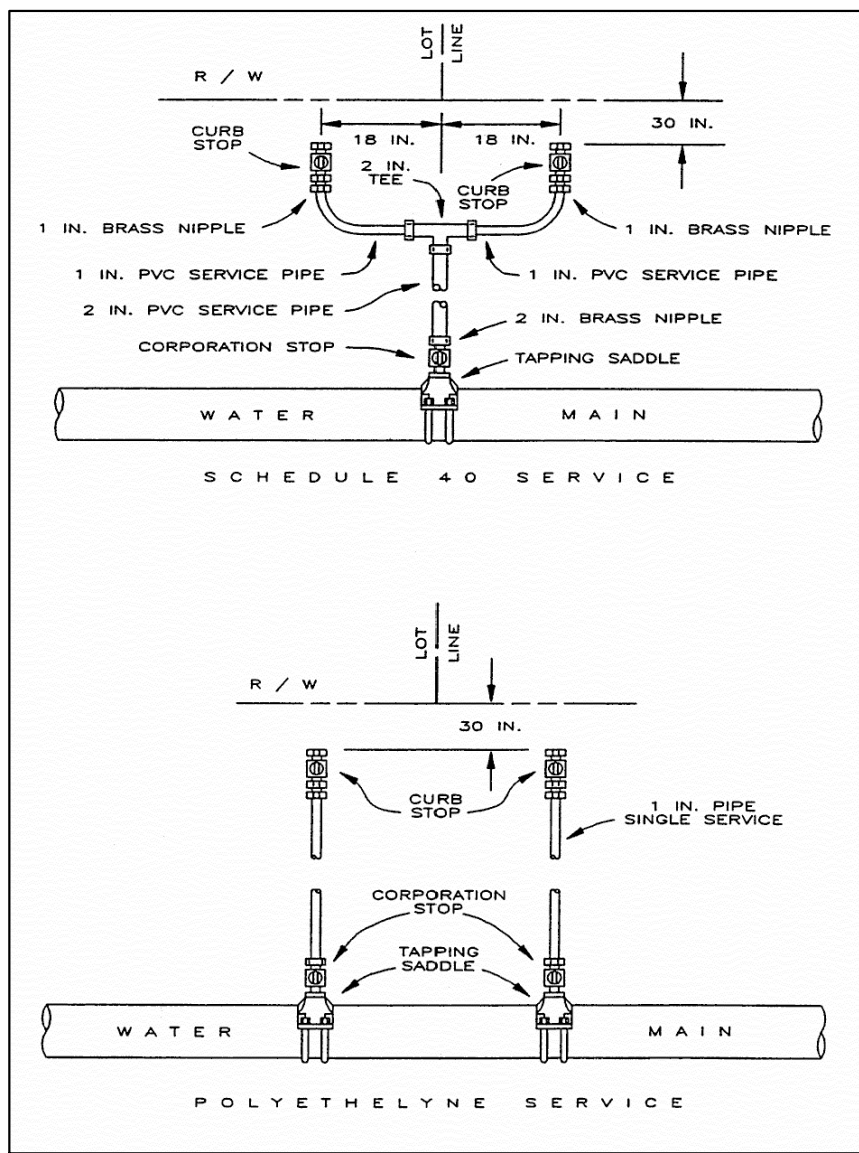
(DESIGNED BY JONES EDMUNDS & ASSOCIATES, INC.)
(FIGURE 403 FROM THE MANUAL OF DEVELOPMENT AND DESIGN
STANDARDS FOR THE CITY OF HIGH SPRINGS, FLORIDA, 2003 AND
DESIGNED BY JONES, EDMUNDS & ASSOCIATES, INC.)



- NOTES:
1. GATE VALVES 4" AND LARGER SHALL BE MECHANICAL JOINT. GATE VALVES 3" AND LESS SHALL BE THREADED JOINT.
 2. FOR SLOPED CONCRETE PADS, SEE FIGURE 401.

WATER VALVE DETAIL

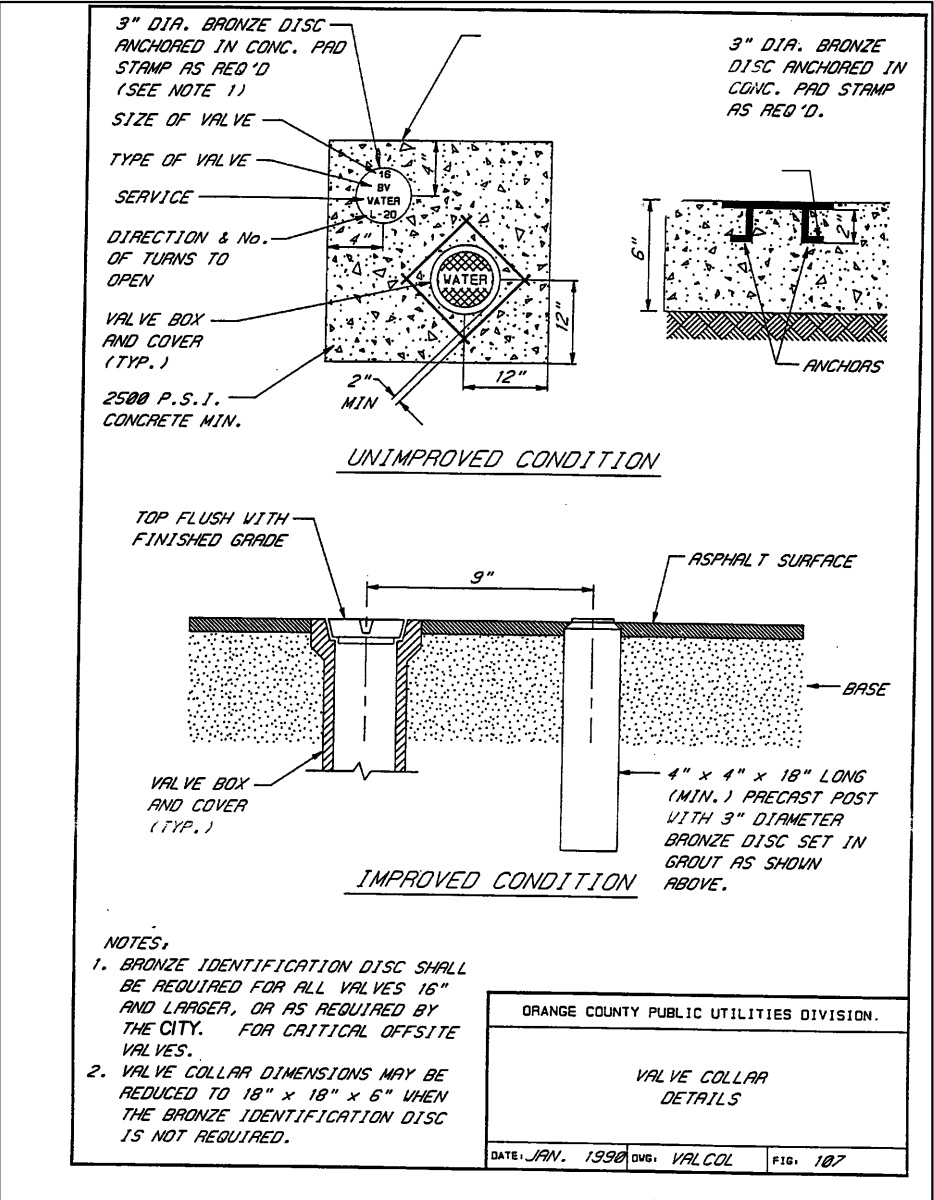
NTS



- NOTE:
1. ALL SERVICE LINES SHALL BE 1", 1-1/2" OR 2" SCHEDULE 40 PVC TUBING CONFORMING TO SPECIFICATIONS AWWA C800 AND AWWA C901.
 2. ALL WATER SERVICE PIPING AND CONNECTIONS SHALL BE ADEQUATELY MARKED PER THE CITY OF HIGH SPRINGS MDO'S SECTION 51.8.

WATER SERVICE CONNECTION DETAIL

NTS



VALVE COLLAR DETAIL

NTS



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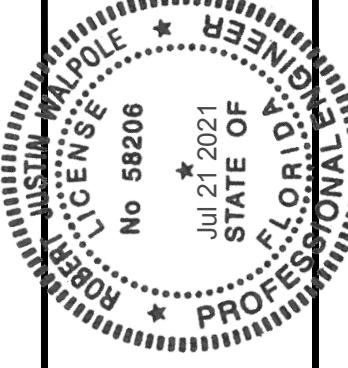
CONSTRUCTION DIVISIONS

DATE: 02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: UTILITY DETAILS

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE



FL PE No. 58206

SHEET NO.

C0.14

BASIN EROSION AND SEDIMENTATION CONTROL

1. SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
2. ALL STORMDRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL.
3. THE DRAINAGE BASINS SHALL BE ROUGH GRADED PRIOR TO CONSTRUCTING THE LIMEROCK BASE. THE RETENTION BASINS SHALL BE FINE GRADED AND GRASSED PRIOR TO PAVING AND SITE CLEANUP.
4. THE STORMDRAIN SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
5. THE DRAINAGE BASIN BOTTOM SHALL BE SCRAPED CLEAN OF ALL ACCUMULATED SEDIMENT UPON COMPLETION OF CONSTRUCTION AFTER THE STORMDRAIN SYSTEM IS COMPLETELY FLUSHED OUT. THIS ACTIVITY SHALL ONLY OCCUR IN A DRY STATE.
6. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY STABILIZED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
7. REFER TO THE SWPPP PLAN FOR COMPLETE EROSION CONTROL MEASURES.
8. WHERE POND TOP OF BANK IS IN CUT TO EXISTING GRADE, CONTRACTOR SHALL SOD 5-FT BEYOND TOP OF BANK FOR EROSION PROTECTION.

STORMWATER POLLUTION PREVENTION LEGEND

SD = SOD STABILIZATION	IP = INLET PROTECTION
SF = SILT BARRIER	CO = CONSTRUCTION ENTRANCE/EXIT
TB = TREE BARRICADE	OP = OUTFALL PROTECTION
TS = TEMPORARY SEEDING	PS = PERMANENT SEEDING

NOTE: SEE SHEET C0.12 AND C0.13 FOR CONSTRUCTION DETAILS

LEGEND:	
	CONSTRUCTION STAGING AREA/ CONSTRUCTION TRAILER LOCATION
	TEMPORARY CONSTRUCTION EXIT, SEE SHEET C0.13 FOR DETAIL
	PROPOSED STORM SEWER NETWORK
	LIMITS OF PROPOSED SILT FENCE, SEE SHEET C0.12 FOR DETAIL
	TEMPORARY STOCK PILE LOCATION

NW 182ND AVENUE
AKA COUNTY ROAD NO. 340
(100' R/W WIDTH)

TEMPORARY STOCK PILE LOCATION
MAX. STOCK PILE LIMITS FOR
EXCESS SOIL AND ROCK
20'-25' MAX. HEIGHT
4:1 MAX. SIDE SLOPE
(TO BE REMOVED WITHIN 180 DAYS
OF COMPLETION)

TEMPORARY CONSTRUCTION EXIT,
SEE SHEET C0.13 FOR DETAIL

PROPOSED DRY
STORMWATER
MANAGEMENT
FACILITY NO. 2

PROPOSED DRY
STORMWATER
MANAGEMENT
FACILITY NO. 1

PROPOSED DRY
STORMWATER
MANAGEMENT
FACILITY NO. 3

PROPOSED DRY
STORMWATER
MANAGEMENT
FACILITY NO. 4

PROPOSED DRY
STORMWATER
MANAGEMENT
FACILITY NO. 6

100' WIDE POWER LINE
EASEMENT

APPROXIMATE LOCATION OF
100' DUKE ENERGY EASEMENT



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est. 1988 FLORIDA
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SCALE
1"=100'

CONSTRUCTION DIVISIONS

CITY OF HIGH SPRINGS, FDP, AND SRWD
02/16/21 - 05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN

DESIGNED BY: J. THOMAS
CHECKED BY: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
FL PE No. 58206

SHEET NO. C0.21

NW 182ND AVENUE
AKA COUNTY ROAD NO. 340
(100' R/W WIDTH)

GOPHER TORTOISES ARE A THREATENED WILDLIFE SPECIES AND ARE PROTECTED BY STATE LAW, CHAPTER 68A-27.003, FLORIDA ADMINISTRATIVE CODE. IT IS AGAINST THE LAW TO KILL, HARASS OR DESTROY GOPHER TORTOISES, THEIR EGGS OR BURROWS.

AN ILLEGAL TAKE OF A GOPHER TORTOISE BURROW INCLUDES, BUT IS NOT LIMITED TO: DAMAGING, COLLAPSING OR COVERING A GOPHER TORTOISE BURROW FROM LAND CLEARING, BULLDOZING, GRADING, PAVING, OR BUILDING CONSTRUCTION ASSOCIATED WITH LAND DEVELOPMENT. WITHOUT A PERMIT, GOPHER TORTOISES MUST BE RELOCATED BEFORE ANY LAND CLEARING OR DEVELOPMENT TAKES PLACE. AND PROPERTY OWNERS MUST OBTAIN PERMITS FROM FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION BEFORE THEY CAN MOVE THEM.


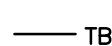
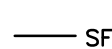
A FWC PERMIT IS NOT REQUIRED IF DEVELOPMENT ACTIVITY ON A PROJECT SITE AVOIDS IMPACTS TO TORTOISE BURROWS BY 25 FEET IN ALL DIRECTIONS FROM THE MOUTH OF ALL BURROWS. DEVELOPMENT ACTIVITY MUST NOT HARM GOPHER TORTOISES NOR VIOLATE RULES PROTECTING THEM. LEAVING A 50-FOOT DIAMETER (25-FOOT RADIUS) CIRCLE OF HABITAT AROUND EACH BURROW (E.G., UNDISTURBED ISLANDS OR CROP CIRCLES) AND DEVELOPING THE REST OF A PROJECT SITE DOES NOT QUALIFY AND REQUIRES A PERMIT TO ENSURE THAT GOPHER TORTOISES ARE NOT HARMED.

PROPERTIES SHOULD BE INSPECTED FOR GOPHER TORTOISE BURROWS BEFORE LAND CLEARING ACTIVITIES BEGIN. IF GOPHER TORTOISES BURROWS ARE FOUND WITHIN AREAS PROPOSED FOR DEVELOPMENT, CONTACT THE NORTH CENTRAL REGION GOPHER TORTOISE PERMITTING OFFICE TO MAKE SURE THAT THE APPROPRIATE PERMITS ARE SECURED BEFORE COMMENCING DEVELOPMENT.

NORTH CENTRAL REGION
SPECIES CONSERVATION PLANNING SECTION
FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION
(850) 921-1029; FAX (850) 488-5297

IF YOU SUSPECT A WILDLIFE LAW VIOLATION, REPORT IT TO THE FWC'S WILDLIFE ALERT REWARD PROGRAM AT 888-404-FWCC, 24-HOURS A DAY OR ONLINE AT [HTTP://MYFWC.COM/CONTACT](http://myfwc.com/contact)

LEGEND

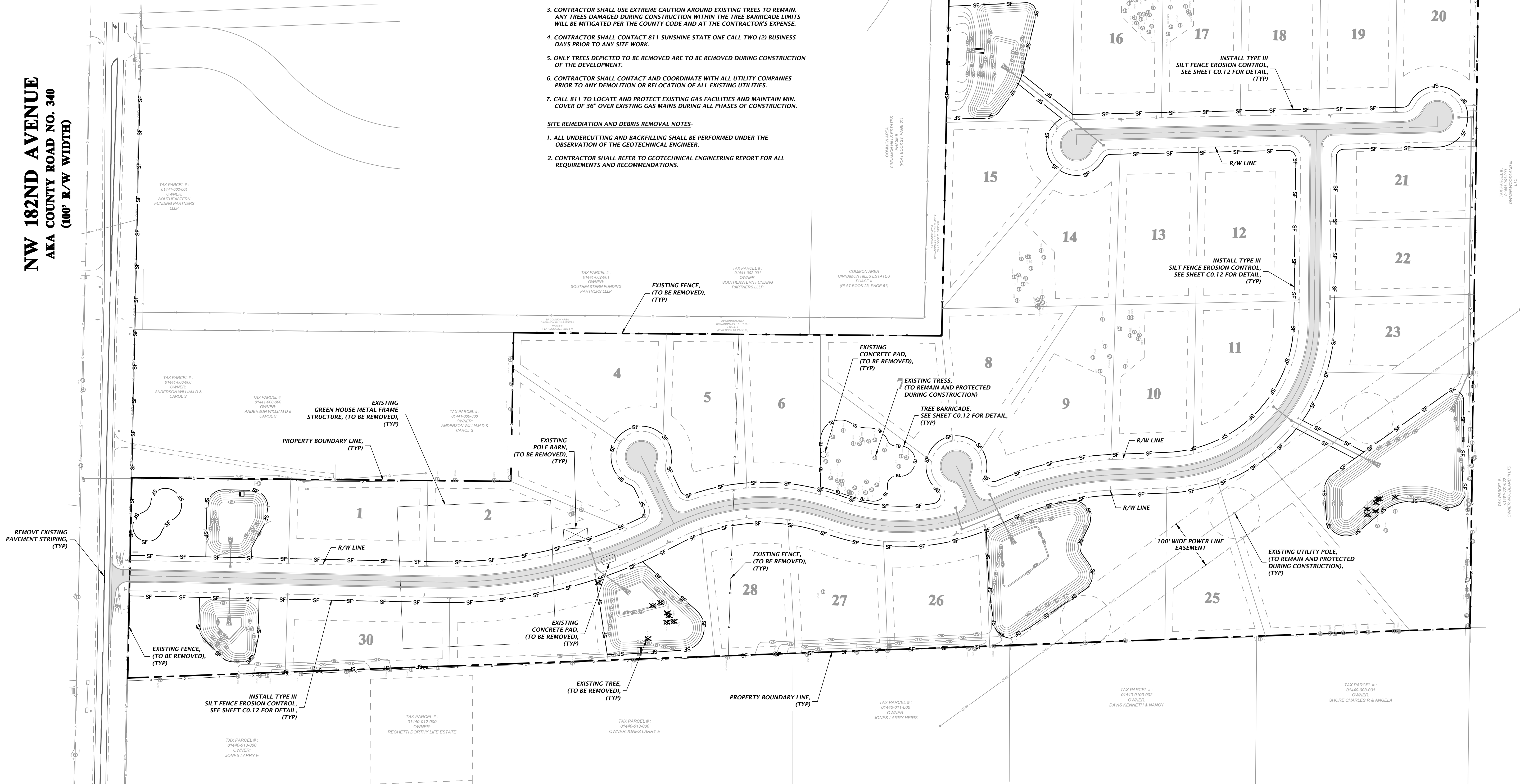
-  EXISTING TREE, (TO BE REMOVED)
-  TB LIMITS OF TREE BARRICADE
-  SF LIMITS OF SILT FENCE

GENERAL NOTES:

- ALL EXISTING ON-SITE UTILITIES, PAVEMENT, AND CONCRETE SHALL BE REMOVED. AS SHOWN EITHER AS HATCHED OR DARKENED.
- CONTRACTOR SHALL INSTALL TREE BARRICADES AND EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK IN LOCATIONS DEPICTED.
- CONTRACTOR SHALL USE EXTREME CAUTION AROUND EXISTING TREES TO REMAIN. ANY TREES DAMAGED DURING CONSTRUCTION WITHIN THE TREE BARRICADE LIMITS WILL BE MITIGATED PER THE COUNTY CODE AND AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL CONTACT 811 SUNSHINE STATE ONE CALL TWO (2) BUSINESS DAYS PRIOR TO ANY SITE WORK.
- ONLY TREES DEPICTED TO BE REMOVED ARE TO BE REMOVED DURING CONSTRUCTION OF THE DEVELOPMENT.
- CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO ANY DEMOLITION OR RELOCATION OF ALL EXISTING UTILITIES.
- CALL 811 TO LOCATE AND PROTECT EXISTING GAS FACILITIES AND MAINTAIN MIN. COVER OF 36" OVER EXISTING GAS MAINS DURING ALL PHASES OF CONSTRUCTION.

SITE REMEDIATION AND DEBRIS REMOVAL NOTES:

- ALL UNDERCUTTING AND BACKFILLING SHALL BE PERFORMED UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT FOR ALL REQUIREMENTS AND RECOMMENDATIONS.



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SCALE 1"=100'

CONSTRUCTION DIVISIONS

DATE: 02/16/21
PROJECT: 05/25/21 - SRWMD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: DEMOLITION AND TREE PROTECTION PLAN

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE

FLORIDA PROFESSIONAL ENGINEER

No. 58206

FL PE No. 58206

SHEET NO. C0.30

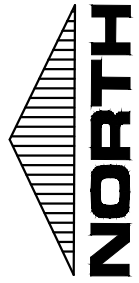
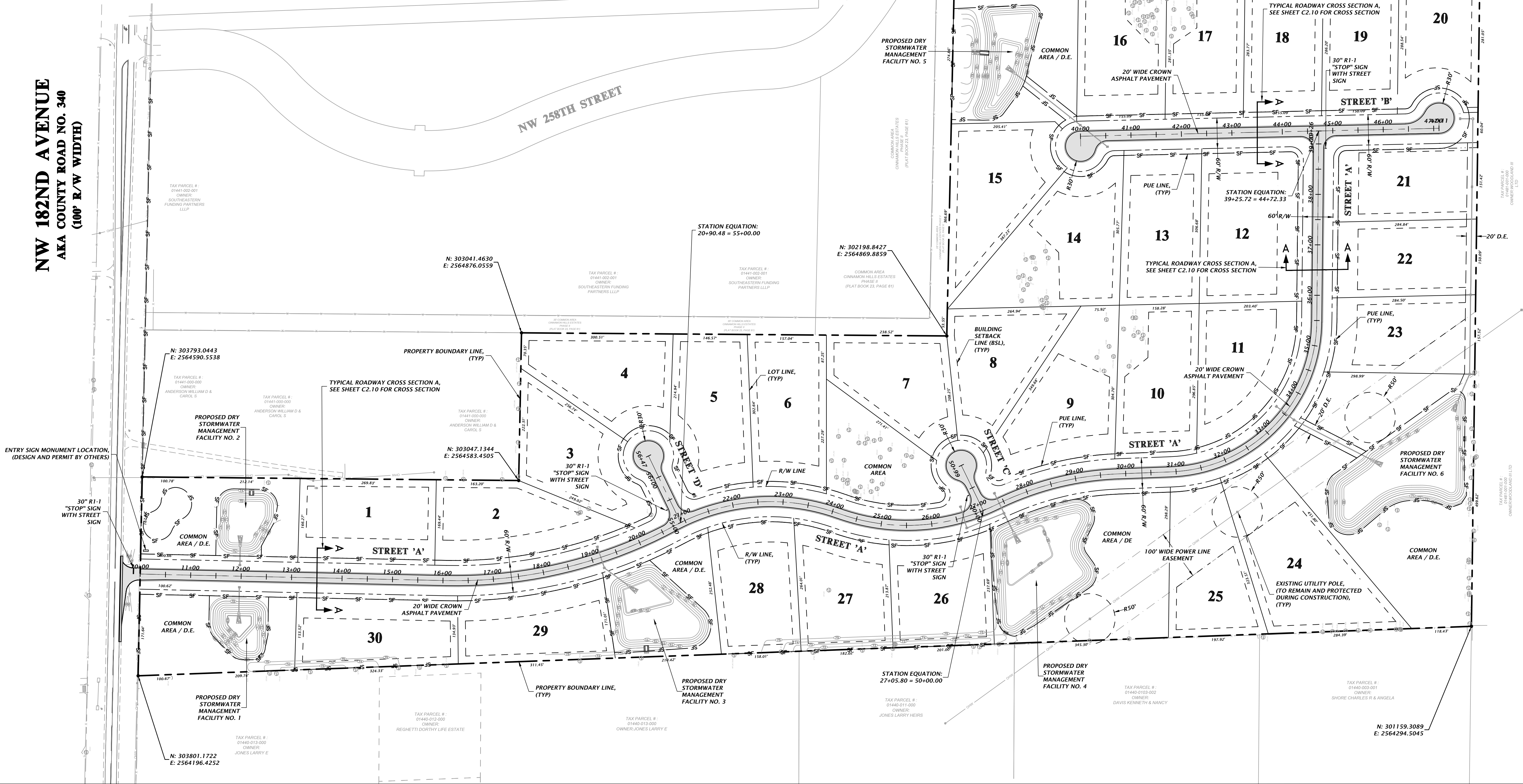
NW 182ND AVENUE
AKA COUNTY ROAD NO. 340
(100' R/W WIDTH)

CLAY ELECTRIC NOTES:

THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP (CEC).

LOT/BUILDING REQUIREMENTS:

TYPE	REQUIRED
FRONT SETBACK (FT)	50' (SAME FOR ACCESSORY STRUCTURES)
REAR SETBACK (FT)	15' (15' FOR ACCESSORY STRUCTURES)
SIDE (INTERIOR) SETBACK (FT)	15' (15' FOR ACCESSORY STRUCTURES)



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SCALE 1"=100'

CONSTRUCTION DIMENSIONS

DATE: 02/16/21
CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEYVUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: MASTER DEVELOPMENT PLAN

DESIGNER: J. THOMAS
PROJECT: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
No. 58206
JUL 2021
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

FL PE No. 58206
SHEET NO.:
C1.00

NW 182ND AVENUE
AKA COUNTY ROAD NO. 340
(100' R/W WIDTH)

GENERAL NOTES:

1. LOTS WITH FE SHALL HAVE AN ABSOLUTE MINIMUM FINISHED FLOOR ELEVATION BASED UPON THE MAXIMUM FLOOD ELEVATION OF THE ADJACENT STORMWATER MANAGEMENT FACILITY IN NO CASE SHALL THE MINIMUM FINISHED FLOOR ELEVATION OF THESE LOTS BE BELOW THE ELEVATION GIVEN (" ELEV).
2. CONTRACTOR SHALL GRADE TO PROPOSED CONTOURS, VERTICAL PROFILE GRADE, AND SPOT ELEVATIONS.
3. ALL DISTURBED AREAS SHALL BE SEEDED.
4. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.

DRAINAGE SPECIFICATIONS:

STORMWATER INFRASTRUCTURE ARE REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS:

1. CURB INLET TOPS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 425-020 AND 425-010.
2. DITCH BOTTOM INLETS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 425-052 AND 425-053.
3. MANHOLES SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 425-001.
4. STRUCTURE BOTTOMS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 425-010 AND 425-001. (ALL GIVEN STRUCTURE BOTTOM ARE ROUND, SQUARE EQUIVALENTS MAY BE USED).
5. MITERED END SECTIONS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 430-022.

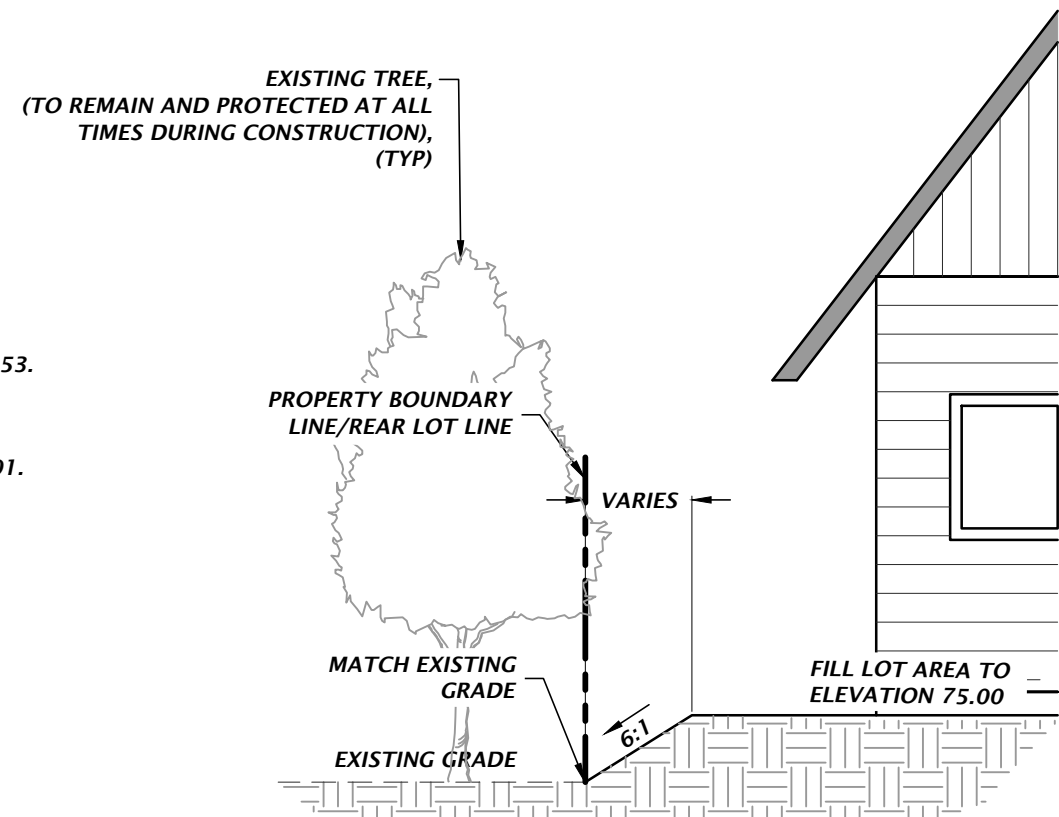
LOT GRADING NOTES:

1. LOTS ARE ALL GREATER THAN 1 ACRE AND AS SUCH EXTENSIVE LOT GRADING IS NOT ANTICIPATED. FINISH FLOOR ELEVATIONS (FFE) SHALL BE SET TO BE ABOVE THE FRONTING ROADWAY AND LOTS GRADES FOR POSITIVE DRAINAGE AWAY FROM THE HOMES TO THE GRASS/LAWNS. IN GENERAL RUNOFF SHOULD NOT BE CHanneled AND SHOULD BE ENCOURAGED TO REMAIN IN SHALLOW SHEET FLOW TOWARD THE ROADSIDE SWALES OR TO THE ADJACENT OPEN SPACES OR STORMWATER MANAGEMENT FACILITIES.

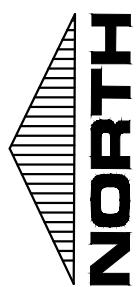
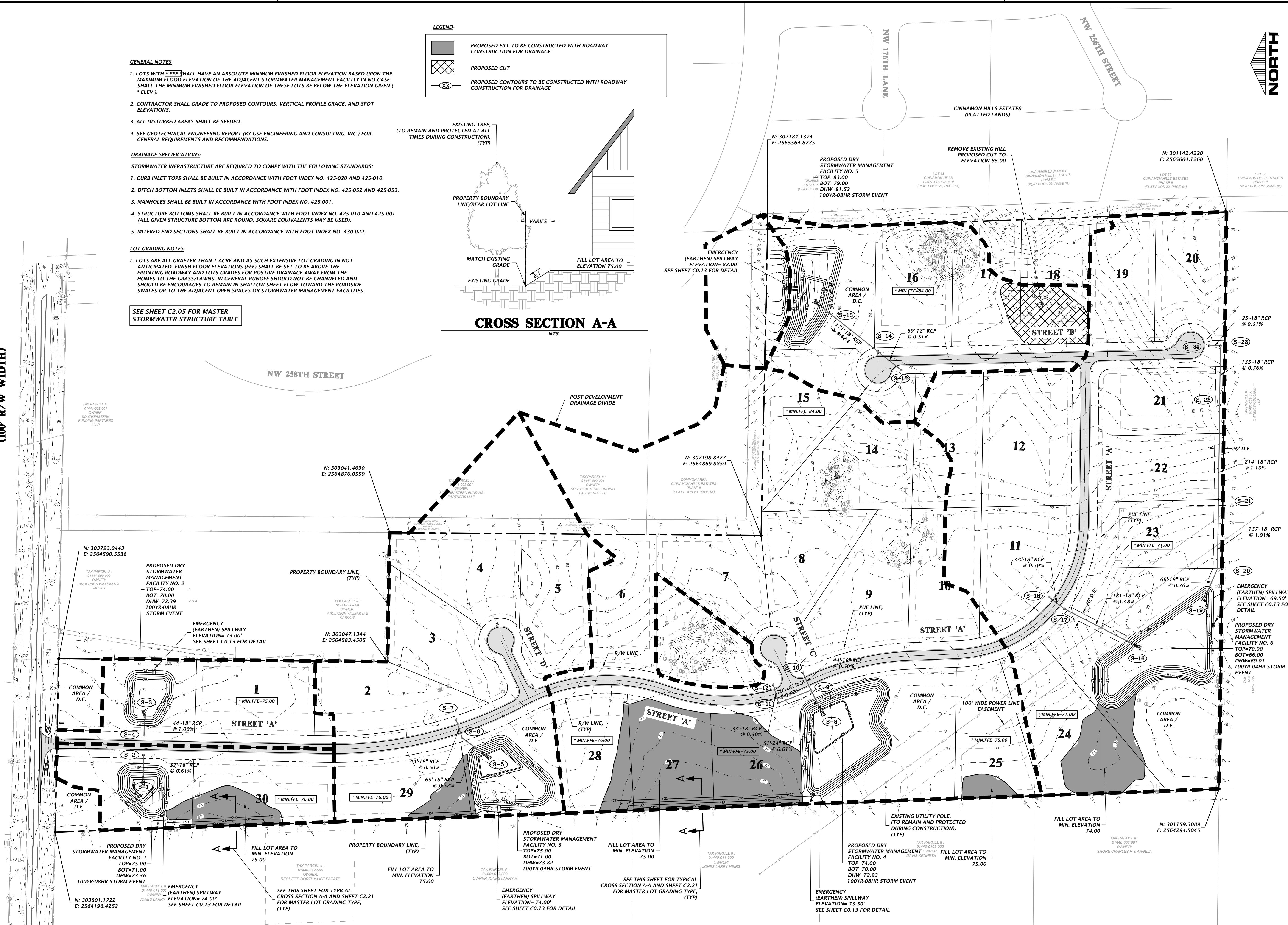
SEE SHEET C2.05 FOR MASTER
STORMWATER STRUCTURE TABLE

LEGEND:

- PROPOSED FILL TO BE CONSTRUCTED WITH ROADWAY CONSTRUCTION FOR DRAINAGE
- PROPOSED CUT
- PROPOSED CONTOURS TO BE CONSTRUCTED WITH ROADWAY CONSTRUCTION FOR DRAINAGE



CROSS SECTION A-A
NTS



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CONSTRUCTION IN FEET AND INCHES

DATE: 02/16/21
CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 SRWD
07/14/21 CITY OF HIGH SPRINGS

CLIENT: GEE VUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: MASTER GRADING AND DRAINAGE PLAN

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
REGISTERED PROFESSIONAL ENGINEER
FLORIDA
No. 58206
JUL 2021
STATE OF FLORIDA

FL PE No. 58206
SHEET NO.
C2.00

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STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	18" MITERED END SECTION PER FDOT INDEX 430-021	N/A	67.75' E	18"	N: 303601.74 E: 2564314.84
S-2	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	73.15'	68.10' W	18"	N: 303600.53 E: 2564371.83
S-3	18" MITERED END SECTION PER FDOT INDEX 430-021	N/A	70.00' W	18"	N: 303598.77 E: 2564459.67
S-4	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	73.15'	70.44' E	18"	N: 303599.59 E: 2564415.82
S-5	18" MITERED END SECTION PER FDOT INDEX 430-021	N/A	68.50' NE	18"	N: 302824.80 E: 2564371.48
S-6	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	73.89'	68.84' E 68.84' SW	18"	N: 302877.41 E: 2564410.21
S-7	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	73.89'	69.06' W	18"	N: 302891.22 E: 2564451.99
S-8	24" MITERED END SECTION PER FDOT INDEX 430-021	N/A	68.50' NE	24"	N: 302062.74 E: 2564472.92
S-9	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	74.40'	68.81' N 68.81' SW 68.81' NE	18" 24" 18"	N: 302085.50 E: 2564518.56
S-10	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	74.40'	69.03' SW	18"	N: 302104.47 E: 2564558.26
S-11	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	74.42'	69.21' E 69.21' S	18" 18"	N: 302159.31 E: 2564489.32
S-12	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	74.42'	69.43' W	18"	N: 302171.64 E: 2564531.56
S-13	18" MITERED END SECTION PER FDOT INDEX 430-021	N/A	76.00' SW	18"	N: 302068.13 E: 2565393.71
S-14	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	81.76'	76.71' SW 76.71' NE	18" 18"	N: 301934.43 E: 2565287.68
S-15	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	81.97'	77.06' NE	18"	N: 301880.56 E: 2565244.86
S-16	30" MITERED END SECTION PER FDOT INDEX 430-021	N/A	66.00' NE	18"	N: 301349.66 E: 2564620.60
S-17	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	73.73'	68.68' NE 68.68' SW	18" 18"	N: 301510.96 E: 2564703.47
S-18	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	73.73'	68.90' SW	18"	N: 301545.78 E: 2564730.37
S-19	18" MITERED END SECTION PER FDOT INDEX 430-021	N/A	66.00' SE	18"	N: 301189.40 E: 2564734.21
S-20	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	70.50'	66.50' E 66.50' NW	18" 18"	N: 301162.87 E: 2564794.26

NOTE: CHAIN GRATES IN ACCORDANCE WITH FDOT INDEX 425-001

STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-21	STORM MANHOLE PER FDOT INDEX 425-001	75.50'	69.50' E 69.50' W	18" 18"	N: 301160.84 E: 2564951.37
S-22	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	79.50'	71.85' E 71.85' W	18" 18"	N: 301158.08 E: 2565165.45
S-23	STORM MANHOLE PER FDOT INDEX 425-001	77.75'	72.87' N 72.87' W	18" 18"	N: 301156.34 E: 2565300.09
S-24	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	75.62'	73.00' S	18"	N: 301181.62 E: 2565300.42

NOTE: CHAIN GRATES IN ACCORDANCE WITH FDOT INDEX 425-001

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CONSTRUCTION DIVISIONS

02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT

GEE YUE ESTATE

PROJECT

SPRINGFIELD

SHEET TITLE

STORMWATER STRUCTURE TABLE

DESIGNER
J. THOMAS

PROJECT
J. THOMAS

QUALITY CONTROL
R. WALPOLE

PROJECT NUMBER
18-0273

ROBERT J. WALPOLE

Professional Engineer
No. 58206
July 1, 2021
STATE OF FLORIDA

FL PE No. 58206

SHEET NO.

C2.05

A

B

C

D

Tech: jwh Plot Date: Jul 14, 2021 10:15am Filename: N:\2018\B-0273\Engineering\Draws\Production\Plan\B-0273_C2.10_TCS.dwg

UTILITY PROVIDERS:

ELECTRIC:

CLAY ELECTRIC COOPERATIVE, INC.
11530 NW 39TH AVE.
GAINESVILLE, FLORIDA 32606

WATER:

CITY OF HIGH SPRINGS

COX:

6020 NW 43RD ST
GAINESVILLE, FLORIDA 32606
(352) 672-6083

WINDSTREAM:

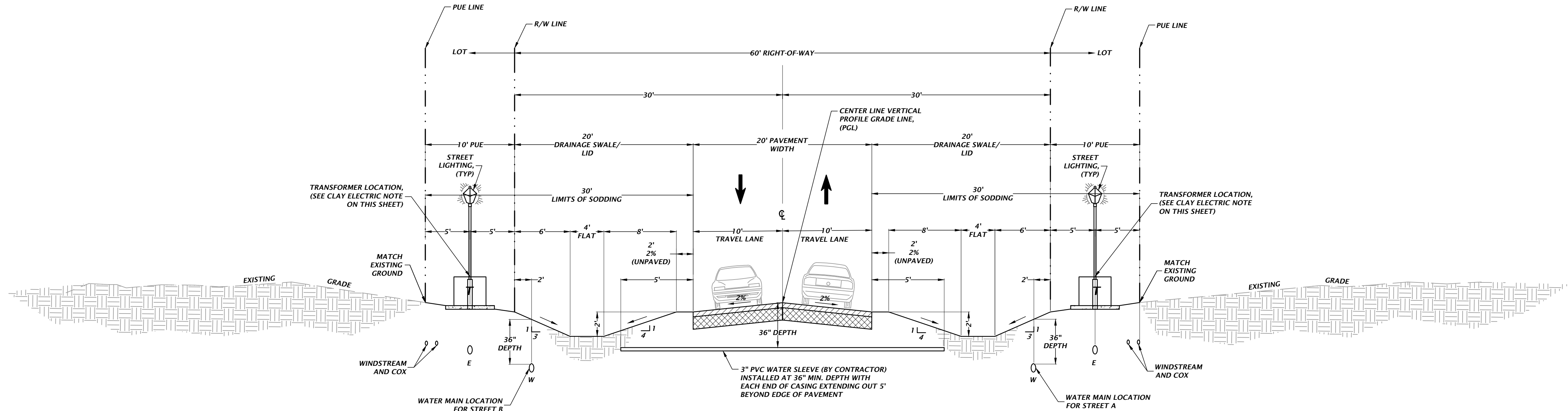
537 FL-47
LAKE CITY, FLORIDA 32025

SEWER:

INDIVIDUAL LOT SEPTIC SYSTEMS

CLAY ELECTRIC NOTES:

THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP (CEC).



TYPICAL ROADWAY CROSS SECTION 'A'

DESIGN SPEED = 25 MPH
POST SPEED = 20 MPH
N7S

RIGHT OF WAY WIDTH:	60'
PAVEMENT WIDTH:	20'
DESIGN SPEED:	25 MPH
TRAVEL LANES:	2 - 10' TRAVEL LANES FOR MOTORIZED VEHICLES
LANDSCAPE TYPE:	STREET TREES
SHOULDER:	2'
CLEAR ZONE:	6'

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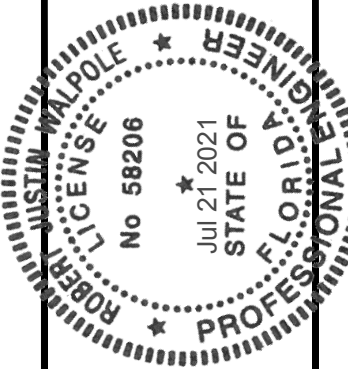
CONSTRUCTION DIVISIONS

REVISIONS:
02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: TYPICAL ROADWAY CROSS SECTION
AND UTILITY ALLOCATION

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE



FL PE No. 58206

SHEET NO.

C2.10

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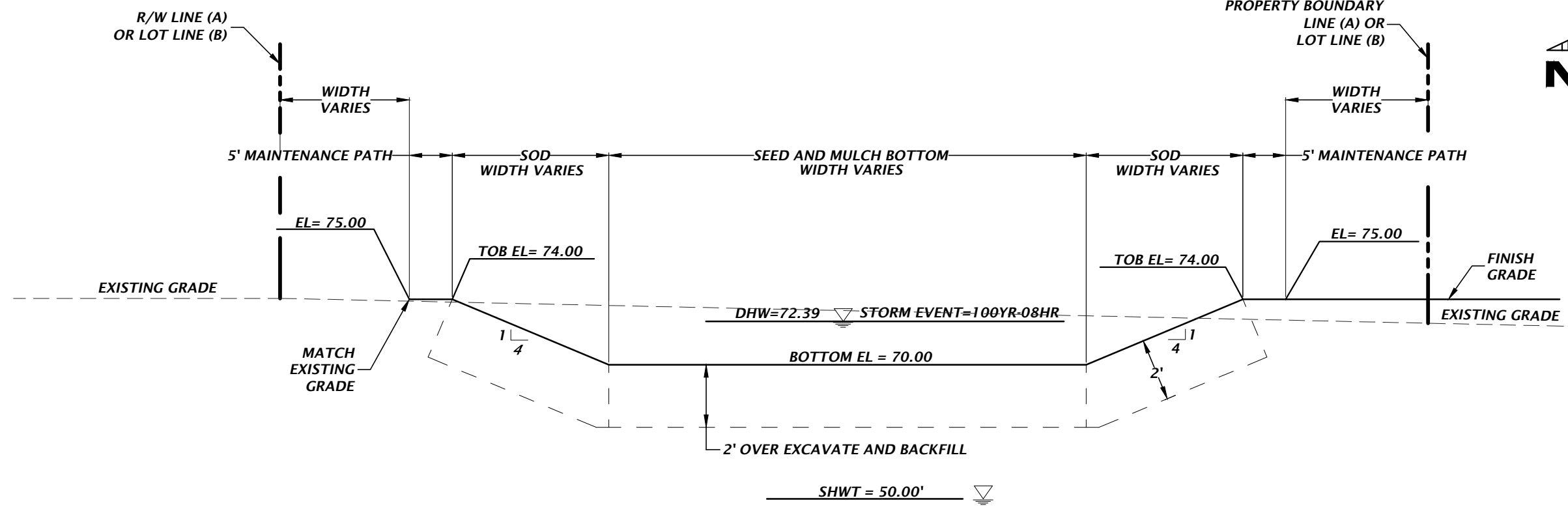
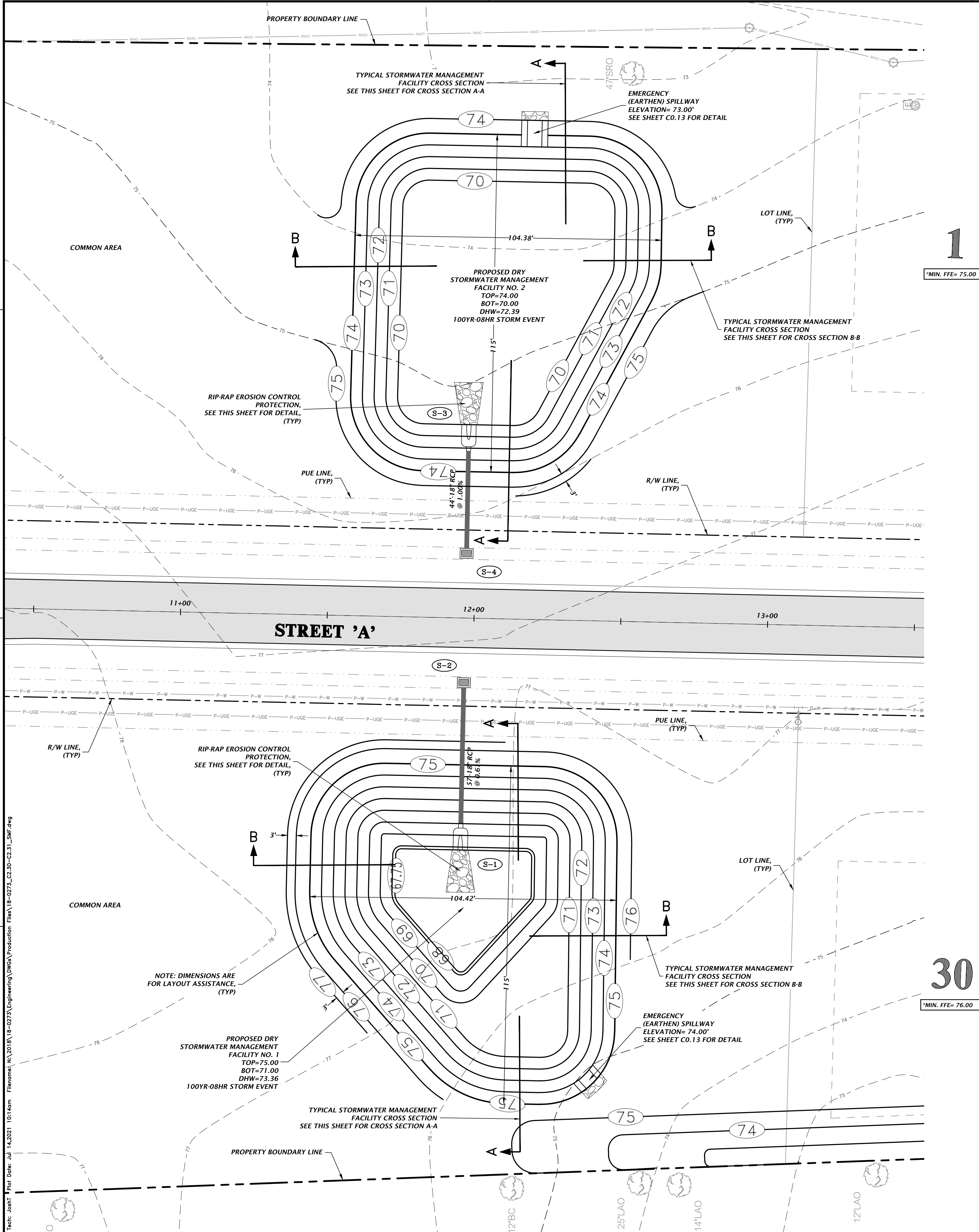
SCALE
1"=20'

CONSTRUCTION DIVISIONS
DATE: 02/16/21
05/25/21
07/14/21
CITY OF HIGH SPRINGS, FDP, AND SRWMD
CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: STORMWATER MANAGEMENT
FACILITY PLAN AND DETAIL
PROJECT NUMBER: 18-0273

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
ROBERT J. WALPOLE
No. 58206
JUL 2021
STATE OF FLORIDA
PROFESSIONAL ENGINEER
FL PE No. 58206
SHEET NO.

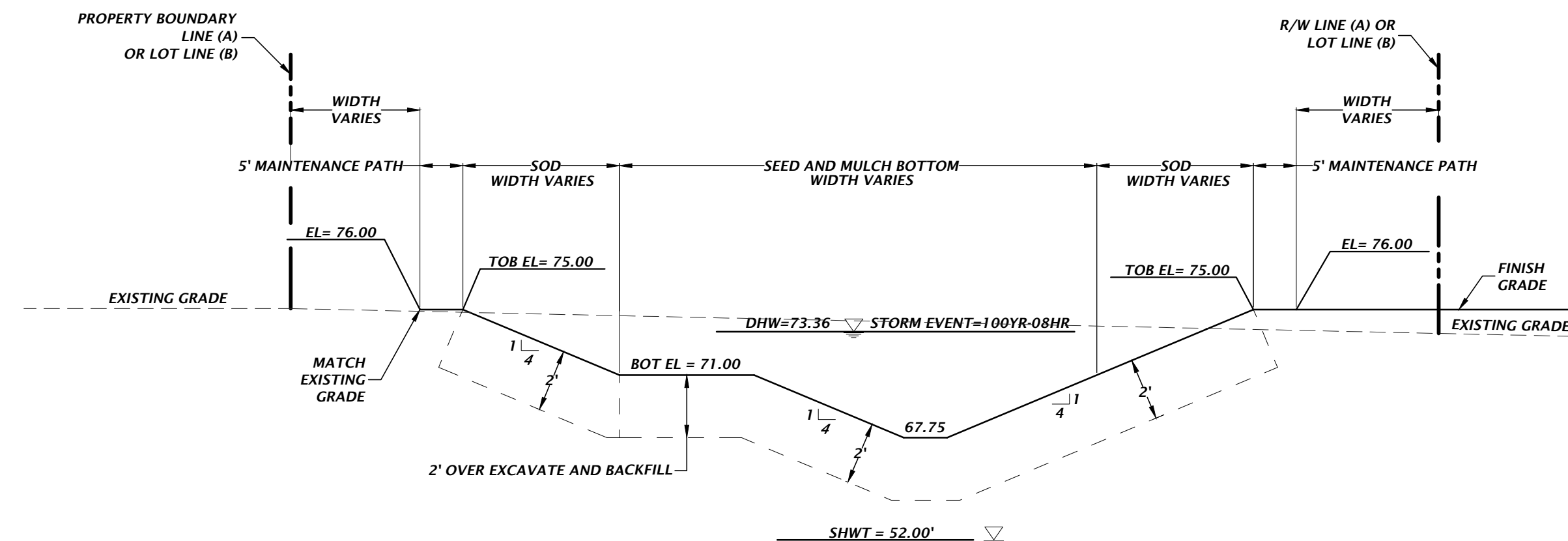
C2.30



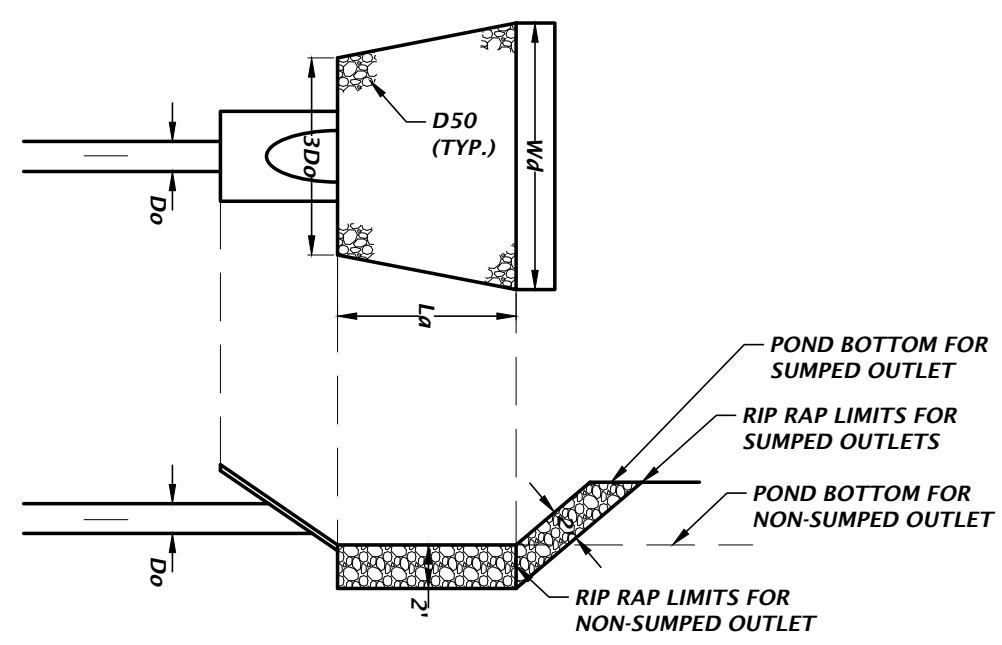
DRY RETENTION STORMWATER MANAGEMENT FACILITY NO. 2 CROSS SECTION A-A AND B-B

GENERAL NOTES:

- IF A CONTINUOUS LIMESTONE FORMATION IS ENCOUNTERED IN THE BASIN AREA, CONTACT THE ENGINEER OF RECORD. THE LIMESTONE SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2 FEET BEYOND THE BASIN UNDERCUT LIMITS AND BACKFILLED PER NOTE 3 BELOW.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
- WHERE SILTY OR CLAYEY SOILS (SOILS WITH GREATER THAN 15% SOIL FINES) ARE ENCOUNTERED AT THE BASIN BOTTOMS, THE GEOTECHNICAL ENGINEER RECOMMENDS UNDERCUTTING THE BASIN BOTTOMS BY A MINIMUM OF 2 FEET AND BACKFILLING WITH SANDS AND SANDS WITH SILT (SP, SP-SM) HAVING A MAXIMUM OF 10% SOIL FINES AND A MINIMUM HYDRAULIC CONDUCTIVITY OF 10 FEET PER DAY. HYDRAULIC CONDUCTIVITY TESTS SHOULD BE PERFORMED ON THE BACKFILL AT A RATE OF 1 TEST PER 200 CUBIC YARDS OF MATERIAL PLACED.
- CONTRACTOR SHALL PROVIDE NOTIFICATION TO HIGH SPRINGS CONSTRUCTION INSPECTION OFFICE PRIOR TO UNDERCUT/BACKFILLING THE STORMWATER MANAGEMENT FACILITIES.



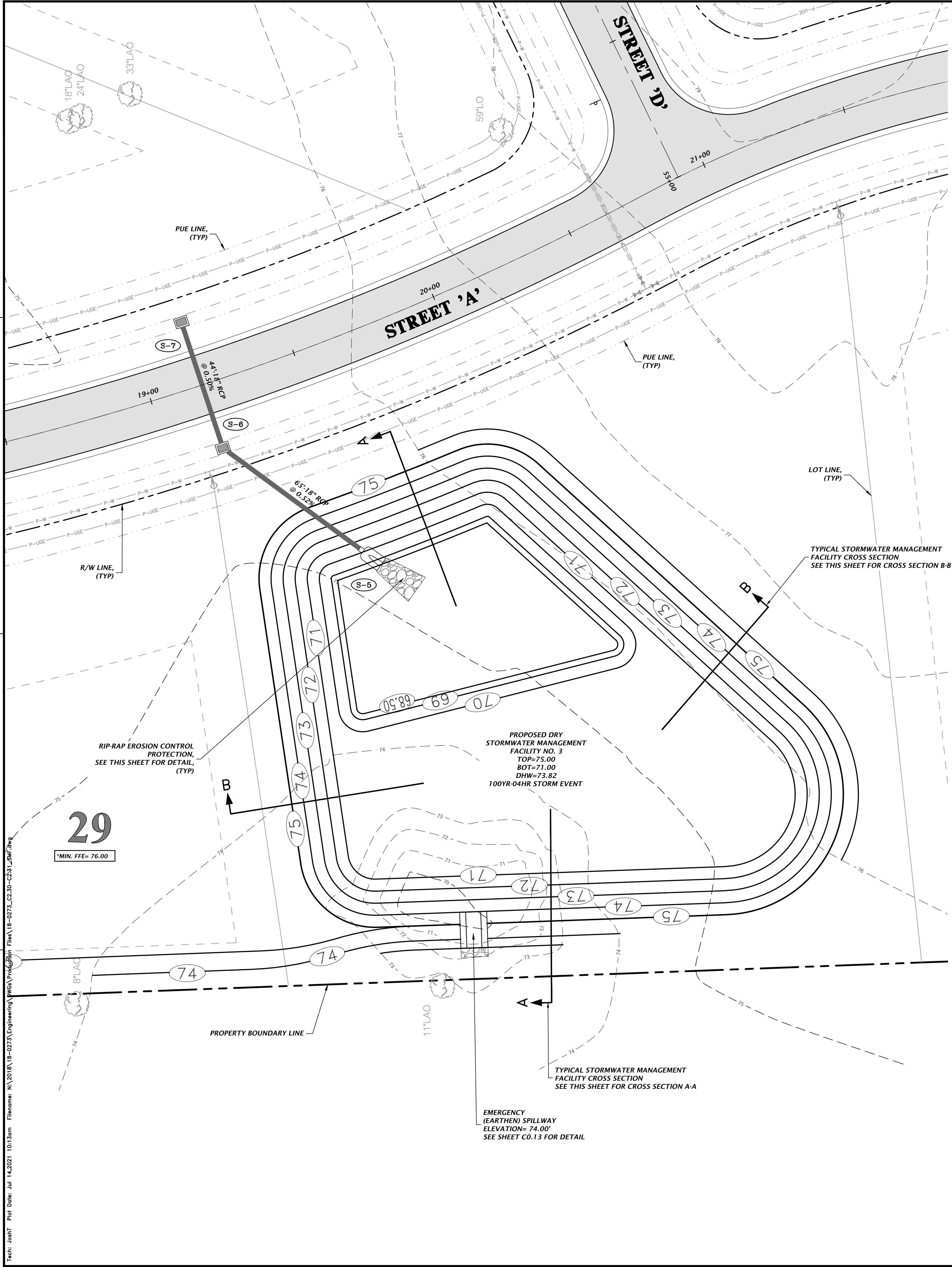
DRY RETENTION STORMWATER MANAGEMENT FACILITY NO. 1 CROSS SECTION A-A AND B-B



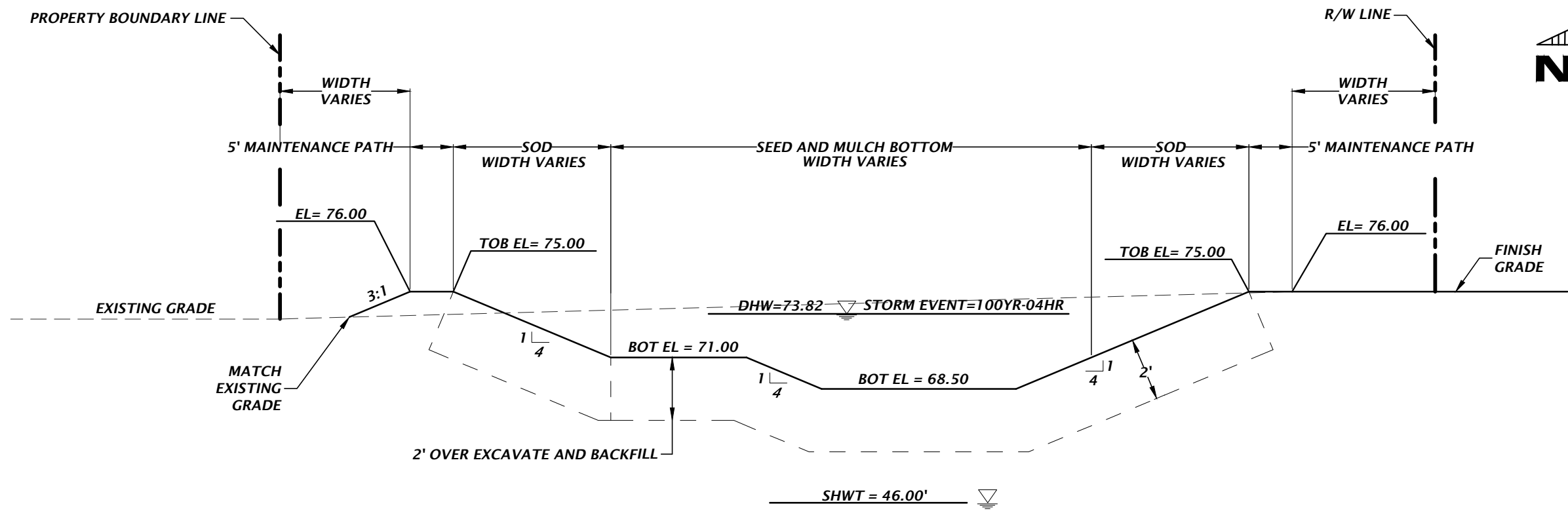
STRUCTURE ID	PIPE DIAMETER Do (ft)	RIP RAP SPREAD AT PIPE OUTLET 3Do (ft)	RIP RAP SPREAD AT END OF APRON Wd (ft)	LENGTH OF APRON La (ft)	MEDIAN RIP RAP SIZE D50 (ft)
S-1	1.5	4.5	14.5	10.0	0.4
S-3	1.5	4.5	14.5	10.0	0.4

RIP-RAP EROSION CONTROL PROTECTION DETAIL

NTS



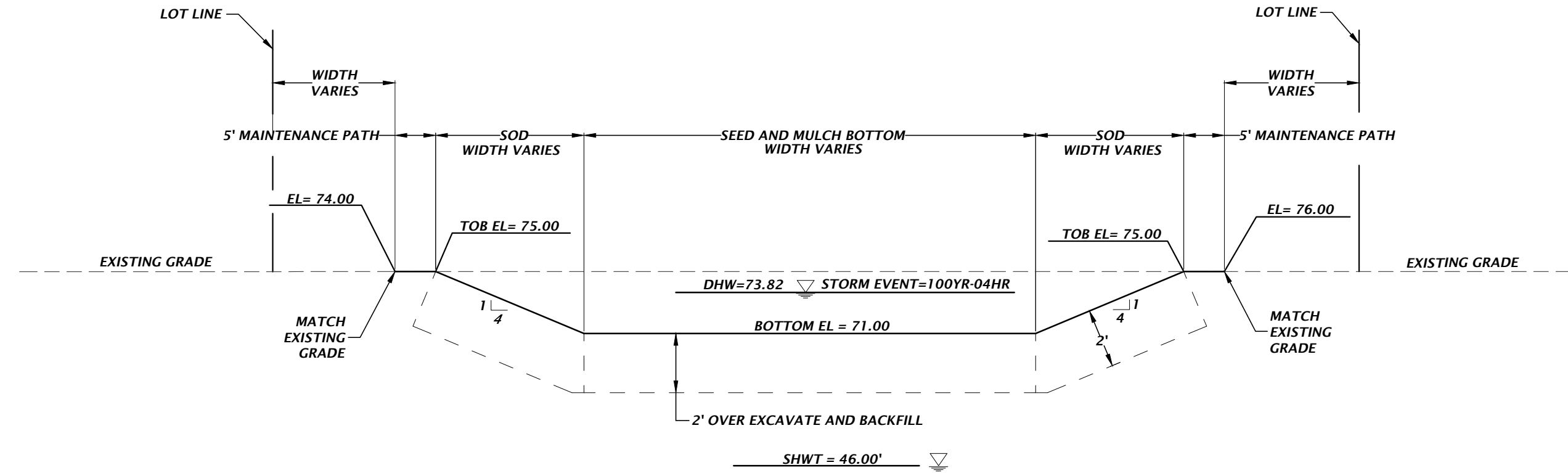
28
MIN. FFE= 76.00



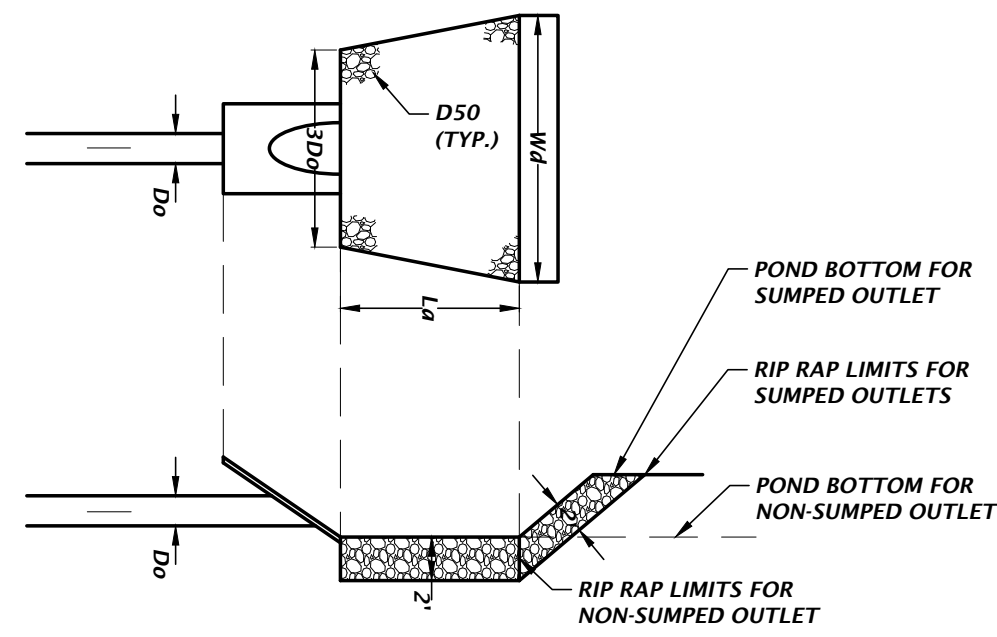
DRY RETENTION STORMWATER MANAGEMENT FACILITY NO. 3 CROSS SECTION A-A

GENERAL NOTES

- IF A CONTINUOUS LIMESTONE FORMATION IS ENCOUNTERED IN THE BASIN AREA, CONTACT THE ENGINEER OF RECORD. THE LIMESTONE SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2 FEET BEYOND THE BASIN UNDERCUT LIMITS AND BACKFILLED PER NOTE 3 BELOW.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
- WHERE SILTY OR CLAYEY SOILS (SOILS WITH GREATER THAN 15% SOIL FINES) ARE ENCOUNTERED AT THE BASIN BOTTOMS, THE GEOTECHNICAL ENGINEER RECOMMENDS UNDERCUTTING THE BASIN BOTTOMS BY A MINIMUM OF 2 FEET AND BACKFILLING WITH SANDS AND SANDS WITH SILT (SP, SP-SM) HAVING A MAXIMUM OF 10% SOIL FINES AND A MINIMUM HYDRAULIC CONDUCTIVITY OF 10 FEET PER DAY. HYDRAULIC CONDUCTIVITY TESTS SHOULD BE PERFORMED ON THE BACKFILL AT A RATE OF 1 TEST PER 200 CUBIC YARDS OF MATERIAL PLACED.
- CONTRACTOR SHALL PROVIDE NOTIFICATION TO HIGH SPRINGS CONSTRUCTION INSPECTION OFFICE PRIOR TO UNDERCUT/BACKFILLING THE STORMWATER MANAGEMENT FACILITIES.



DRY RETENTION STORMWATER MANAGEMENT FACILITY NO. 3 CROSS SECTION B-B



STRUCTURE ID	PIPE DIAMETER Do (ft)	RIP RAP SPREAD AT PIPE OUTLET 3Do (ft)	RIP RAP SPREAD AT END OF APRON Wd (ft)	LENGTH OF APRON La (ft)	MEDIAN RIP RAP SIZE D50 (ft)
S-5	1.5	4.5	14.5	10.0	0.4

RIP-RAP EROSION CONTROL PROTECTION DETAIL

NTS

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com

CHW
Professional Consultants

est. 1988 FLORIDA
CA-5075

VERTICAL SCALE ON
ORIGINAL DRAWING
1"=20'
HORIZONTAL SCALE ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

SCALE 1"=20'

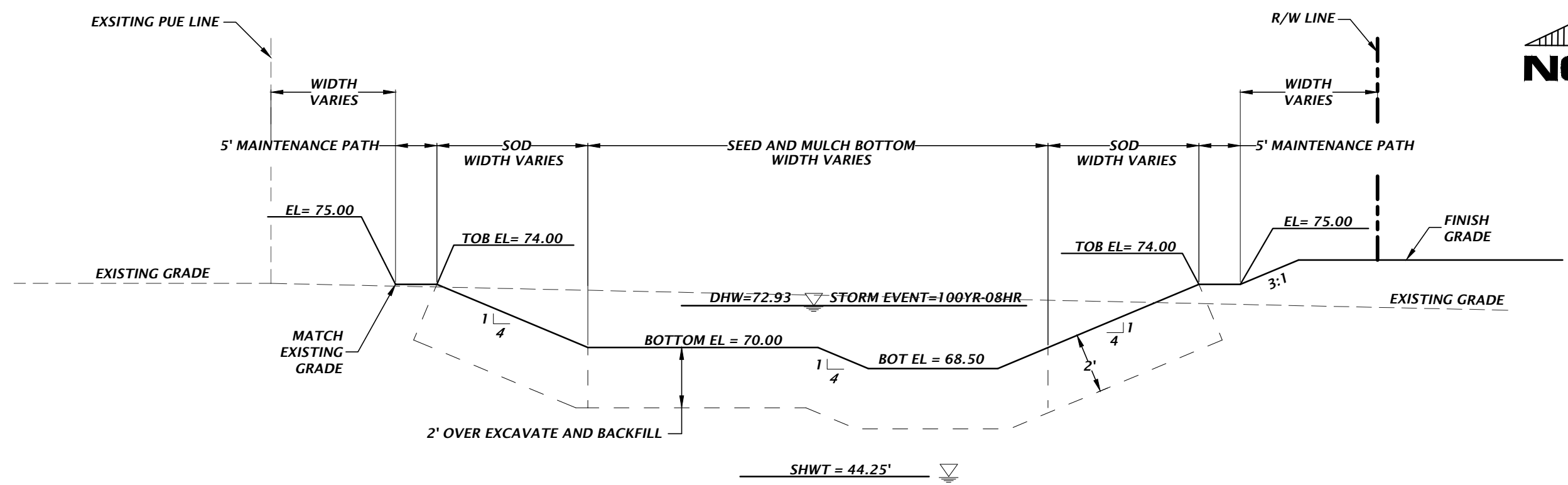
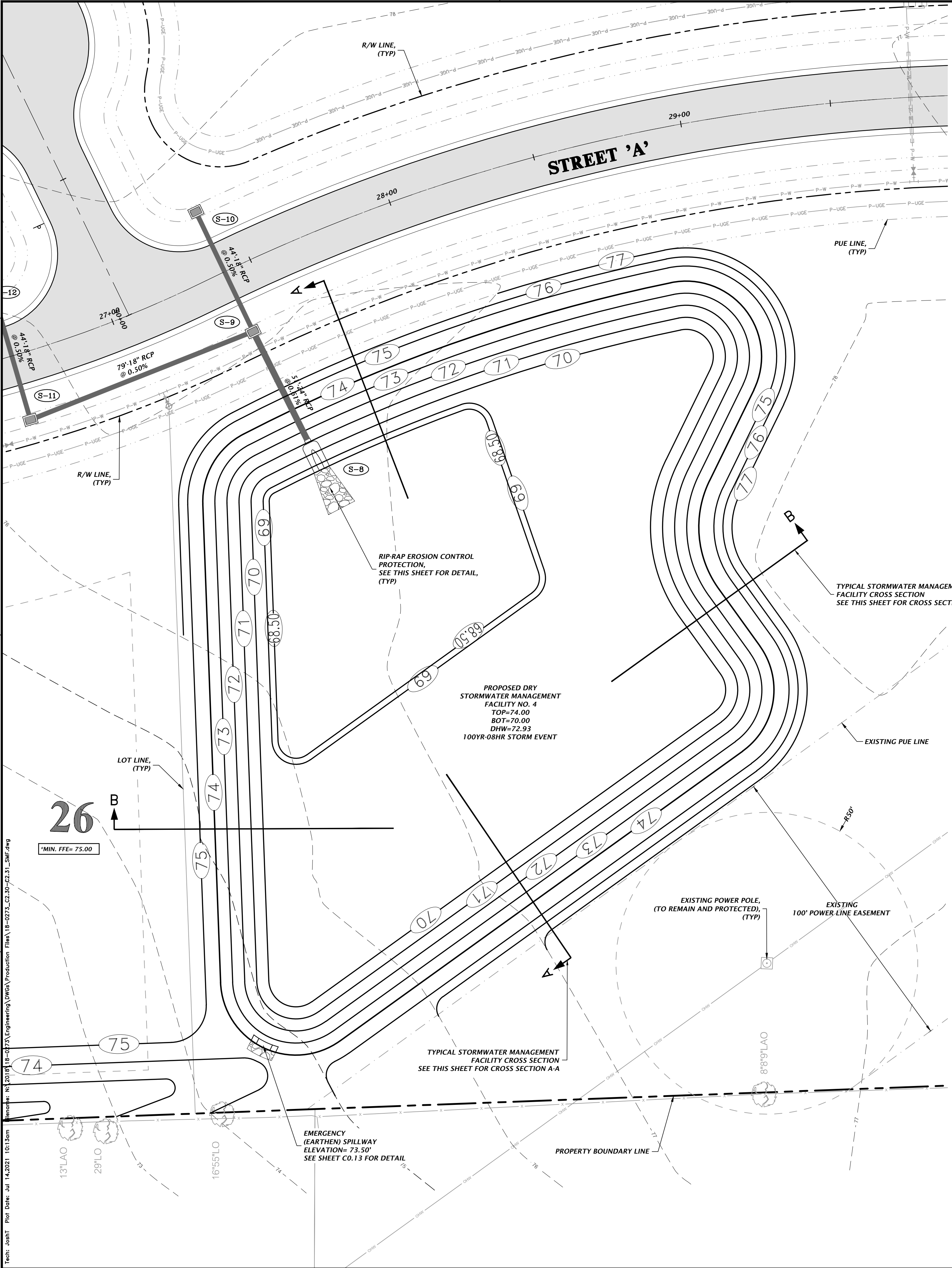
CONSTRUCTION DIVISIONS

DATE: 02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAIL
PROJECT NUMBER: 18-0273

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
FLORIDA PROFESSIONAL ENGINEER
No. 58206
JUL 2021
STATE OF FLORIDA
FL PE No. 58206
SHEET NO. C2.31

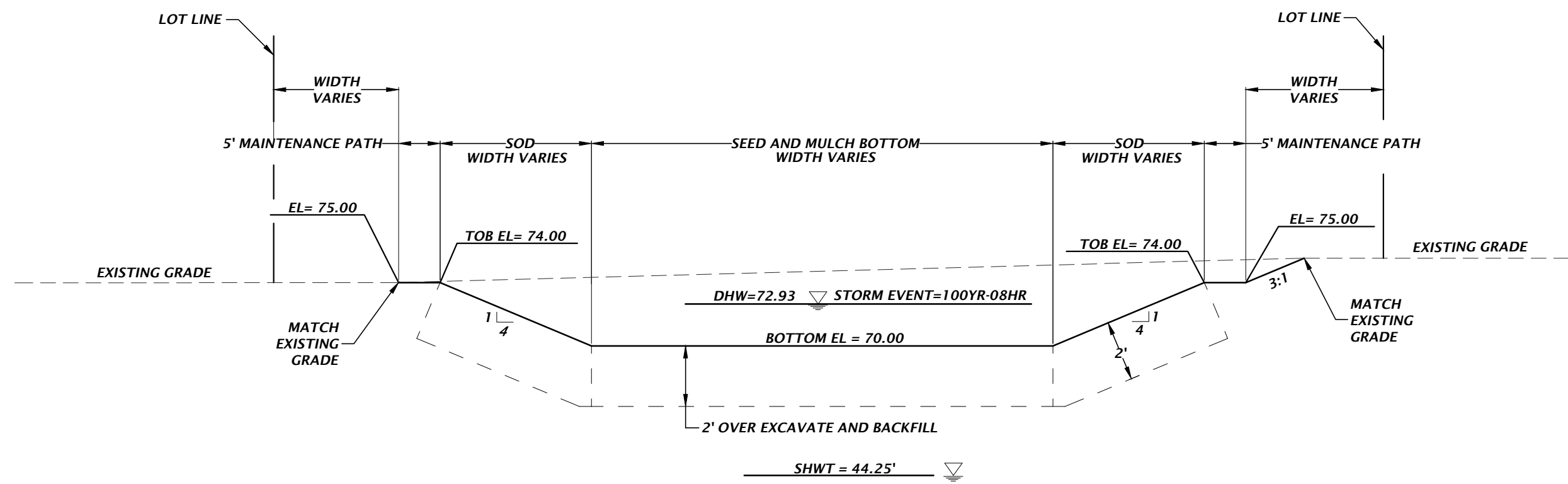


DRY RETENTION STORMWATER MANAGEMENT FACILITY NO. 4 CROSS SECTION A-A

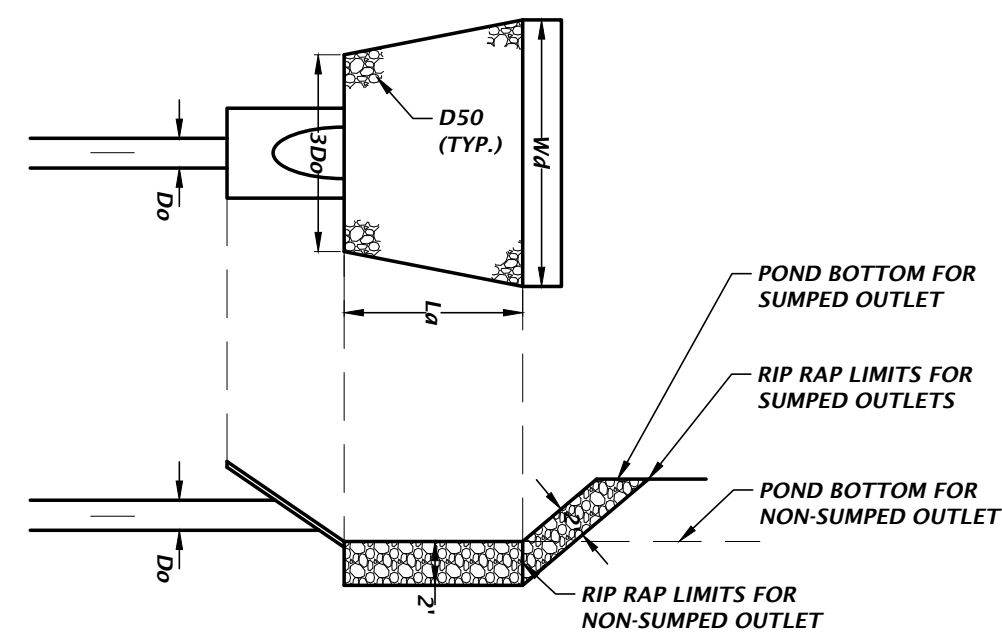
GENERAL NOTES:

- IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA, CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2 FEET BEYOND THE BASIN UNDERCUT LIMITS AND BACKFILLED PER NOTE 3 BELOW.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
- WHERE SILTY OR CLAYEY SOILS (SOILS WITH GREATER THAN 15% SOIL FINES) ARE ENCOUNTERED AT THE BASIN BOTTOMS, THE GEOTECHNICAL ENGINEER RECOMMENDS UNDERCUTTING THE BASIN BOTTOMS BY A MINIMUM OF 2 FEET AND BACKFILLING WITH SANDS AND SANDS WITH SILT (SP, SP-SM) HAVING A MAXIMUM OF 10% SOIL FINES AND A MINIMUM HYDRAULIC CONDUCTIVITY OF 10 FEET PER DAY. HYDRAULIC CONDUCTIVITY TESTS SHOULD BE PERFORMED ON THE BACKFILL AT A RATE OF 1 TEST PER 200 CUBIC YARDS OF MATERIAL PLACED.
- CONTRACTOR SHALL PROVIDE NOTIFICATION TO HIGH SPRINGS CONSTRUCTION INSPECTION OFFICE PRIOR TO UNDERCUT/BACKFILLING THE STORMWATER MANAGEMENT FACILITIES.

REFER TO THE GEOTECHNICAL REPORT (ECS PROJECT NO. 29508), DATED NOVEMBER 2019 FOR ADDITIONAL INFORMATION.



DRY RETENTION STORMWATER MANAGEMENT FACILITY NO. 4 CROSS SECTION B-B



STRUCTURE ID	PIPE DIAMETER Do (ft)	RIP RAP SPREAD AT PIPE OUTLET 3Do (ft)	RIP RAP SPREAD AT END OF APRON 4Do (ft)	LENGTH OF APRON La (ft)	MEDIAN RIP RAP SIZE D50 (ft)
S-8	2.0	6.0	22.0	16.0	0.5

RIP-RAP EROSION CONTROL PROTECTION DETAIL

NTS

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

SCALE: 1"=20'
VERIFY SCALE ON
ORIGINAL DRAWING
IF NOT THE SAME
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

CONSTRUCTION DIVISIONS

CLIENT: CITY OF HIGH SPRINGS, FDP, AND SRWD
PROJECT: 05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAIL

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

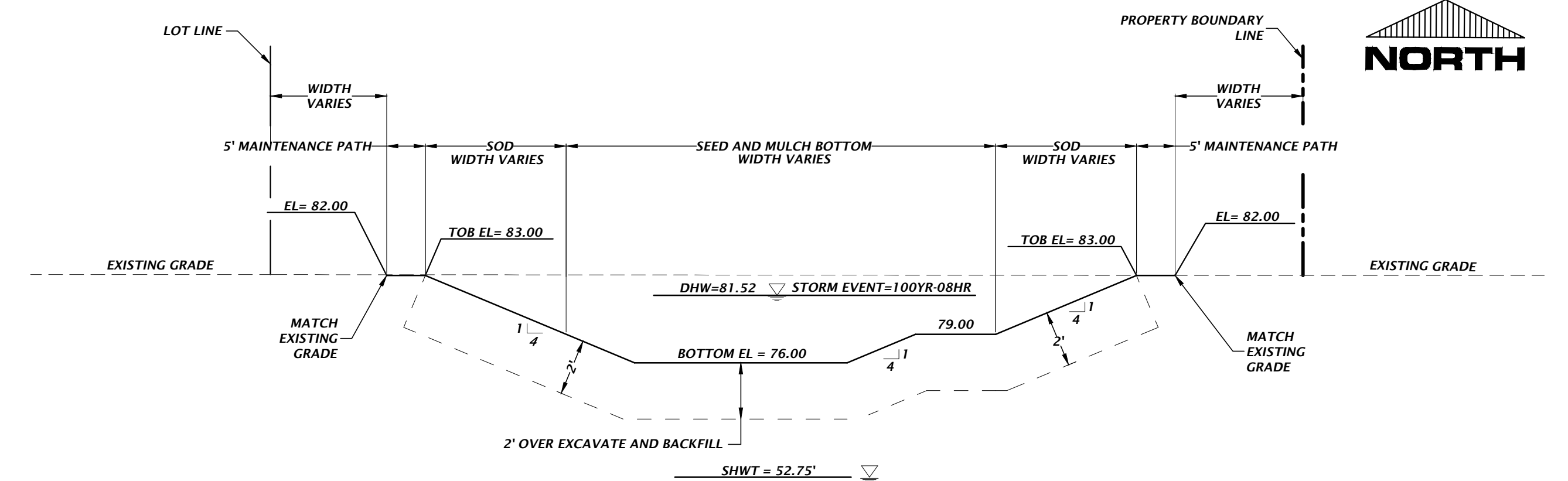
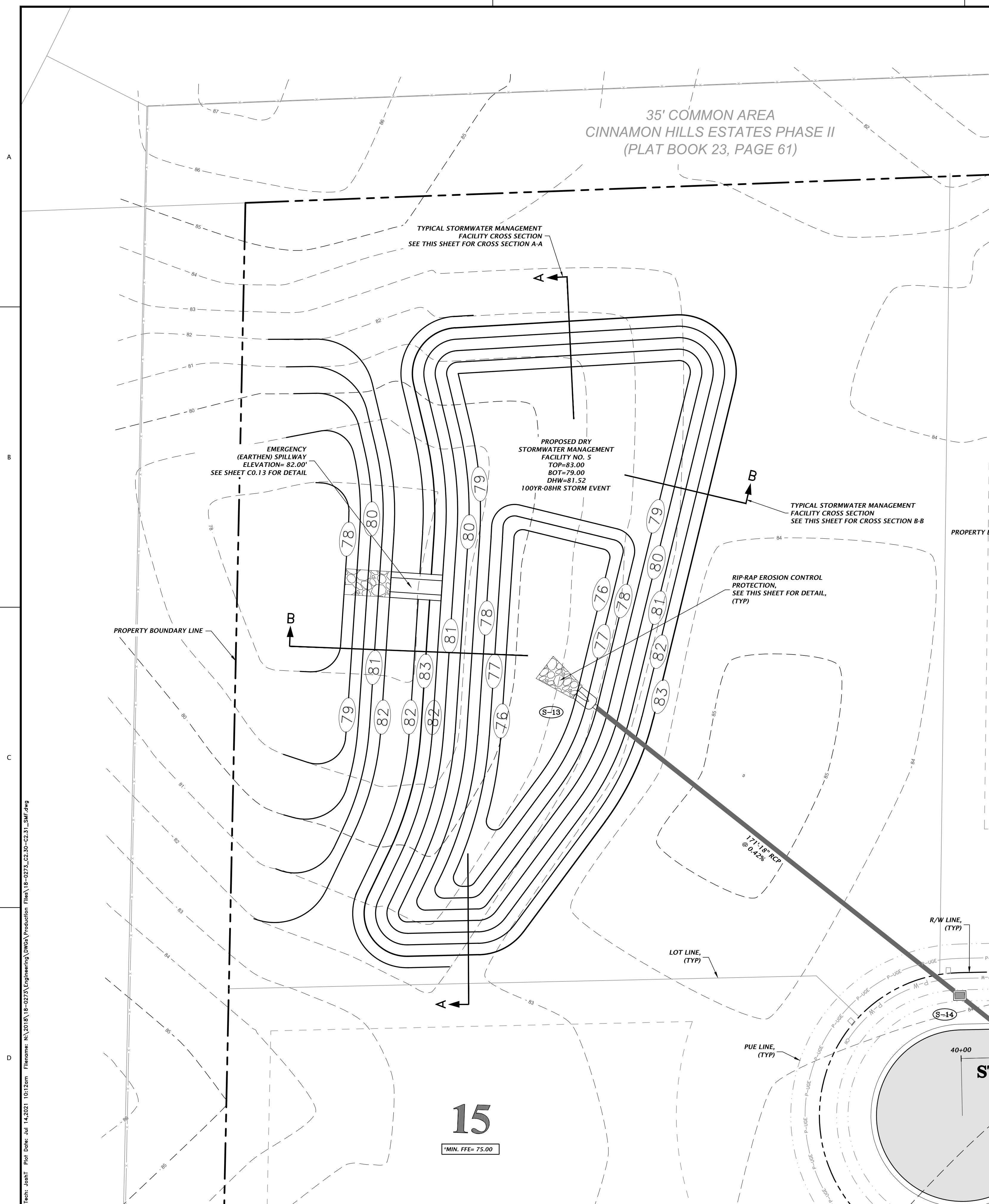
ROBERT J. WALPOLE

FLORIDA PROFESSIONAL ENGINEER
No. 58206
JUL 2021
STATE OF FLORIDA

FL PE No. 58206

SHEET NO.

C2.32



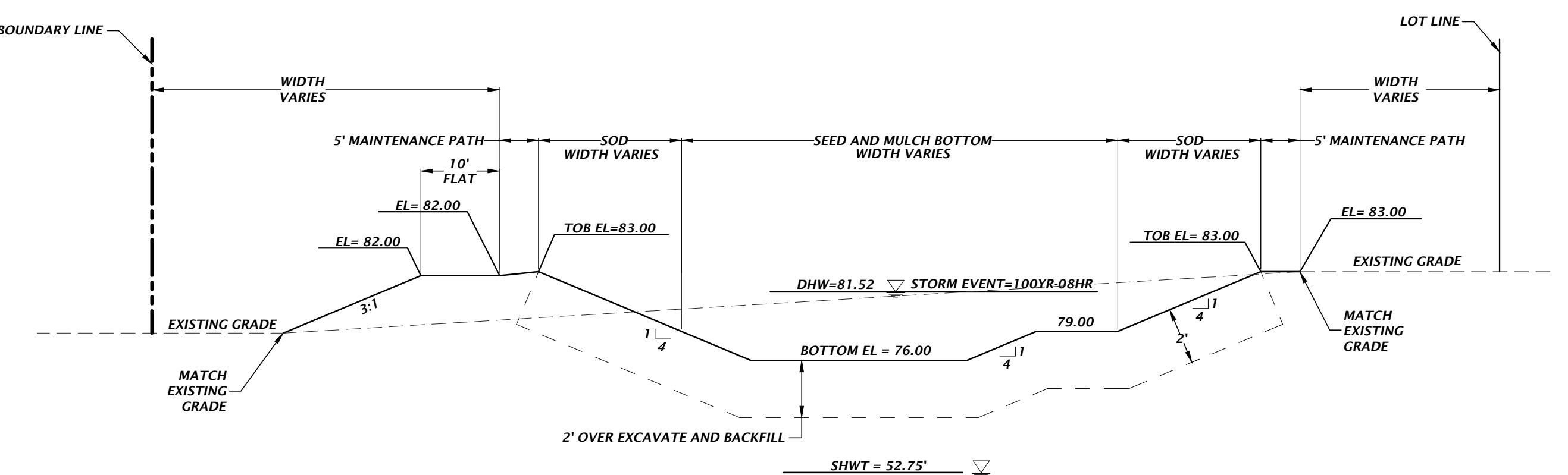
**DRY RETENTION
STORMWATER MANAGEMENT FACILITY NO. 5
CROSS SECTION A-A**

GENERAL NOTES-

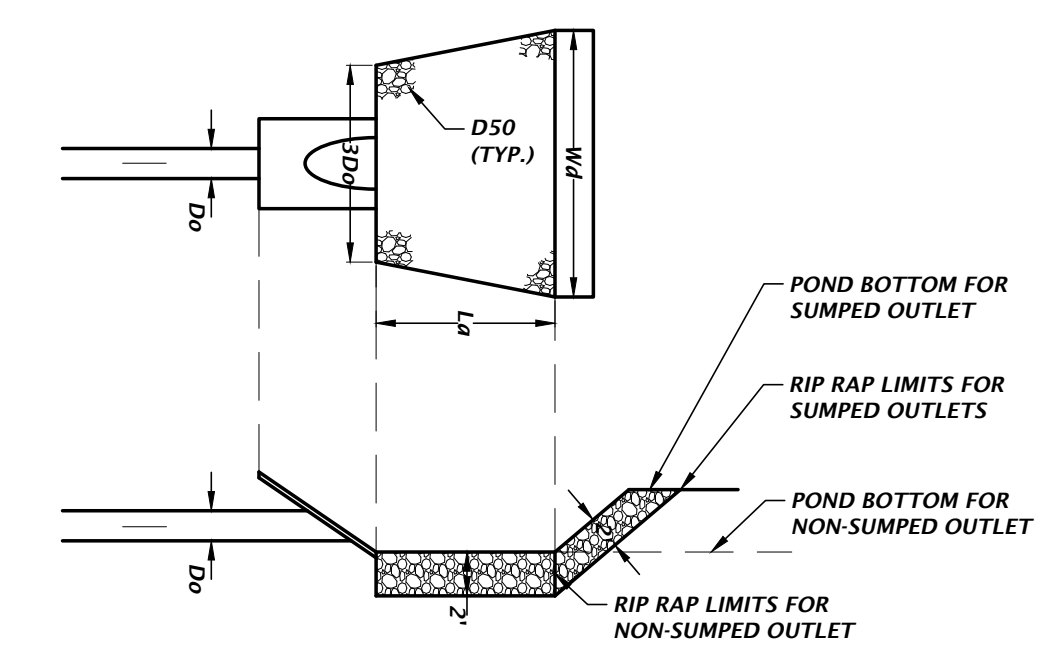
1. IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA, CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2 FEET BEYOND THE BASIN UNDERCUT LIMITS AND BACKFILLED PER NOTE 3 BELOW.
2. IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BE AT THE SURFACE OF THE BASIN. THE REPAIR SHALL BE AT LEAST 12 INCHES ABOVE THE EXISTING SMALL MOUND.
3. WHERE SILTY OR CLAYEY SOILS (SOILS WITH GREATER THAN 15% SOIL FINES) ARE ENCOUNTERED AT THE BASIN BOTTOMS, THE GEOTECHNICAL ENGINEER RECOMMENDS UNDERCUTTING THE BASIN BOTTOMS BY A MINIMUM OF 2 FEET ND BACKFILLING WITH SANDS AND SANDS WITH SILT (SP, SP-SM) HAVING A MAXIMUM OF 10% SOIL FINES AND A MINIMUM HYDRAULIC CONDUCTIVITY OF 10 FEET PER DAY. THE HYDRAULIC CONDUCTIVITY TESTING SHOULD BE PERFORMED ON THE BACKFILL AT A RATE OF 1 TEST PER 200 CUBIC YARDS OF MATERIAL PLACED.

REFER TO THE GEOTECHNICAL REPORT (ECS PROJECT NO. 29508), DATED NOVEMBER 2019 FOR ADDITIONAL INFORMATION.

4. CONTRACTOR SHALL PROVIDE NOTIFICATION TO HIGH SPRINGS CONSTRUCTION INSPECTION OFFICE PRIOR TO UNDERCUT/BACKFILLING THE STORMWATER MANAGEMENT FACILITIES.


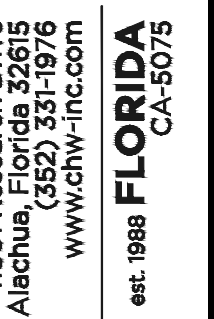


**DRY RETENTION
STORMWATER MANAGEMENT FACILITY NO. 5
CROSS SECTION B-B**



STRUCTURE ID	PIPE DIAMETER Do (ft)	RIP RAP SPREAD AT PIPE OUTLET 3Do (ft)	RIP RAP SPREAD AT END OF APRON Wd (ft)	LENGTH OF APRON La (ft)	MEDIAN RIP RAP SIZE D50 (ft)
S-13	1.5	4.5	14.5	10.0	0.4

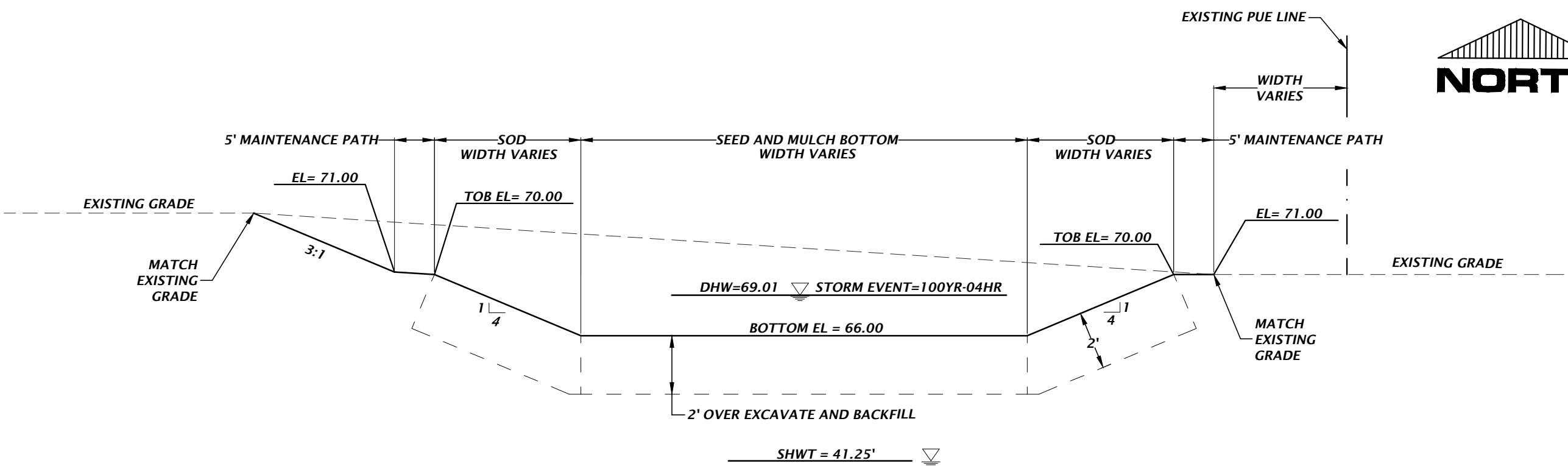
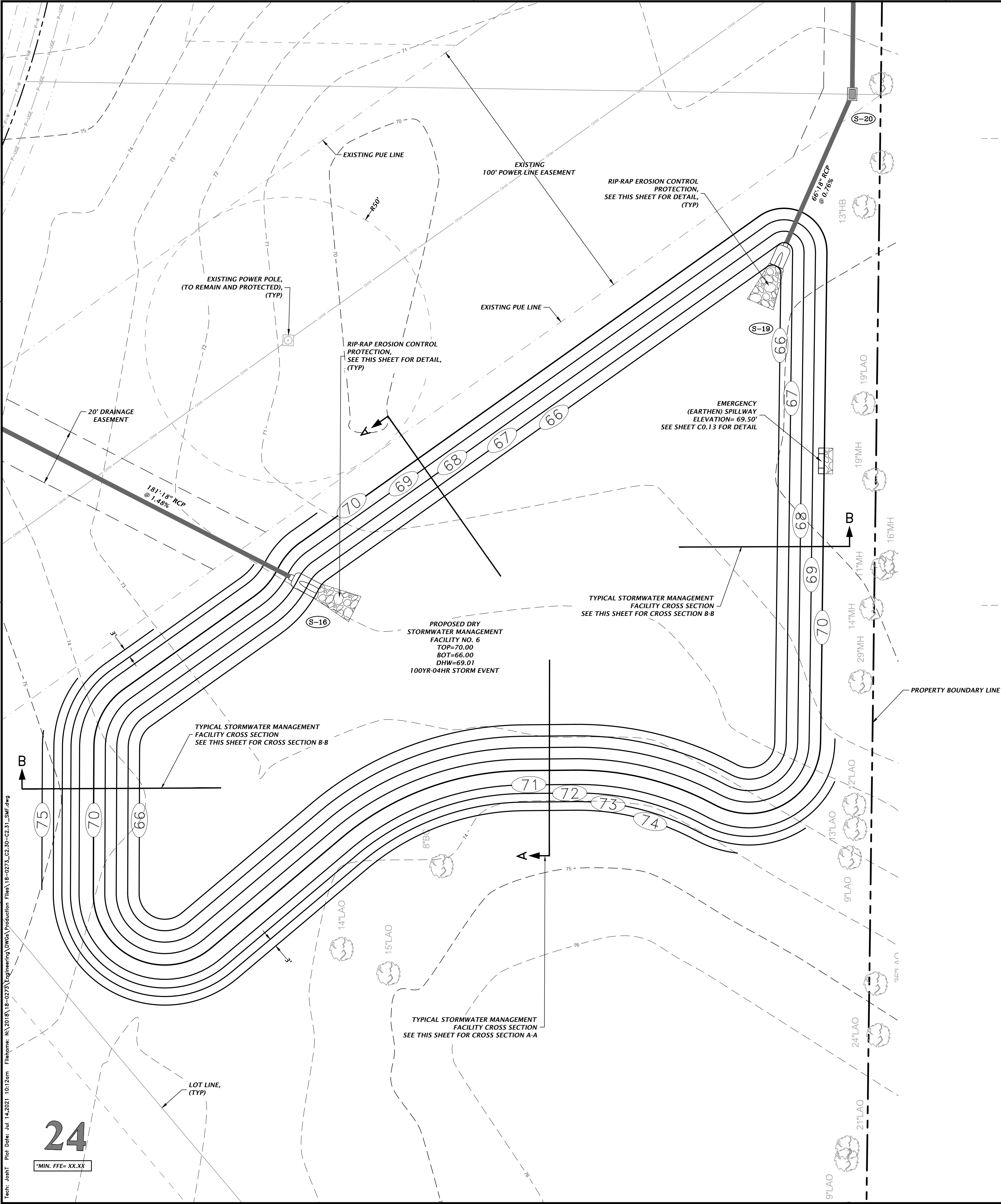
RIP-RAP EROSION CONTROL PROTECTION DETAIL



VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING

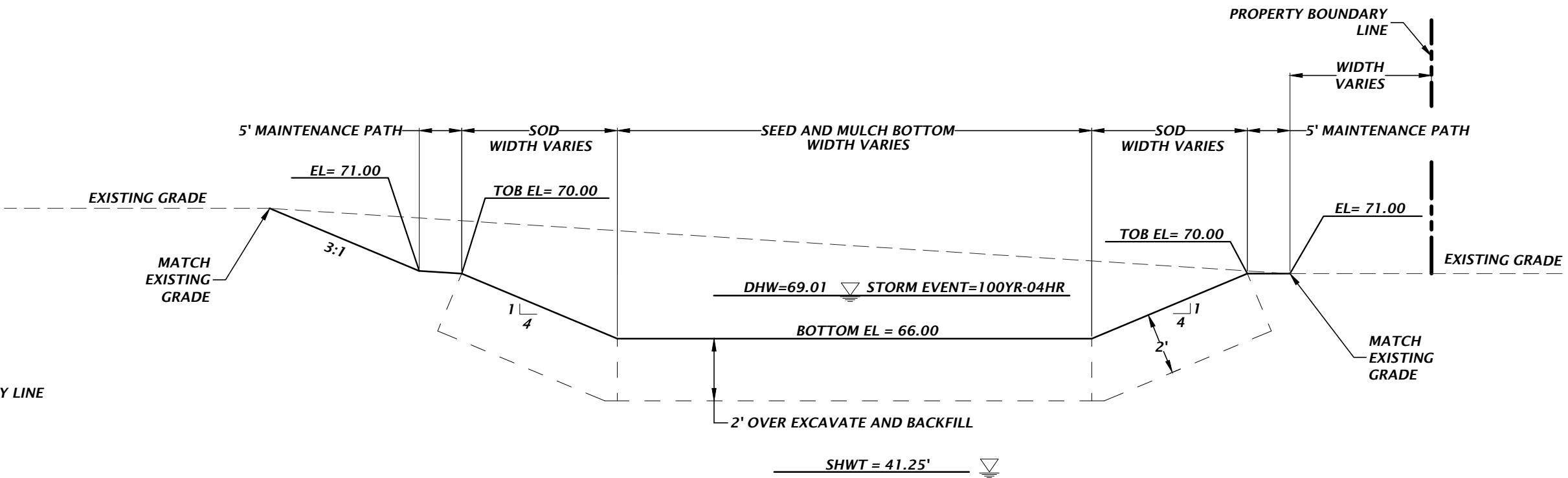
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

C2.33

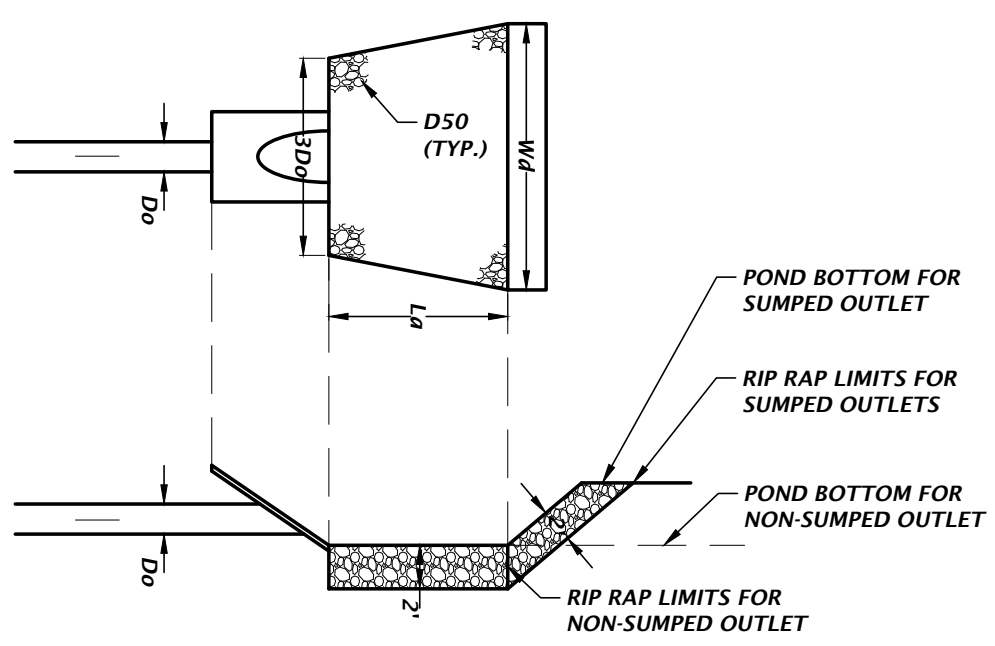


**DRY RETENTION
STORMWATER MANAGEMENT FACILITY NO. 6
CROSS SECTION A-A**
NTS

- GENERAL NOTES:**
1. IF A CONTINUOUS LIMESTONE FORMATION IS ENCOUNTERED IN THE BASIN AREA, CONTACT THE ENGINEER OF RECORD. THE LIMESTONE SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2 FEET BEYOND THE BASIN UNDERCUT LIMITS AND BACKFILLED PER NOTE 3 BELOW.
 2. IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
 3. WHERE SILTY OR CLAYEY SOILS (SOILS WITH GREATER THAN 1% SOIL FINES) ARE ENCOUNTERED AT THE BASIN BOTTOMS, THE GEOTECHNICAL ENGINEER RECOMMENDS UNDERCUTTING THE BASIN BOTTOMS BY A MINIMUM OF 2 FEET AND BACKFILLING WITH SANDS AND SANDS WITH SILT (SP, SP-SM) HAVING A MAXIMUM OF 10% SOIL FINES AND A MINIMUM HYDRAULIC CONDUCTIVITY OF 10 FEET PER DAY. HYDRAULIC CONDUCTIVITY TESTS SHOULD BE PERFORMED ON THE BACKFILL AT A RATE OF 1 TEST PER 200 CUBIC YARDS OF MATERIAL PLACED.
- REFER TO THE GEOTECHNICAL REPORT (ECS PROJECT NO. 29508), DATED NOVEMBER 2019 FOR ADDITIONAL INFORMATION.
4. CONTRACTOR SHALL PROVIDE NOTIFICATION TO HIGH SPRINGS CONSTRUCTION INSPECTION OFFICE PRIOR TO UNDERCUT/BACKFILLING THE STORMWATER MANAGEMENT FACILITIES.



**DRY RETENTION
STORMWATER MANAGEMENT FACILITY NO. 6
CROSS SECTION B-B**
NTS



STRUCTURE ID	PIPE DIAMETER Do (ft)	RIP RAP SPREAD AT PIPE OUTLET 3Do (ft)	RIP RAP SPREAD AT END OF APRON 4Do (ft)	LENGTH OF APRON La (ft)	MEDIAN RIP RAP SIZE D50 (ft)
S-16	1.5	4.5	14.5	10.0	0.4
S-19	1.5	4.5	14.5	10.0	0.4

**RIP-RAP EROSION CONTROL
PROTECTION DETAIL**
NTS

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com

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Professional Consultants

est. 1988
FLORIDA
CA-5075

SCALE
1"=80'

VERTICAL SCALE ON
ORIGINAL DRAWING
1"=8' (SEE NOTE 3)
HORIZONTAL SCALE ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

PROJECT NO. 18-0273

CLIENT: GEE YUE ESTATE

PROJECT: SPRINGFIELD

SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAIL

DESIGNED BY: J. THOMAS

DRAWN BY: J. THOMAS

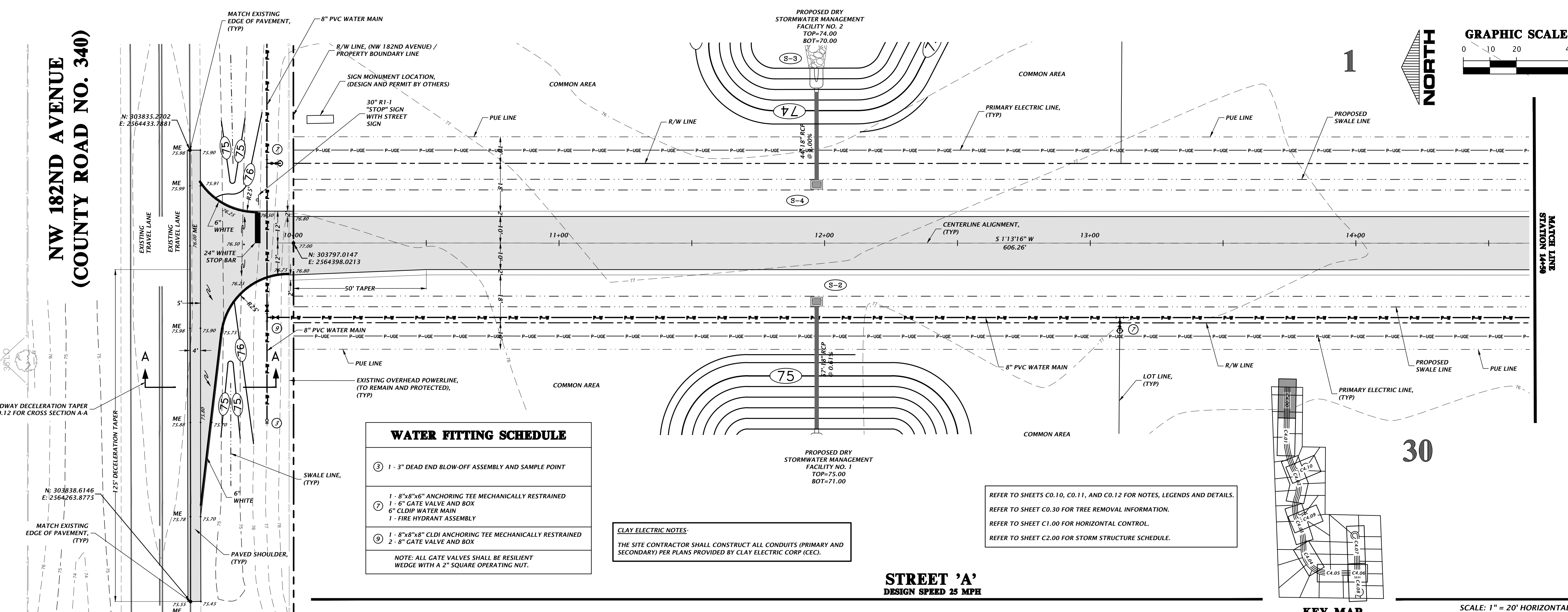
CHECKED BY: R. WALPOLE

PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
Professional Engineer
No. 58206
July 2021
STATE OF FLORIDA

FL PE No. 58206
SHEET NO. C2.34

NW 182ND AVENUE
(COUNTY ROAD NO. 340)

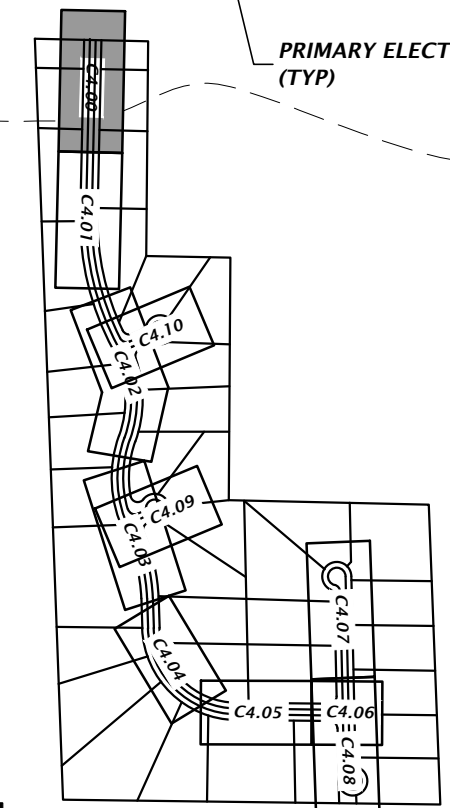


WATER FITTING SCHEDULE	
③	1 - 3" DEAD END BLOW-OFF ASSEMBLY AND SAMPLE POINT
⑦	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLIP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
⑨	1 - 8"x8"x8" CLDI ANCHORING TEE MECHANICALLY RESTRAINED 2 - 8" GATE VALVE AND BOX
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	

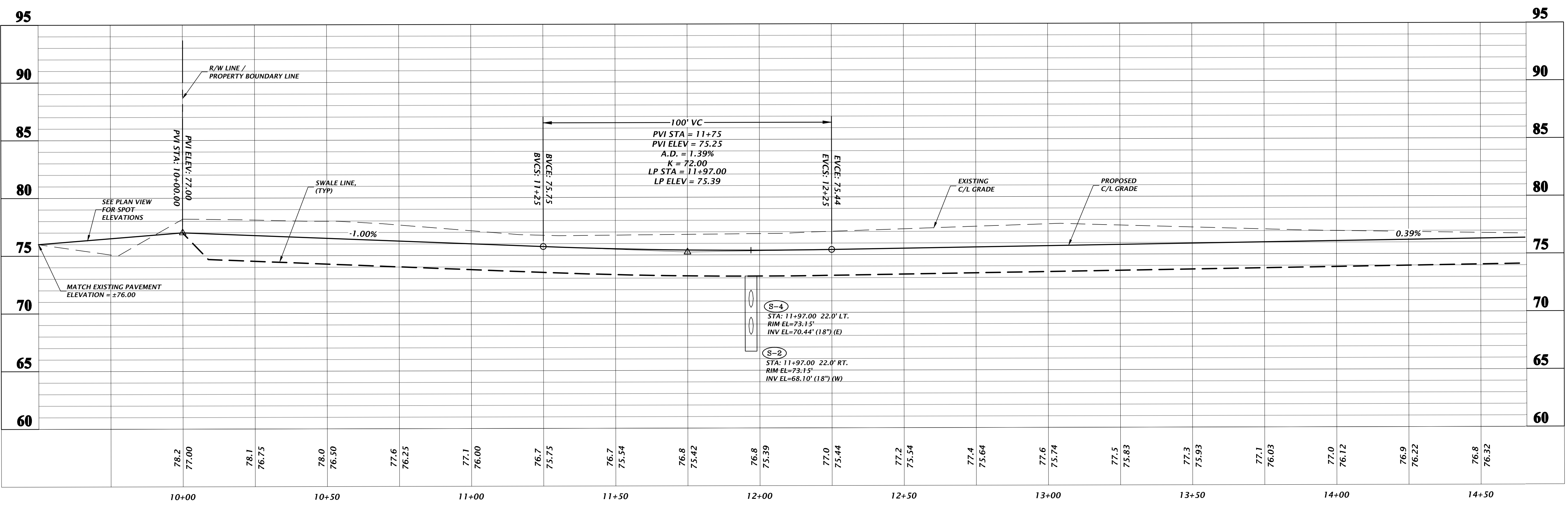
CLAY ELECTRIC NOTES:
THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP (CEC).

STREET 'A'
DESIGN SPEED 25 MPH

REFER TO SHEETS C0.10, C0.11, AND C0.12 FOR NOTES, LEGENDS AND DETAILS.
REFER TO SHEET C0.30 FOR TREE REMOVAL INFORMATION.
REFER TO SHEET C1.00 FOR HORIZONTAL CONTROL.
REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.



SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL



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www.chw-inc.com
est. 1988 FLORIDA
CA-5075

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SCALE: 1"=20'
VERTICAL SCALE ON
ORIGINAL DRAWING
HORIZONTAL SCALE ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWMD
05/25/21 - SRWMD
07/14/21 - CITY OF HIGH SPRINGS

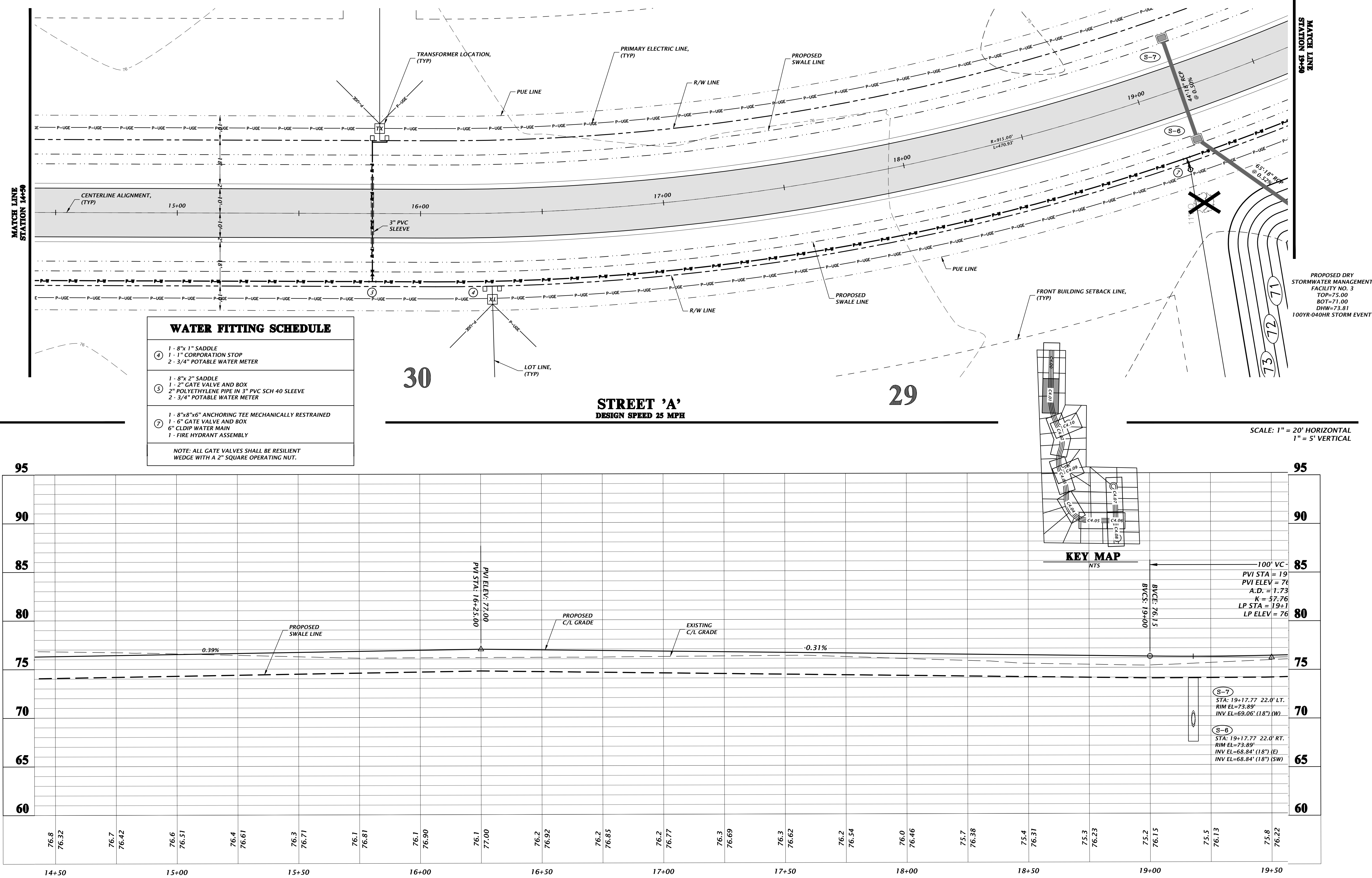
CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: ROADWAY PLAN AND PROFILES

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
No. 58206
JUL 2021
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

FL PE No. 58206
SHEET NO.
C4.00

Test: jsh1 Plot Date: Jul 14, 2021 8:41 am Filename: M:\2018\18-0273\Engineering\DWG\Production\Plan\18-0273_C4.01-C4.05_P1.dwg



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CA-5075

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Professional Consultants

VERTICAL SCALE ON
ORIGINAL DRAWING
1"=20'

VERIFY THE LOCATION
OF THIS SHEET, ADJUST
SCALES ACCORDINGLY.

CONSTRUCTION DIVISIONS

02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT

CEE VUE ESTATE

PROJECT

SPRINGFIELD

SHEET TITLE

ROADWAY PLAN AND PROFILES

DESIGNER

ROBERT J. WALPOLE

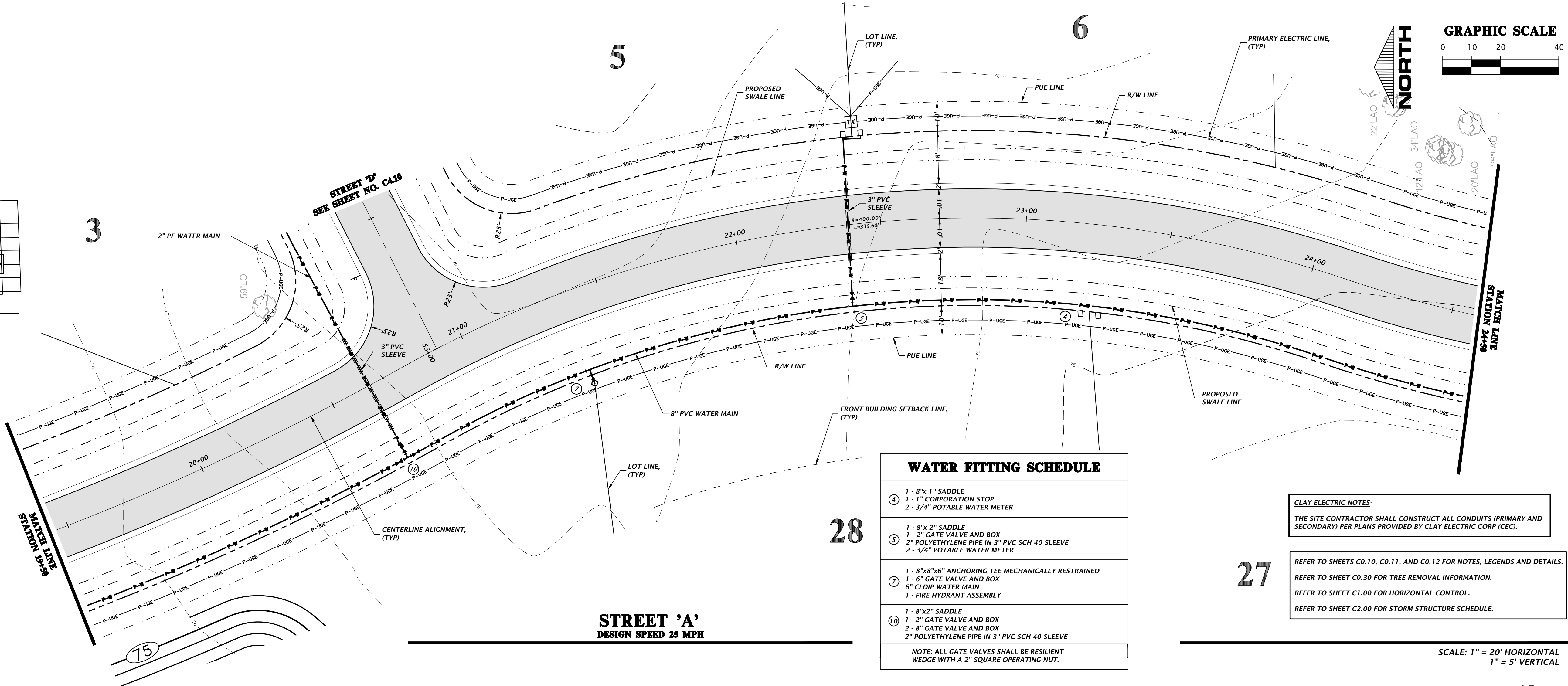
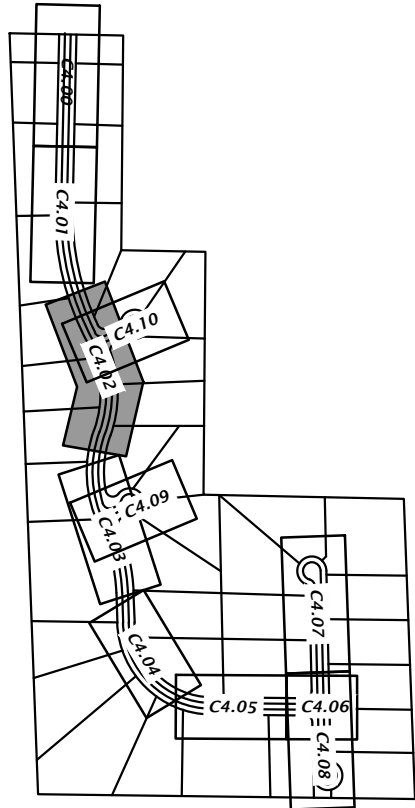
PROJECT NUMBER

18-0273

FL PE No. 58206

SHEET NO.

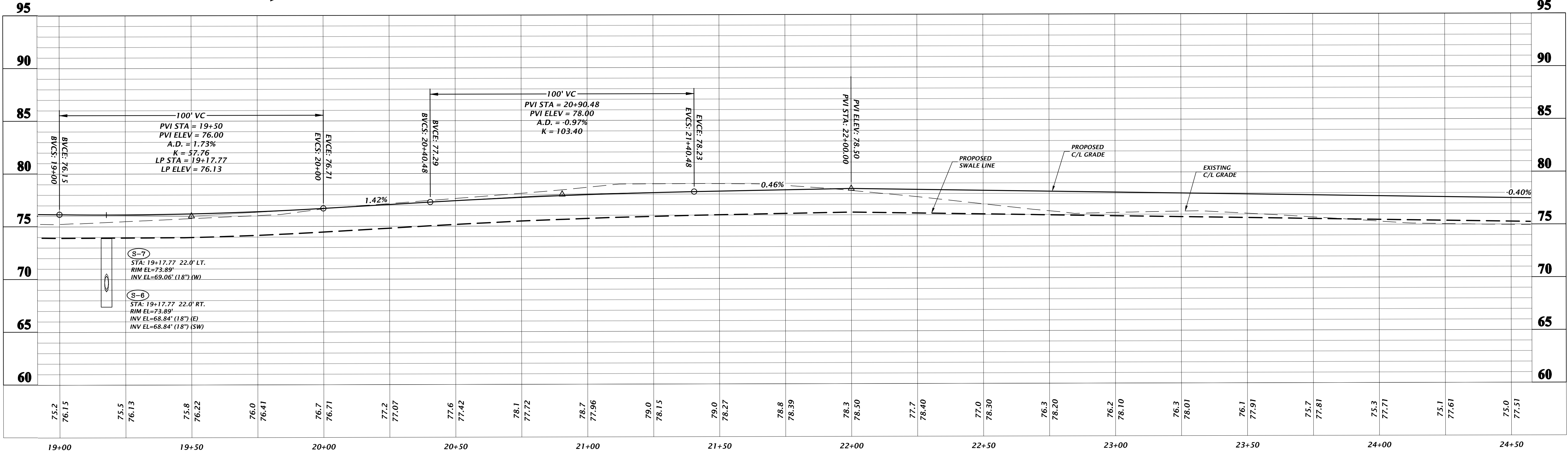
C4.01



WATER FITTING SCHEDULE	
④	1 - 8"x 1" SADDLE 1 - 1" CORPORATION STOP 2 - 3/4" POTABLE WATER METER
⑤	1 - 8"x 2" SADDLE 1 - 2" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE 2 - 3/4" POTABLE WATER METER
⑦	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLDP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
⑩	1 - 8"x2" SADDLE 1 - 2" GATE VALVE AND BOX 2 - 8" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	

CLAY ELECTRIC NOTES:
THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP (CEC).

REFER TO SHEETS C0.10, C0.11, AND C0.12 FOR NOTES, LEGENDS AND DETAILS.
REFER TO SHEET C0.30 FOR TREE REMOVAL INFORMATION.
REFER TO SHEET C1.00 FOR HORIZONTAL CONTROL.
REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.



Station	Elevation
19+00	75.2
19+10	76.15
19+20	75.5
19+30	76.13
19+40	75.8
19+50	76.22
19+60	76.0
19+70	76.41
19+80	76.7
19+90	76.71
20+00	77.2
20+10	77.07
20+20	77.6
20+30	77.42
20+40	78.1
20+50	77.72
20+60	78.7
20+70	77.96
20+80	79.0
20+90	78.15
21+00	79.0
21+10	78.27
21+20	78.8
21+30	78.39
21+40	78.3
21+50	78.30
21+60	77.7
21+70	78.40
21+80	77.0
21+90	78.30
22+00	76.3
22+10	78.20
22+20	76.2
22+30	78.10
22+40	76.3
22+50	78.01
22+60	76.1
22+70	77.91
22+80	75.7
22+90	77.81
23+00	75.3
23+10	77.71
23+20	75.1
23+30	77.61
23+40	75.0
23+50	77.51

Vertical Curve Data:
100' VC
PVI STA = 19+50
PVI ELEV = 76.00
A.D. = 1.73%
K = 57.76
LP STA = 19+17.77
LP ELEV = 76.13
EVC STA = 20+00
EVC ELEV = 76.71
BVC STA = 19+00
BVC ELEV = 75.15
EVC STA = 20+00
EVC ELEV = 76.71
BVC STA = 20+40.48
BVC ELEV = 77.29
EVC STA = 21+40.48
EVC ELEV = 78.23
PVI STA = 20+90.48
PVI ELEV = 78.00
A.D. = -0.97%
K = 103.40
PVI STA = 22+00.00
PVI ELEV = 78.50
EVC STA = 23+00.00
EVC ELEV = 78.01

Proposed Swale Line:
PROPOSED SWALE LINE
PROPOSED C/L GRADE
EXISTING C/L GRADE

Notes:
S-7 STA: 19+17.77 22.0' LT.
RIM EL=73.89'
INV EL=69.06' (18") (W)
S-8 STA: 19+17.77 22.0' RT.
RIM EL=73.89'
INV EL=68.84' (18") (E)
INV EL=68.84' (18") (SW)

Scale:
SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL

Design Speed:
STREET 'A'
DESIGN SPEED 25 MPH

Key Map:
KEY MAP NTS

Graphic Scale:
GRAPHIC SCALE
0 10 20 40

North Arrow:
NORTH

Lot Line:
LOT LINE (TYP)

Proposed Swale Line:
PROPOSED SWALE LINE

Primary Electric Line:
PRIMARY ELECTRIC LINE (TYP)

R/W Line:
R/W LINE

Centerline Alignment:
CENTERLINE ALIGNMENT (TYP)

Front Building Setback Line:
FRONT BUILDING SETBACK LINE (TYP)

3" PVC SLEEVE:
3" PVC SLEEVE

8" PVC WATER MAIN:
8" PVC WATER MAIN

2" PE WATER MAIN:
2" PE WATER MAIN

50' LO:
50' LO

22' LAO:
22' LAO

34' LAO:
34' LAO

20' LAO:
20' LAO

10' LAO:
10' LAO

5' LAO:
5' LAO

2' LAO:
2' LAO

1' LAO:
1' LAO

0' LAO:
0' LAO

18-0273

C4.02

Professional Engineer

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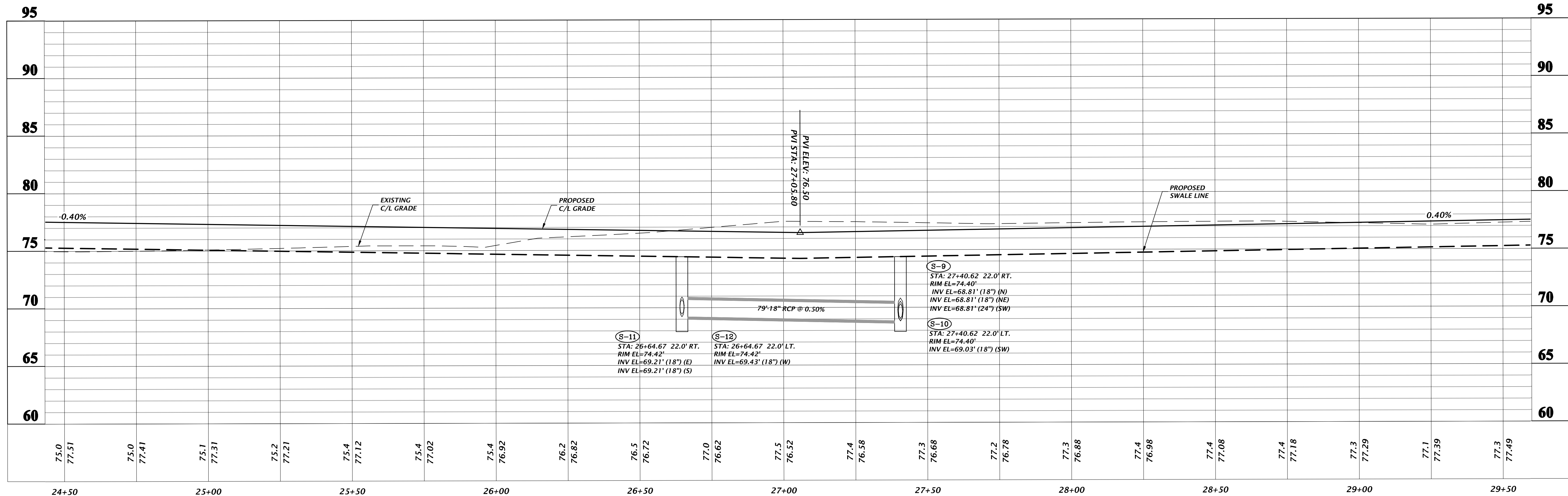
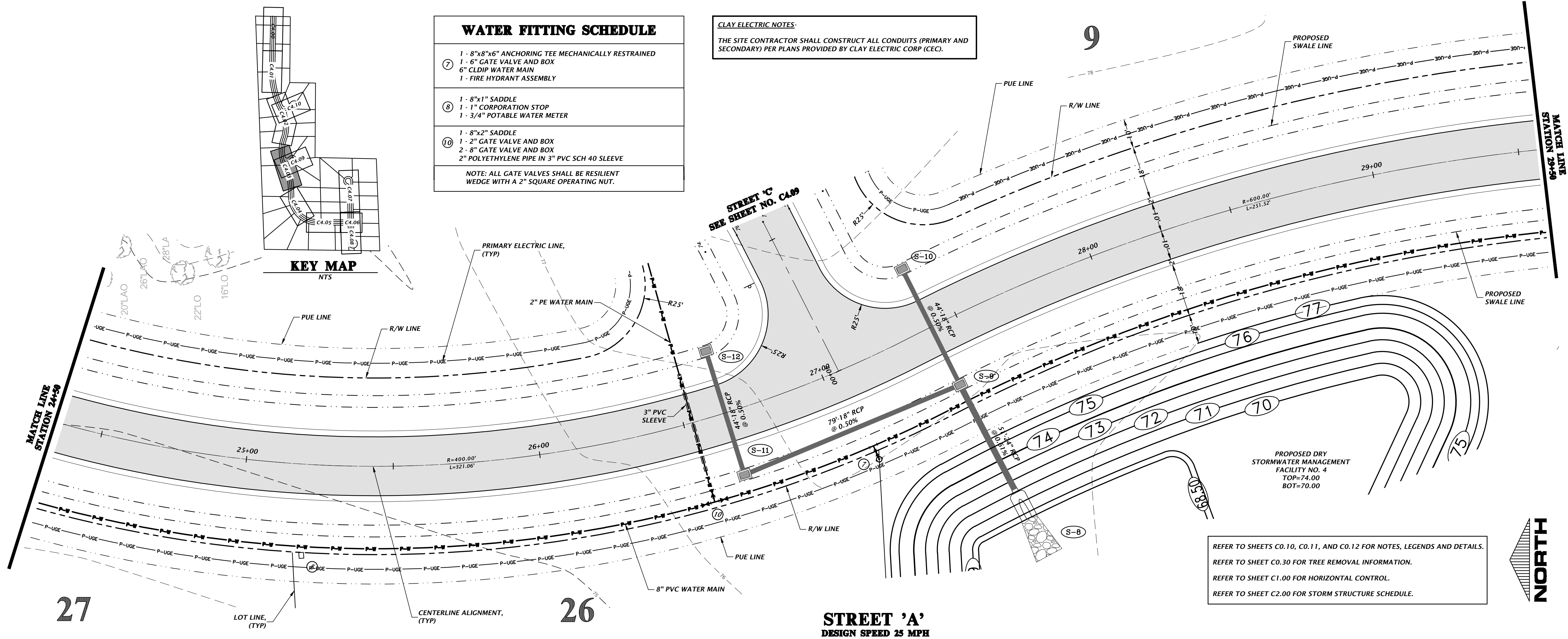
Professional Engineer

Robert J. Walpole

FL PE No. 58206

State of Florida

Professional Engineer



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SCALE: 1"=20'
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FOR THE PURPOSES OF
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

CONSTRUCTION DEVISIONS

DATE: 02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: ROADWAY PLAN AND PROFILES

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

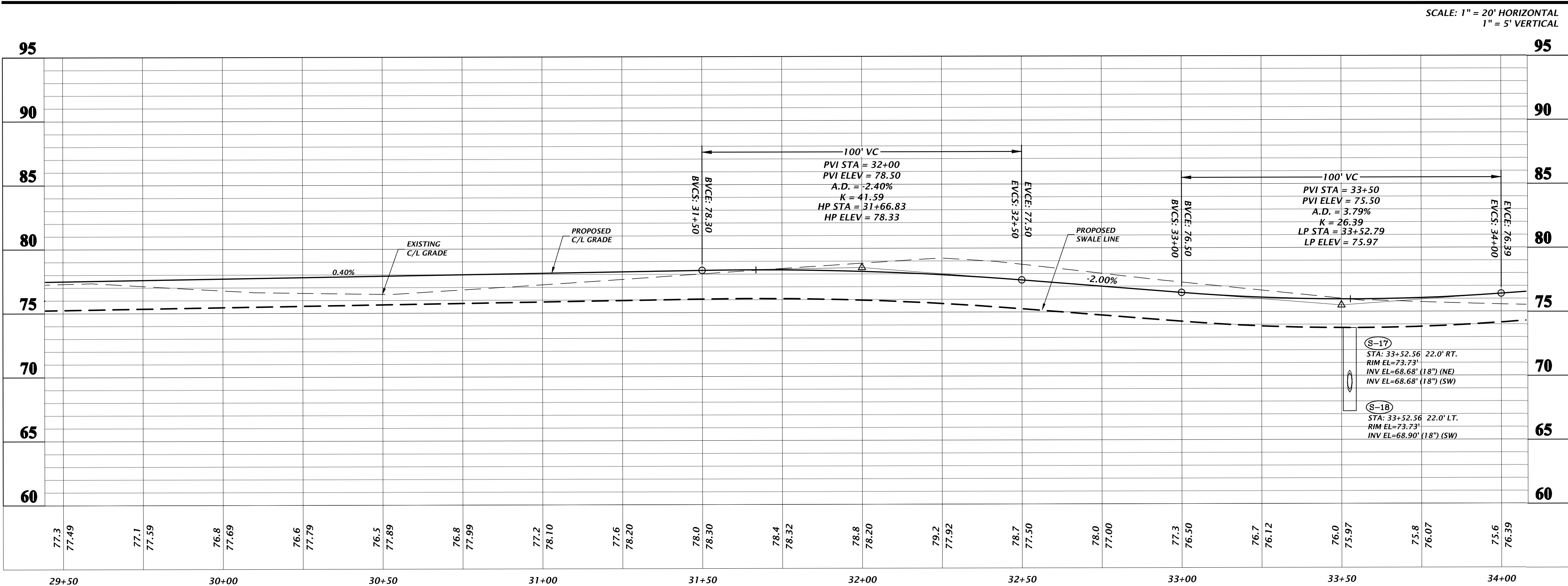
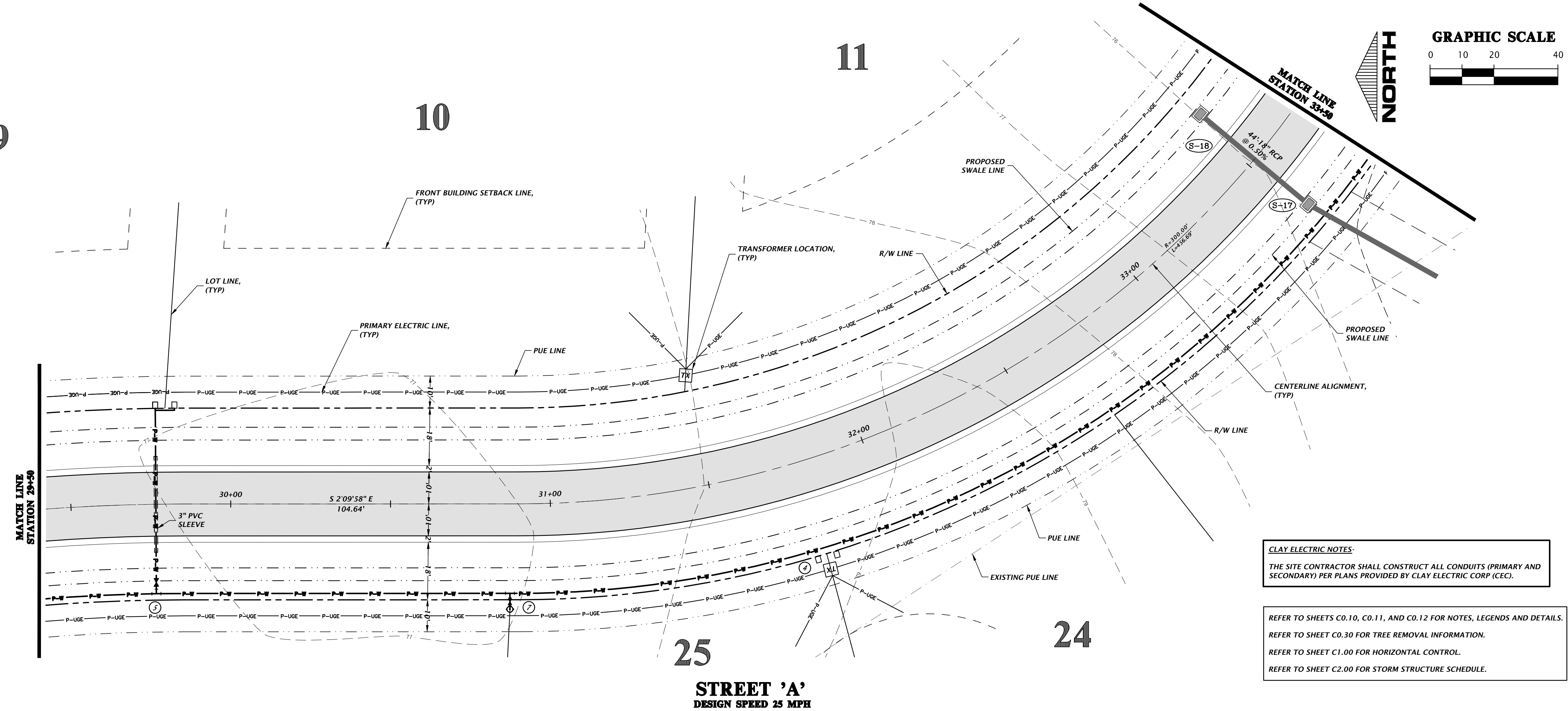
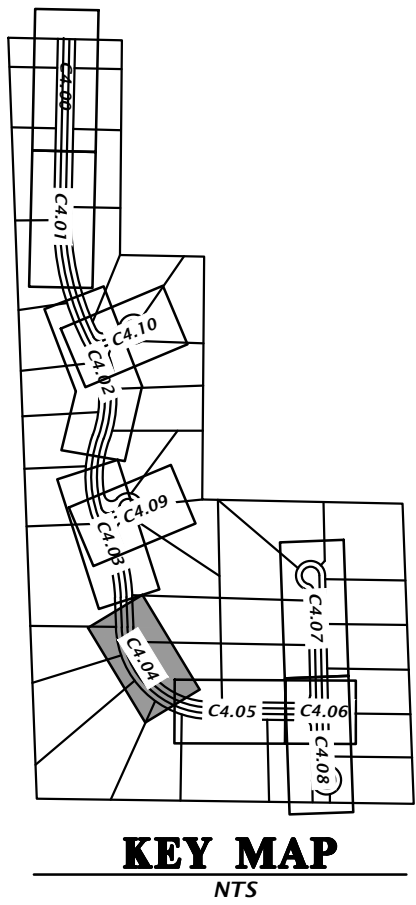
ROBERT J. WALPOLE

FL PE No. 58206
JUL 2021
STATE OF FLORIDA
PROFESSIONAL ENGINEER

SHEET NO.

C4.03

WATER FITTING SCHEDULE	
④	1 - 8"x 1" SADDLE 1 - 1" CORPORATION STOP 2 - 3/4" POTABLE WATER METER
⑤	1 - 8"x 2" SADDLE 1 - 2" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE 2 - 3/4" POTABLE WATER METER
⑦	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLDIP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	



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VERTICAL SCALE ON
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1"=5'
HORIZONTAL SCALE ON
THIS SHEET, ADJUST
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CONSTRUCTION DIVISIONS
CITY OF HIGH SPRINGS, FDP, AND SRWD
02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: ROADWAY PLAN AND PROFILES
SHEET NUMBER: 18-0273

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273
FL PE No. 58206
SHEET NO. C4.04

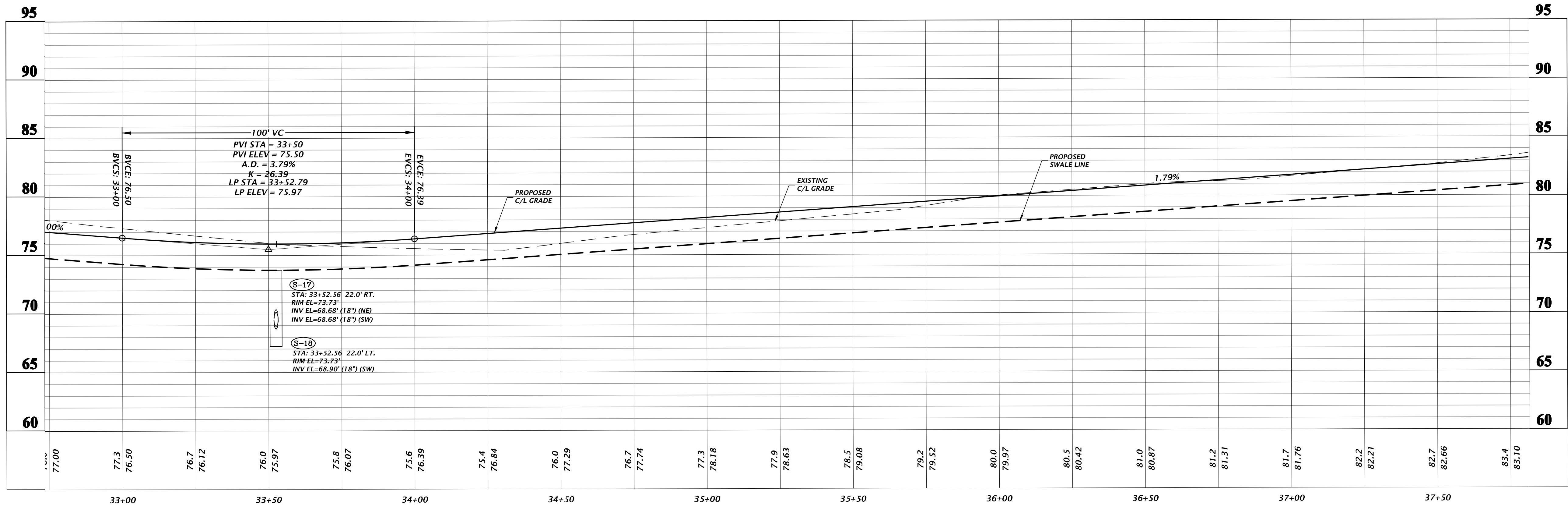
REFER TO SHEETS C0.10, C0.11, AND C0.12 FOR NOTES, LEGENDS AND DETAILS.
REFER TO SHEET C0.30 FOR TREE REMOVAL INFORMATION.
REFER TO SHEET C1.00 FOR HORIZONTAL CONTROL.
REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.

CLAY ELECTRIC NOTES:
THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP (CEC).

WATER FITTING SCHEDULE

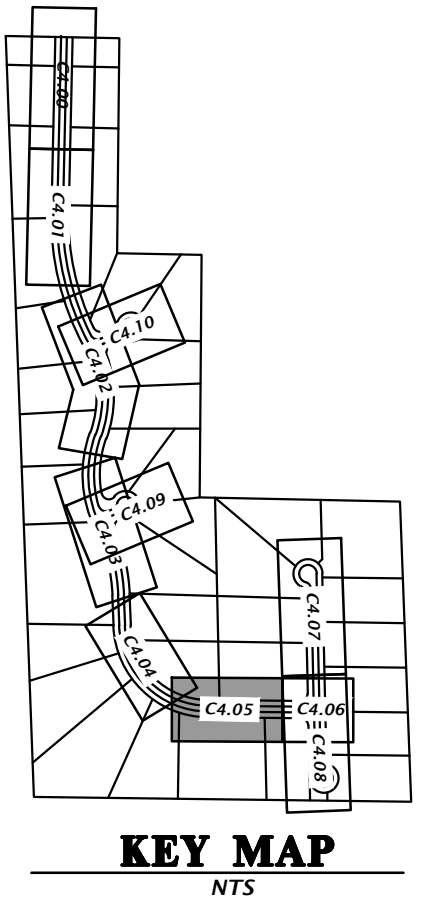
- ④ 1 - 8"x 1" SADDLE
1 - 1" CORPORATION STOP
2 - 3/4" POTABLE WATER METER
- ⑤ 1 - 8"x 2" SADDLE
1 - 2" GATE VALVE AND BOX
2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE
2 - 3/4" POTABLE WATER METER
- ⑦ 1 - 8"x 8"x 6" ANCHORING TEE MECHANICALLY RESTRAINED
1 - 6" GATE VALVE AND BOX
6" CLIP WATER MAIN
1 - FIRE HYDRANT ASSEMBLY

NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.



SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL

GRAPHIC SCALE
0 10 20 40
NORTH



STREET 'A'
DESIGN SPEED 25 MPH

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SCALES ACCORDINGLY.

SCALE: 1" = 20'
CONSTRUCTION DIVISIONS

REVISIONS
02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: ROADWAY PLAN AND PROFILES

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
FLORIDA
PROFESSIONAL ENGINEER
No. 58206
JUL 2021
STATE OF FLORIDA

FL PE No. 58206
SHEET NO.

C4.05

A

B

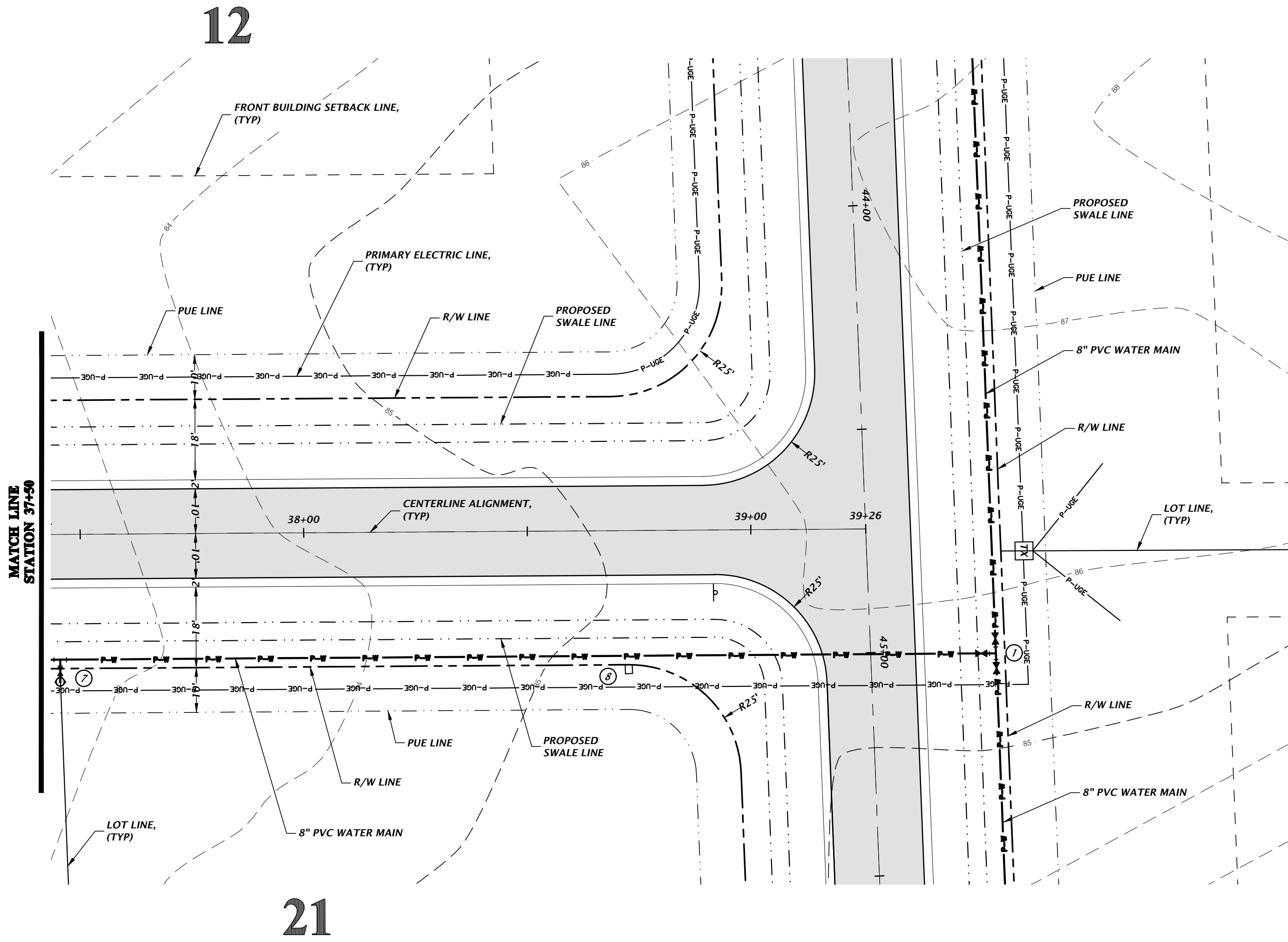
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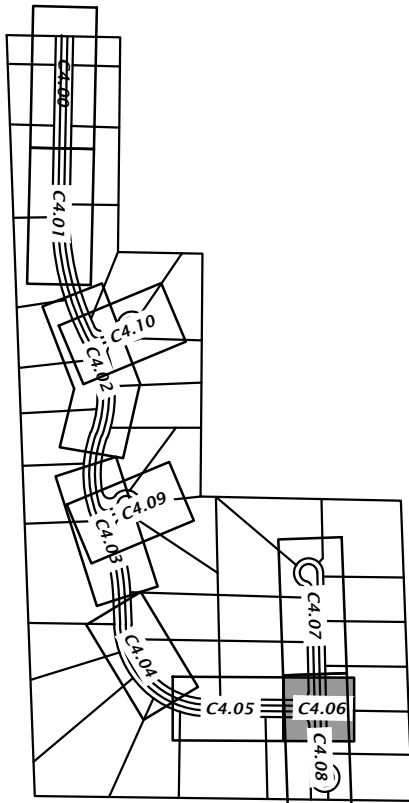
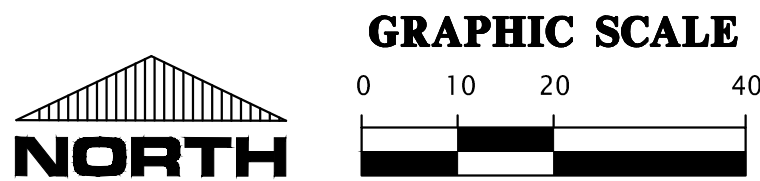
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WATER FITTING SCHEDULE	
①	1 - 8"x8"x8" CLDI ANCHORING TEE MECHANICALLY RESTRAINED 3 - 8" GATE VALVE AND BOX
②	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLDIP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
③	1 - 8"x1" SADDLE 1 - 1" CORPORATION STOP 1 - 3/4" POTABLE WATER METER
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	

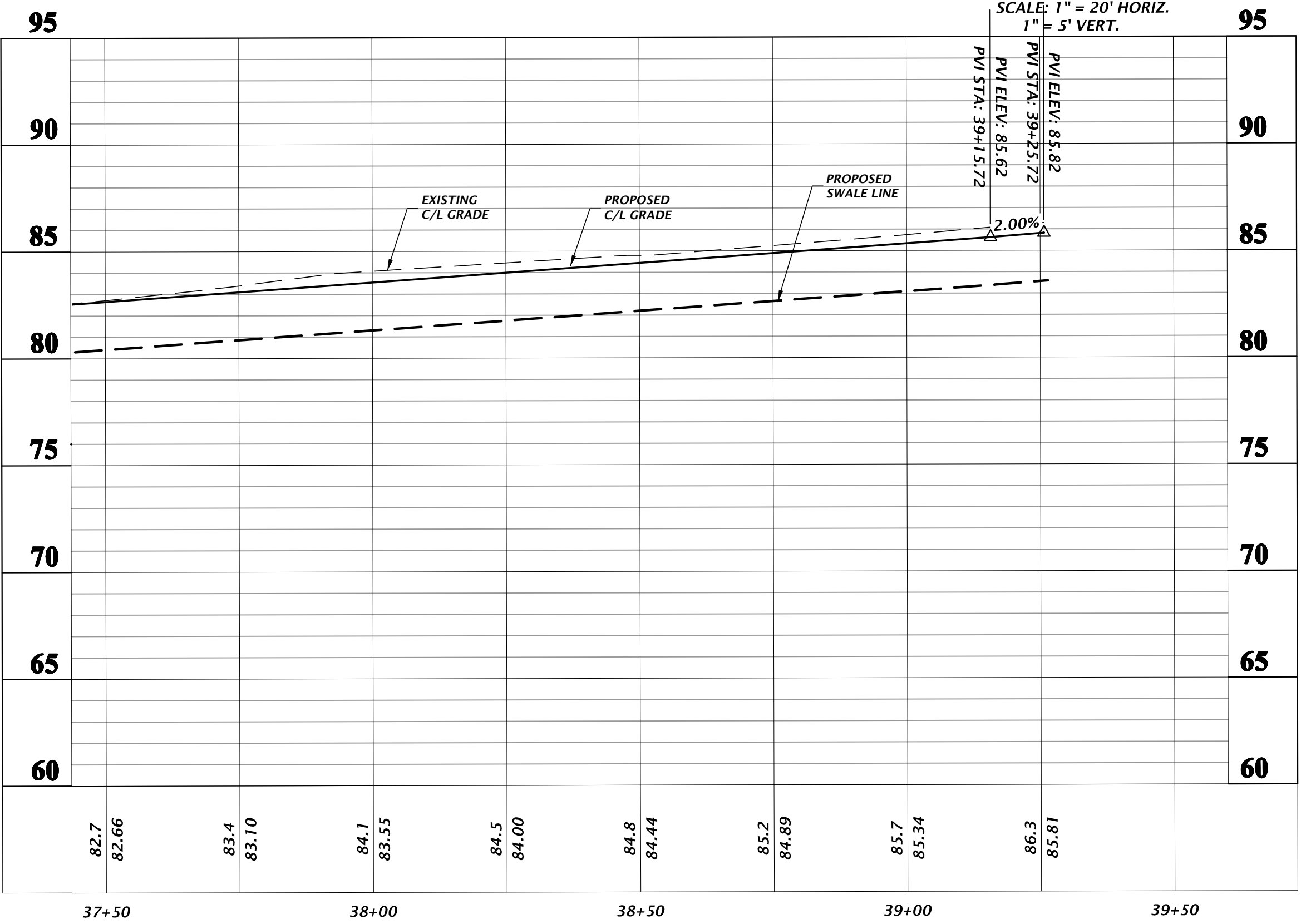
CLAY ELECTRIC NOTES:
THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP (CEC).



STREET 'A'
DESIGN SPEED 25 MPH



REFER TO SHEETS C0.10, C0.11, AND C0.12 FOR NOTES, LEGENDS AND DETAILS.
REFER TO SHEET C0.30 FOR TREE REMOVAL INFORMATION.
REFER TO SHEET C1.00 FOR HORIZONTAL CONTROL.
REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.



SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL

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CONSTRUCTION DIVISIONS

02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE

PROJECT: SPRINGFIELD

SHEET TITLE: ROADWAY PLAN AND PROFILES

DESIGNER: J. THOMAS

INCHARGE: J. THOMAS

QUALITY CONTROL: R. WALPOLE

PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE

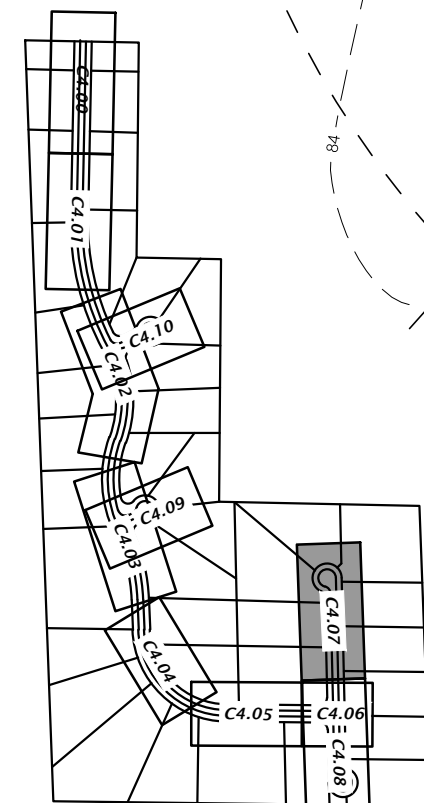
FLORIDA PROFESSIONAL ENGINEER
No. 58206
Jul 1, 2021
STATE OF FLORIDA

FL PE No. 58206

SHEET NO: C4.06

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15



KEY MAP
NTS

WATER FITTING SCHEDULE

④	1 - 8"x1" SADDLE 1 - 1" CORPORATION STOP 2 - 3/4" POTABLE WATER METER
⑤	1 - 8"x2" SADDLE 1 - 2" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE 2 - 3/4" POTABLE WATER METER
⑥	1 - 8"x2" SADDLE 1 - 2" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE 1 - 3/4" POTABLE WATER METER
⑦	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLIP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
⑧	1 - 8"x1" SADDLE 1 - 1" CORPORATION STOP 1 - 3/4" POTABLE WATER METER
⑫	1 - 2" DEAD END BLOW-OFF ASSEMBLY AND SAMPLE POINT
⑬	1 - 8" GATE VALVE AND BOX 1 - 8"x2" REDUCER 1 - 2" GATE VALVE AND BOX

NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.

16

17

18

CLAY ELECTRIC NOTES:

THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP. (CEC).

REFER TO SHEETS C0.10, C0.11, AND C0.12 FOR NOTES, LEGENDS AND DETAILS.

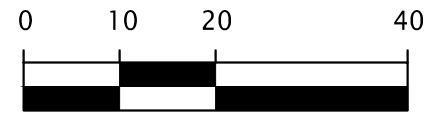
REFER TO SHEET C0.30 FOR TREE REMOVAL INFORMATION.

REFER TO SHEET C1.00 FOR HORIZONTAL CONTROL.

REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.



GRAPHIC SCALE



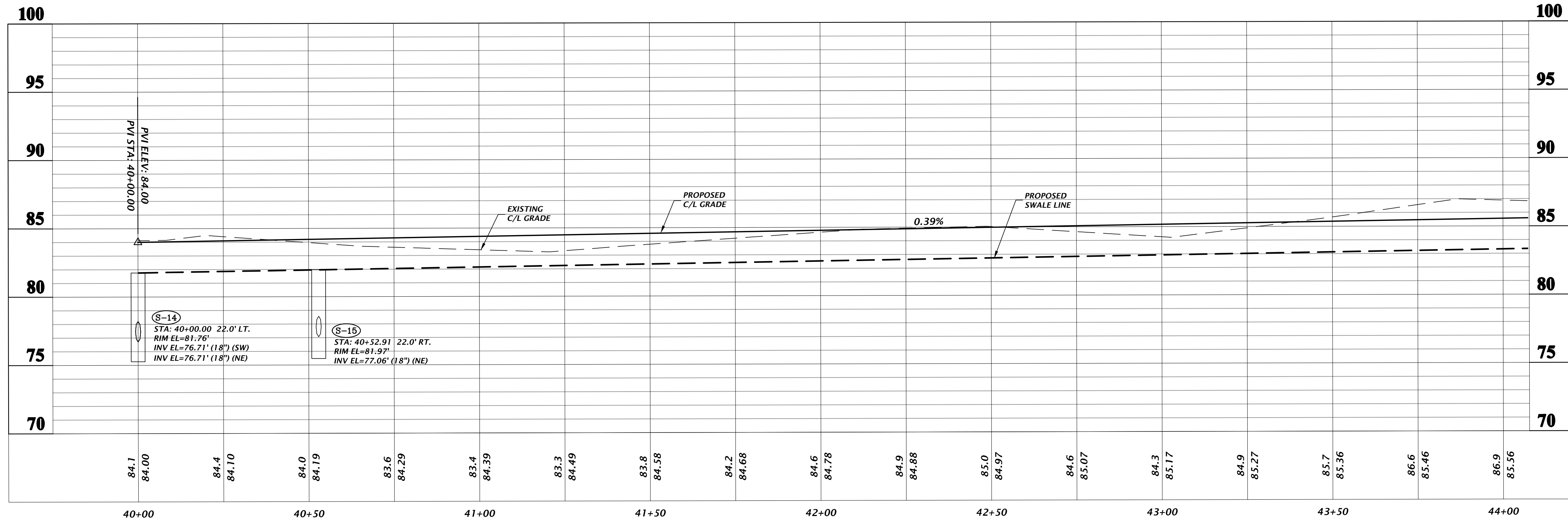
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STREET 'B' DESIGN SPEED 25 MPH

SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL



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OTHER PROJECTS
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CONSTRUCTION REVISIONS

DATE: 02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CITY: GEE VUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: ROADWAY PLAN AND PROFILES

DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE

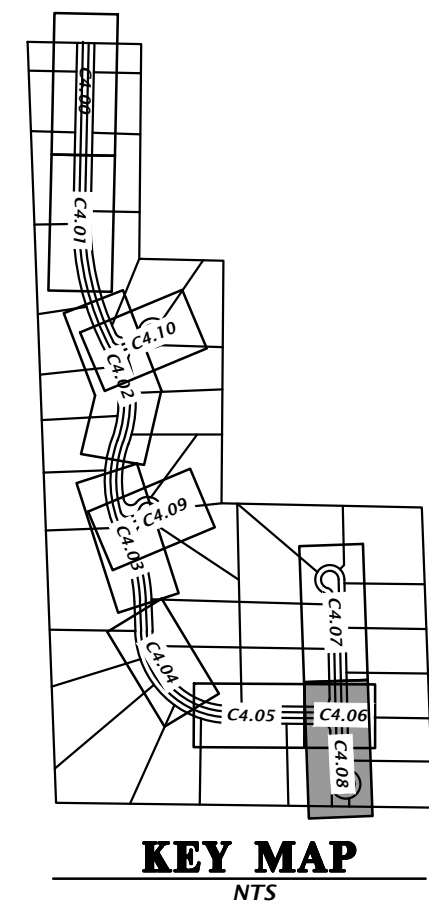
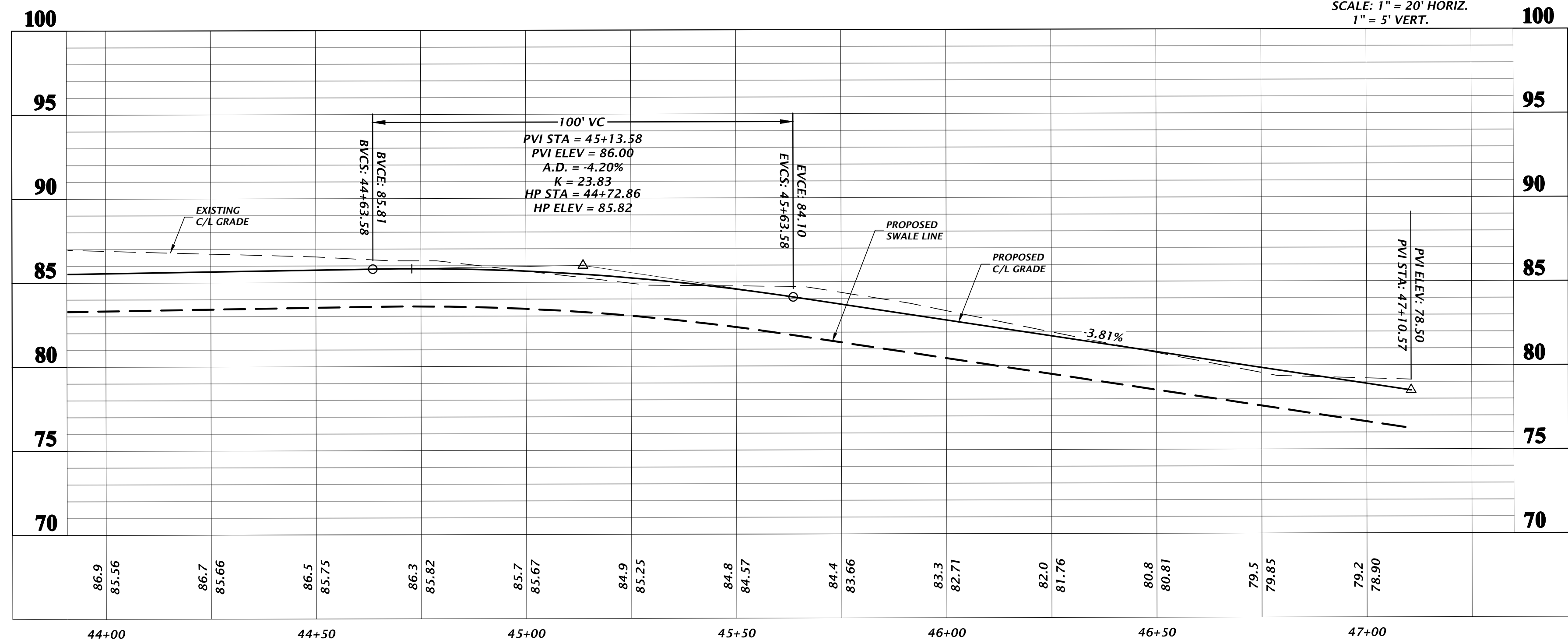
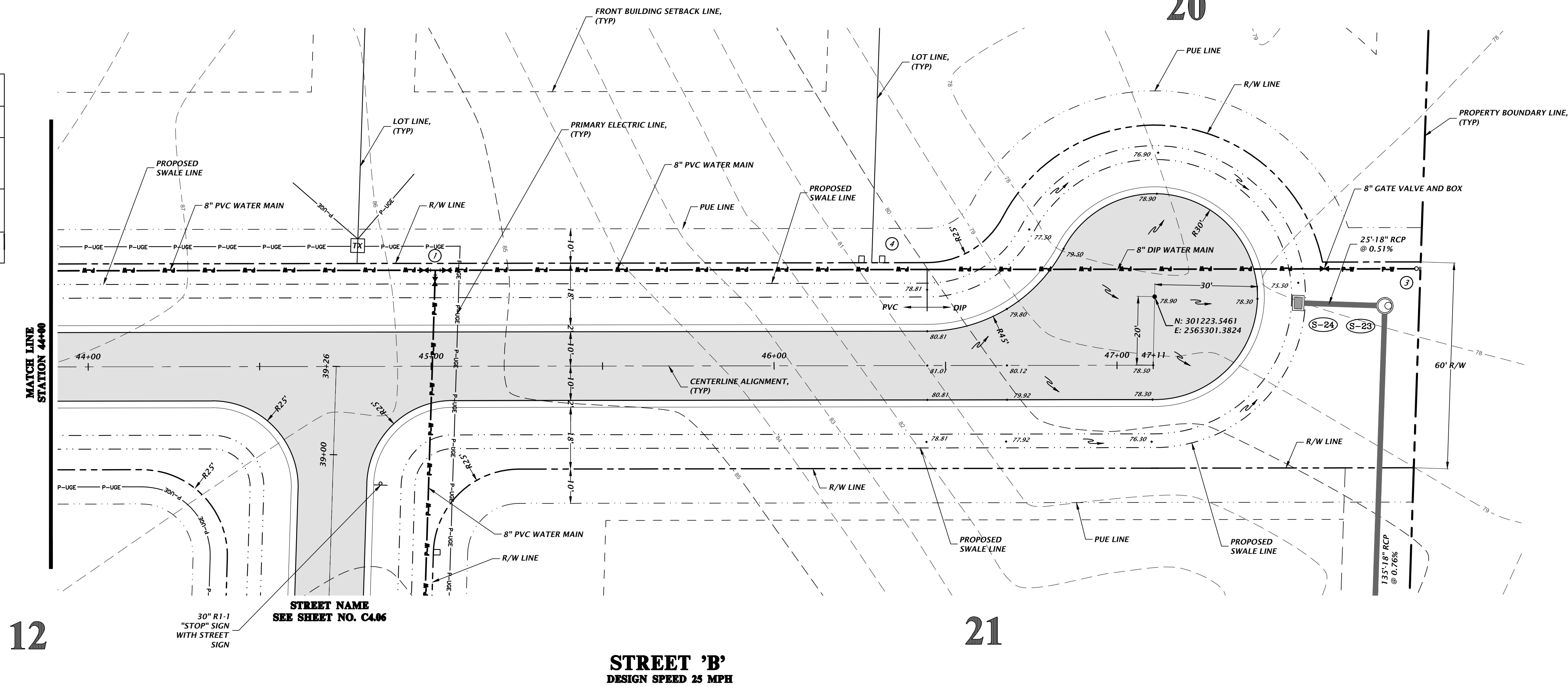
FLORIDA PROFESSIONAL ENGINEER
No. 58206
JUL 2021
STATE OF FLORIDA

FL PE No. 58206

SHEET NO.

C4.07

WATER FITTING SCHEDULE	
①	1 - 8"x8"x8" CLDI ANCHORING TEE MECHANICALLY RESTRAINED 3 - 8" GATE VALVE AND BOX
③	1 - 3" DEAD END BLOW-OFF ASSEMBLY AND SAMPLE POINT
④	1 - 8"x1" SADDLE 1 - 1" CORPORATION STOP 2 - 3/4" POTABLE WATER METER
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	



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SCALE: 1"=20'
VERTICAL SCALE ON
BASELINE DRAWING
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

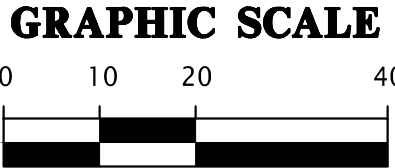
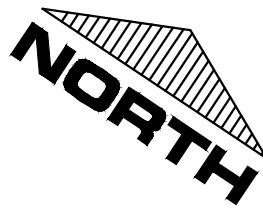
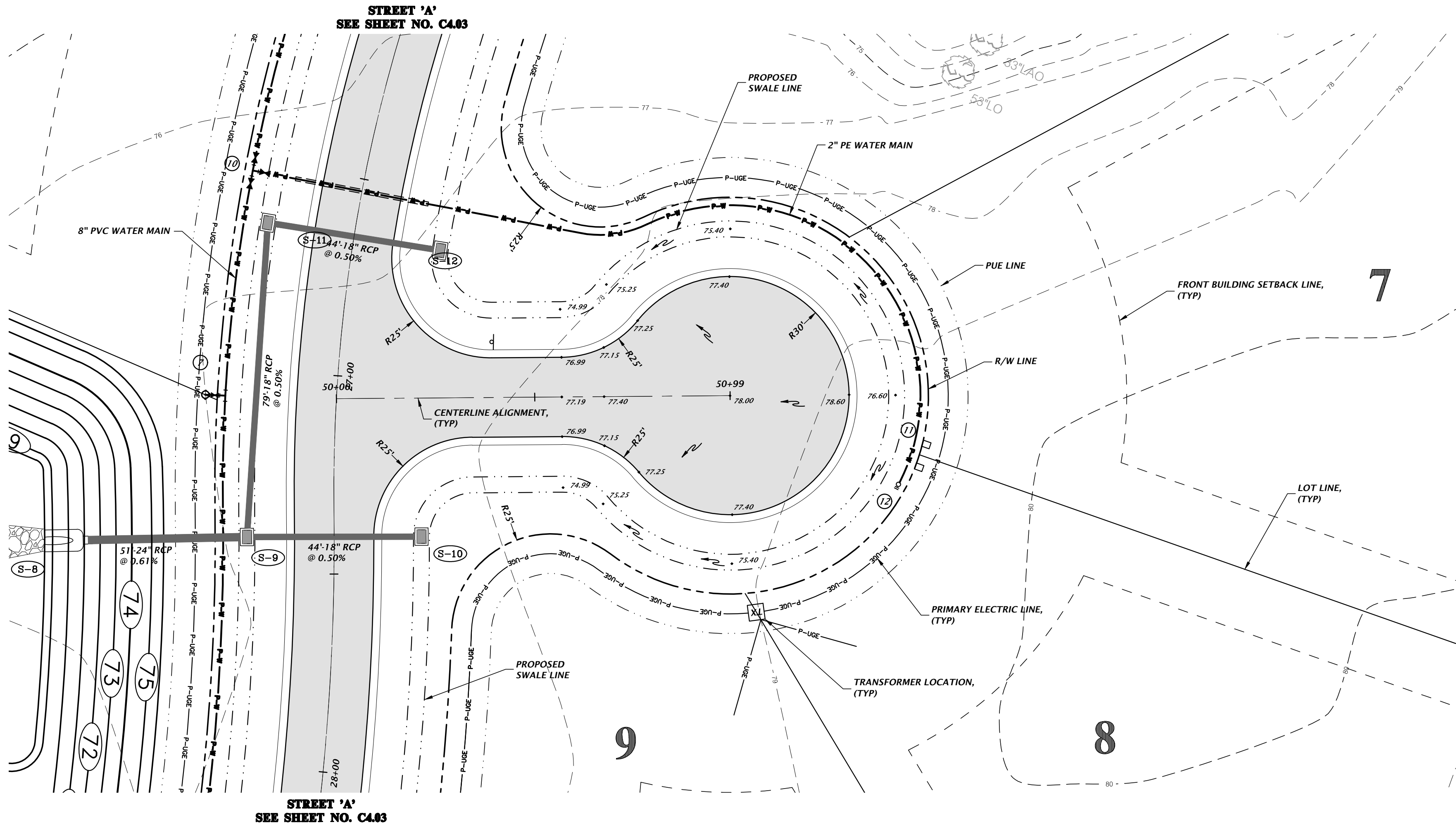
02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE
PROJECT: SPRINGFIELD
SHEET TITLE: ROADWAY PLAN AND PROFILES

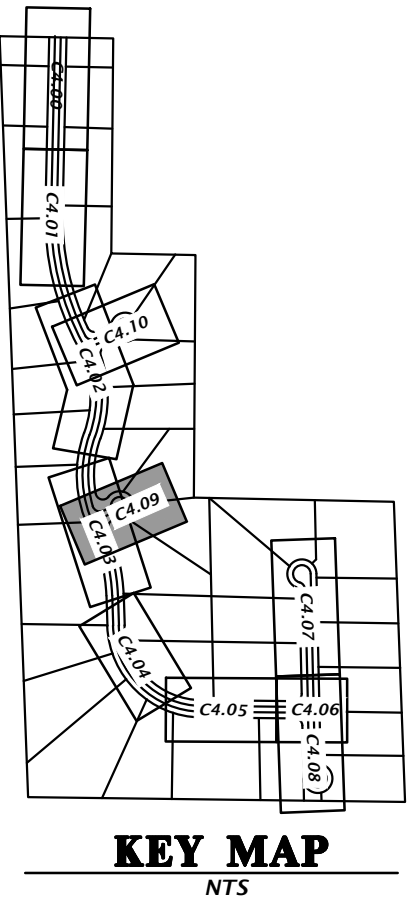
DESIGNER: J. THOMAS
CHECKER: J. THOMAS
QUALITY CONTROL: R. WALPOLE
PROJECT NUMBER: 18-0273

ROBERT J. WALPOLE
FLORIDA PROFESSIONAL ENGINEER
No. 58206
JUL 2021
STATE OF FLORIDA
FL PE No. 58206
SHEET NO.: C4.08

26

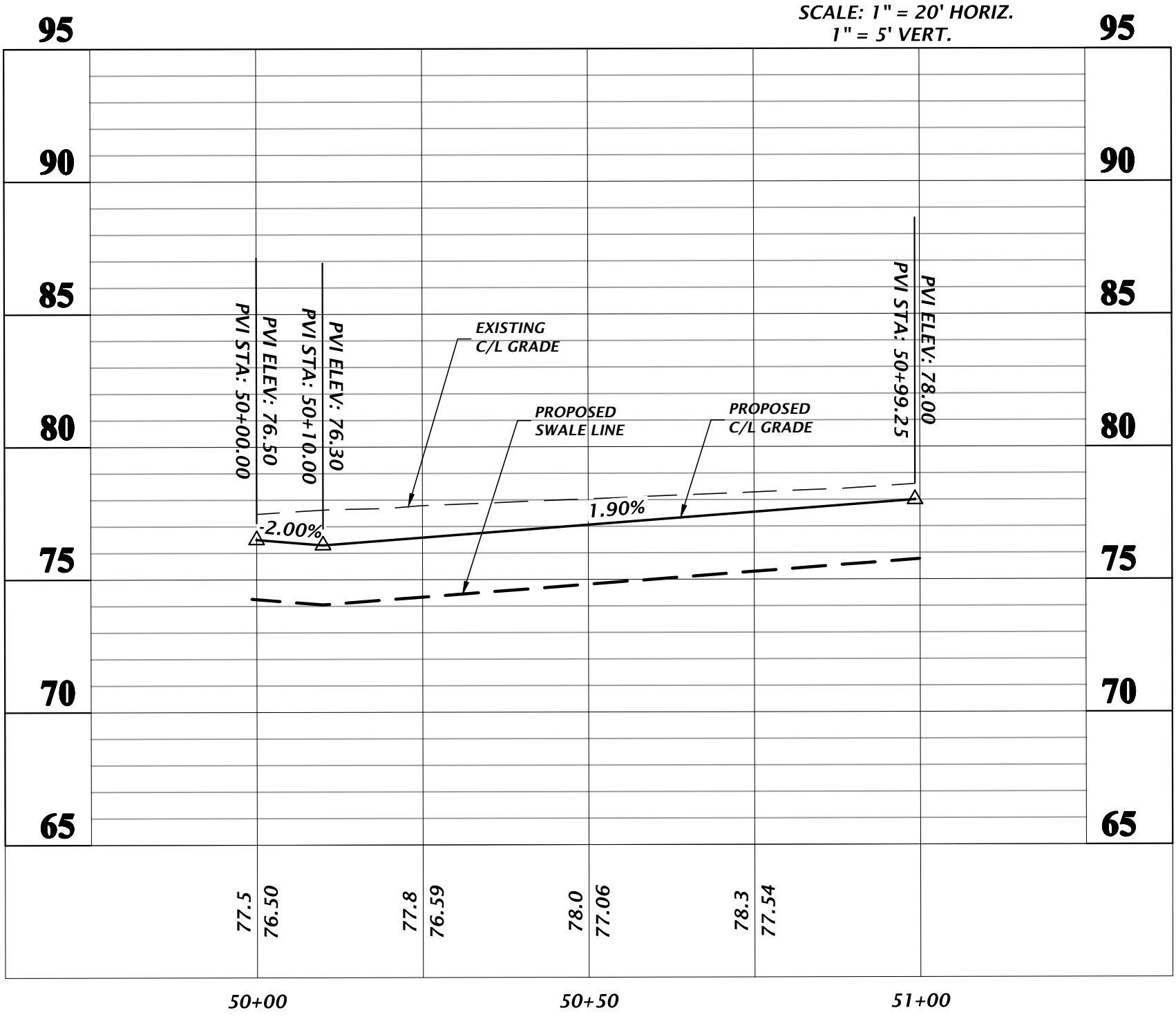


CLAY ELECTRIC NOTES:
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REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.

SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL



WATER FITTING SCHEDULE	
⑦	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLDIP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
⑩	1 - 8"x2" SADDLE 1 - 2" GATE VALVE AND BOX 2 - 8" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE
⑪	1 - 2"x1" SADDLE 1" CORPORATION STOP 2 - 3/4" POTABLE WATER METER
⑫	1 - 2" DEAD END BLOW-OFF ASSEMBLY AND SAMPLE POINT
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	

Technical: jsh/1 Plot Date: Jul 14, 2021 10:02am Filename: N:\2018\B-0273\Engineering\Draws\Production\Plan\B-0273_C4.00-C4.05_P1.dwg

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VERTICAL SCALE ON
ORIGINAL DRAWING
IF NOT INDICATED
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

CONSTRUCTION DIVISIONS

02/16/21 - CITY OF HIGH SPRINGS, FDP, AND SRWD
05/25/21 - SRWD
07/14/21 - CITY OF HIGH SPRINGS

CLIENT: GEE YUE ESTATE

PROJECT: SPRINGFIELD

SHEET TITLE: ROADWAY PLAN AND PROFILES

DESIGNER: J. THOMAS

PROJECT MANAGER: J. THOMAS

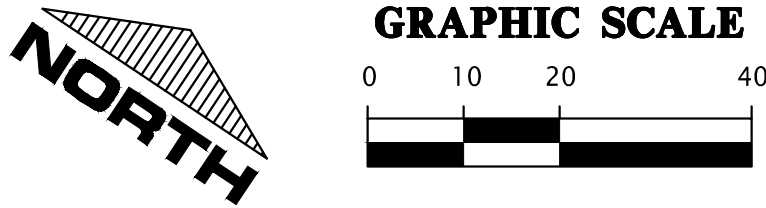
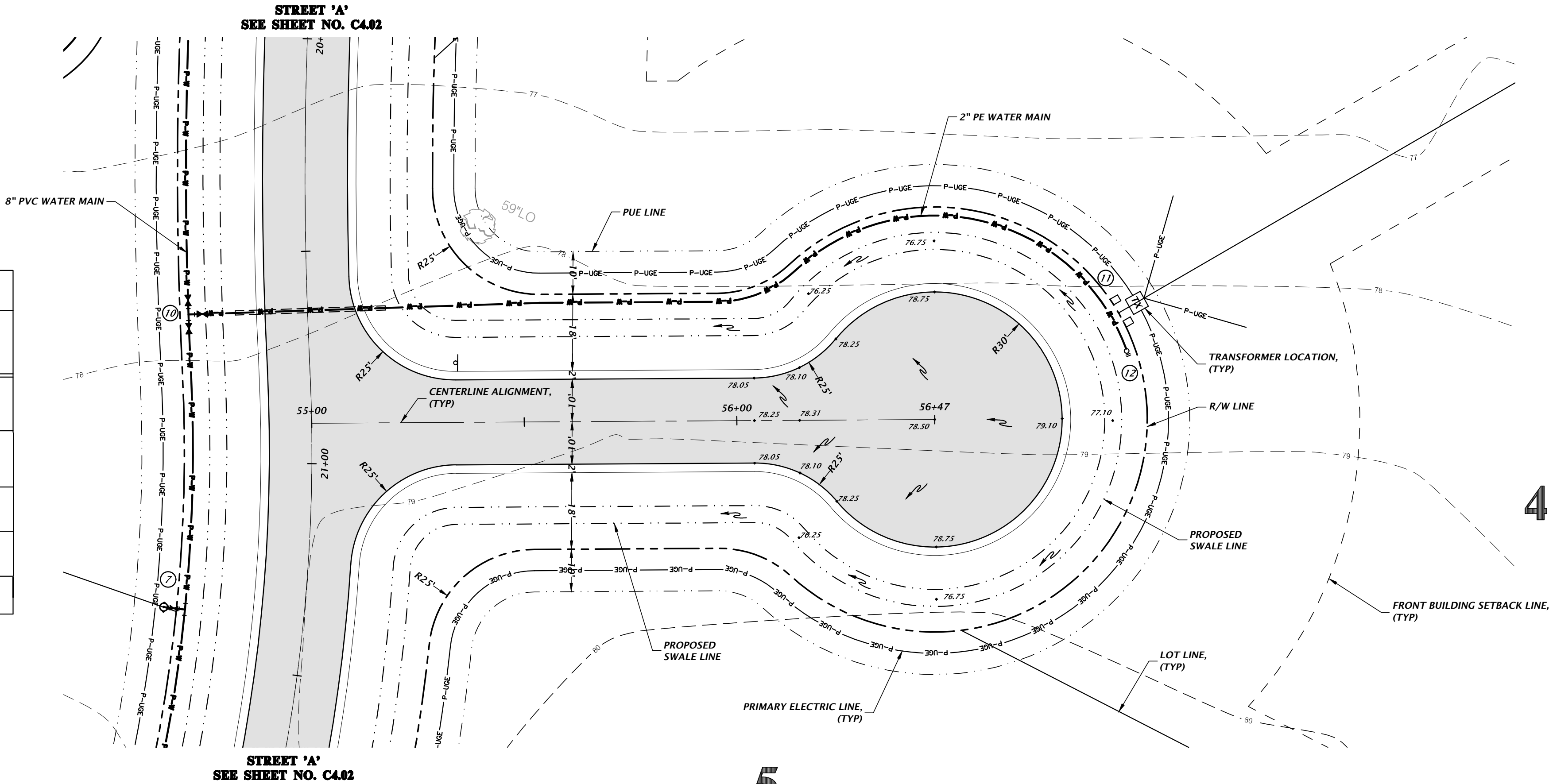
QUALITY CONTROL: R. WALPOLE

PROJECT NUMBER: 18-0273

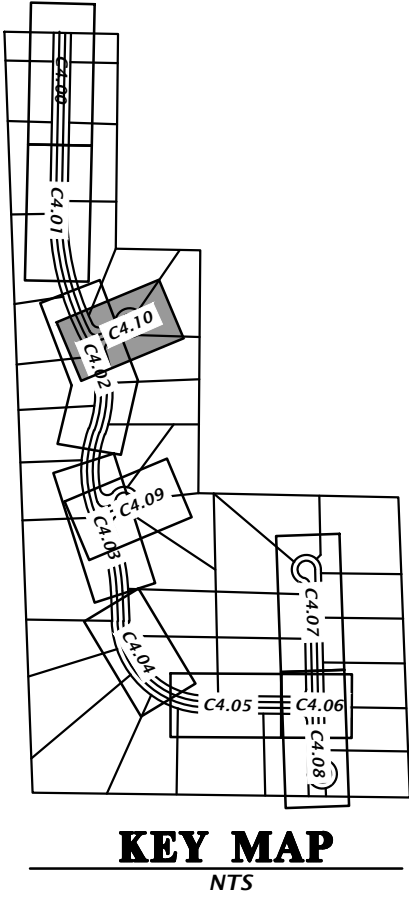
ROBERT J. WALPOLE
Professional Engineer
No. 58206
July 2021
STATE OF FLORIDA

FL PE No. 58206
SHEET NO: C4.09

WATER FITTING SCHEDULE	
⑦	1 - 8"x8"x6" ANCHORING TEE MECHANICALLY RESTRAINED 1 - 6" GATE VALVE AND BOX 6" CLDIP WATER MAIN 1 - FIRE HYDRANT ASSEMBLY
⑧	1 - 8"x1" SADDLE 1 - 1" CORPORATION STOP 1 - 3/4" POTABLE WATER METER
⑩	1 - 8"x2" SADDLE 1 - 2" GATE VALVE AND BOX 2 - 8" GATE VALVE AND BOX 2" POLYETHYLENE PIPE IN 3" PVC SCH 40 SLEEVE
⑪	1 - 2"x1" SADDLE 1" CORPORATION STOP 2 - 3/4" POTABLE WATER METER
⑫	1 - 2" DEAD END BLOW-OFF ASSEMBLY AND SAMPLE POINT
NOTE: ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH A 2" SQUARE OPERATING NUT.	



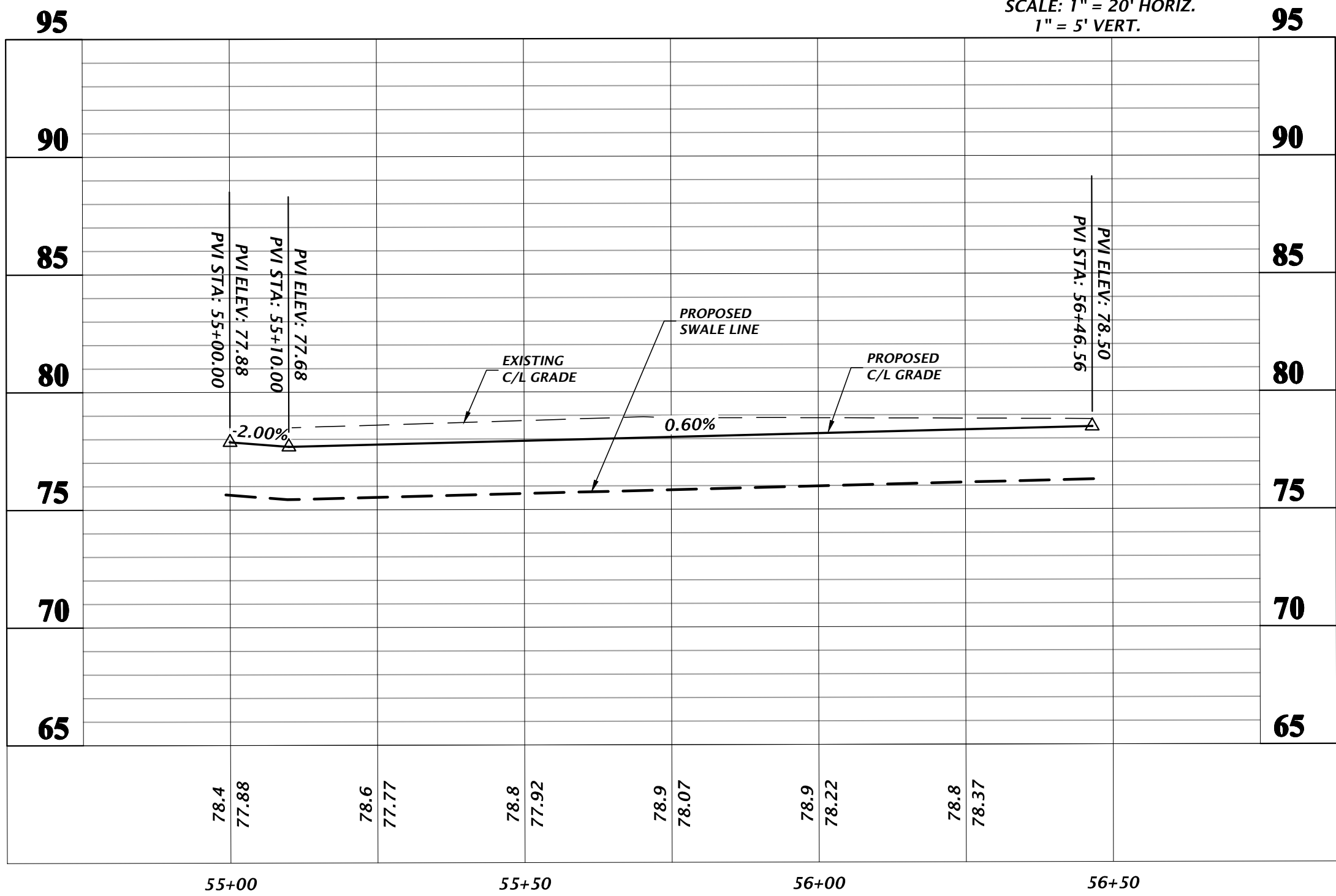
CLAY ELECTRIC NOTES:
THE SITE CONTRACTOR SHALL CONSTRUCT ALL CONDUITS (PRIMARY AND SECONDARY) PER PLANS PROVIDED BY CLAY ELECTRIC CORP. (CEC).

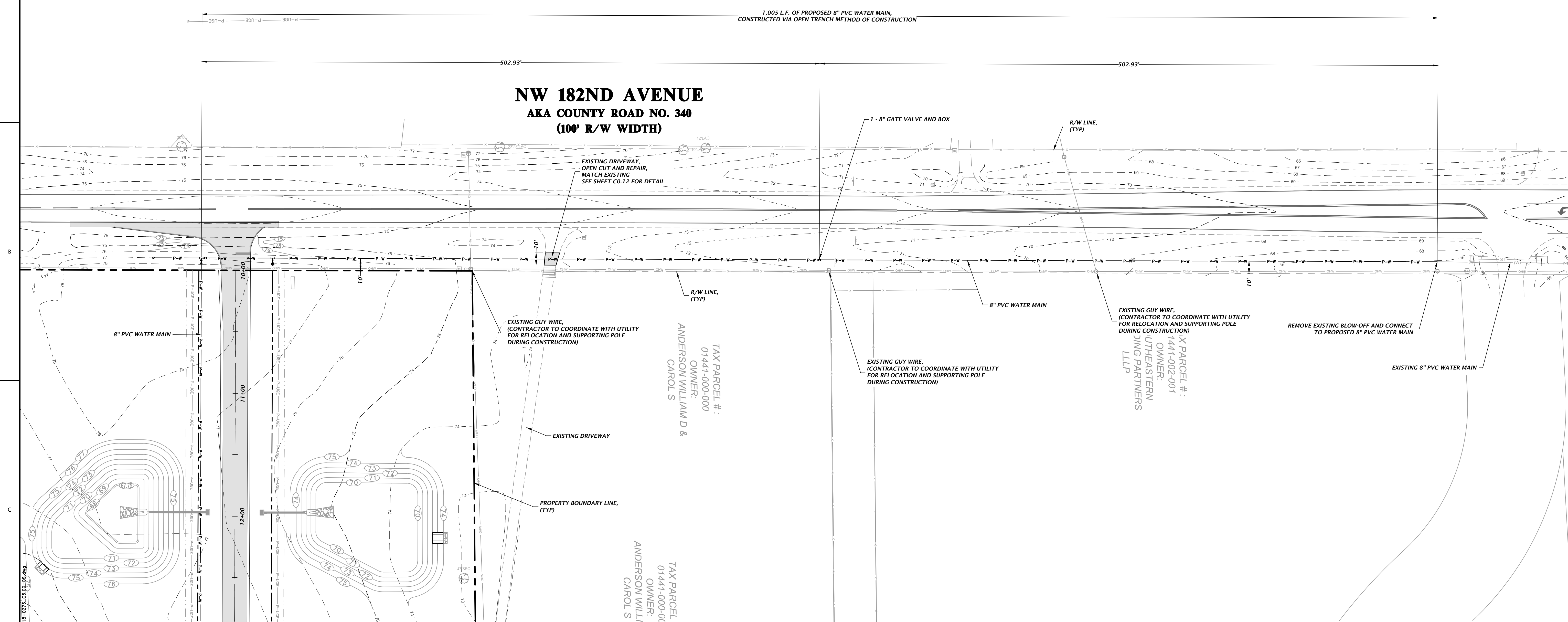


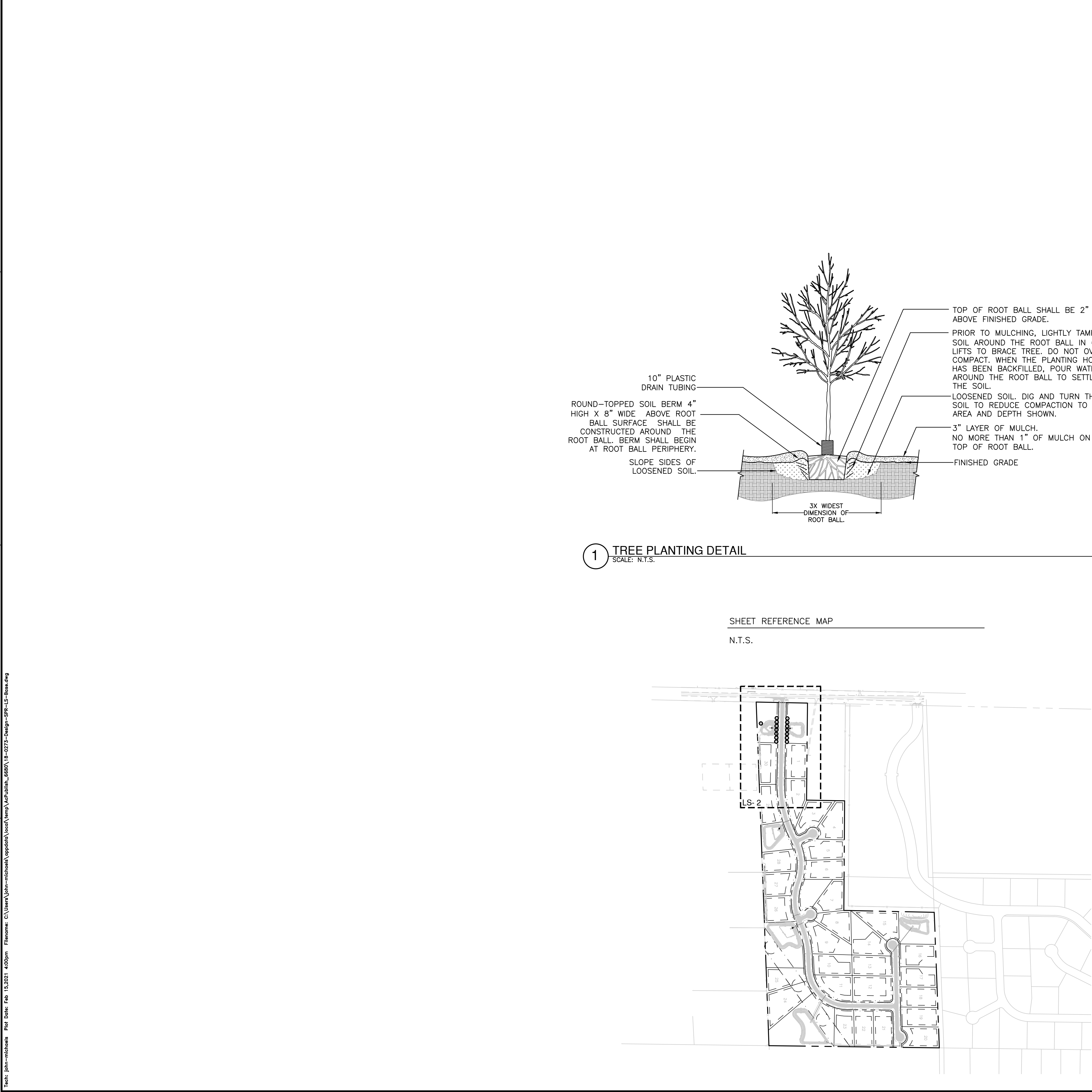
REFER TO SHEETS C0.10, C0.11, AND C0.12 FOR NOTES, LEGENDS AND DETAILS.
REFER TO SHEET C0.30 FOR TREE REMOVAL INFORMATION.
REFER TO SHEET C1.00 FOR HORIZONTAL CONTROL.
REFER TO SHEET C2.00 FOR STORM STRUCTURE SCHEDULE.


STREET 'D'
DESIGN SPEED 25 MPH

SCALE: 1" = 20' HORIZONTAL
1" = 5' VERTICAL









KNOW WHAT'S
BELOW
ALWAYS CALL 811
BEFORE YOU DIG
It's fast, it's free, it's the law.
Call 811 two business days
before digging

CATEGORY	MITIGATION CALCULATIONS
1:1 REPLACEMENT	TOTAL TREES TO BE MITIGATED AT 1:1 REPLACEMENT.....15 TREES
	TOTAL TREES REQUIRED FOR MITIGATION @ 1:1 REPLACEMENT.....15 TREES
	TOTAL REPLACEMENT TREES PROVIDED.....15 TREES
	TOTAL MITIGATION DEFICIT/SURPLUS..... 0 TREES

GENERAL NOTES
ALL ASPHALT, LIMESTONE, AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PLANTING BEDS AND SOD AREAS PRIOR TO LANDSCAPE INSTALLATION. IF ENCOUNTERED DURING CONSTRUCTION OR INSTALLATION, THESE SHALL BE EXCAVATED AND REMOVED FROM THE SITE. PLANTING DEPTH OF SOIL IN SUCH AREAS SHOULD BE AT LEAST 3'. IF FILL MUST BE ADDED, IT MUST BE FLORIDA CLEAN DEEP FILL (FREE OF WEED SEEDS) WITH pH 6.0 – 7.5.

ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" THICKNESS OF MULCH. PINE BARK MULCH SHALL BE USED IN ALL AREAS.

NEW TREES OUTSIDE OF MULCHED LANDSCAPED BEDS WILL BE PROTECTED FROM MOWER AND STRING TRIMMER DAMAGE WITH 10" OF PLASTIC DRAIN TUBING.

LEADER SHOOTS AND MAIN STRUCTURAL LIMBS OF TREES SHALL NOT BE TOPPED OR PRUNED. TREES WILL BE STAKED AS NEEDED. GUYLINES WILL BE OF NON-SYNTHETIC BIODEGRADABLE MATERIAL.


REFER TO CIVIL PLANS FOR TREE BARRICADE DETAILS AND INFORMATION.

GRASSING
ALL DISTURBED AND UNPAVED AREAS TO BE GRASSED WITH SOD THAT IS FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE OR SHALL BE SEEDED AND MULCHED. SEE CIVIL SITE PLANS FOR ADDITIONAL RELATED INFORMATION.

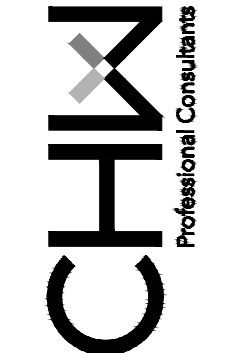
PLANT MATERIAL
ALL PLANT MATERIAL TO BE FLORIDA NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S 'GRADES AND STANDARDS FOR NURSERY PLANTS', CURRENT EDITION AT THE TIME PLANS ARE ISSUED.

PLANT QUANTITIES SHOWN ARE FOR PERMITTING PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM ALL QUANTITIES SHOWN ON THE PLAN.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	QV	15	QUERCUS VIRGINIANA	SEEDLING SOUTHERN LIVE OAK	7 GAL., 7' HT., 25" SPR., 1 1/4" CAL.

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chv-inc.com
est. 1988 **FLORIDA**
LC28000564



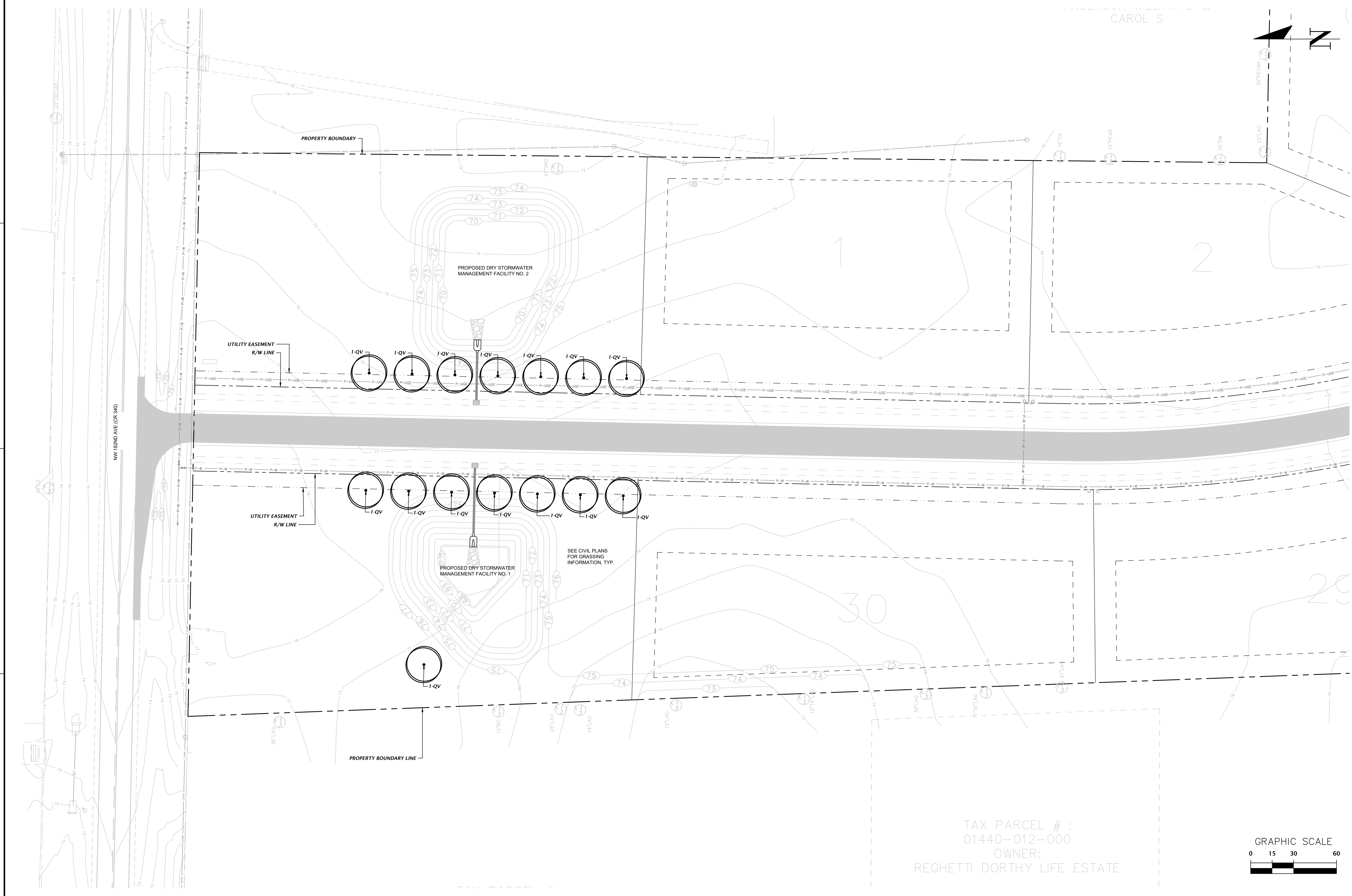
SCALE: N/A
VERIFY SCALE
BASED ON
ORIGINAL DRAWING
0 = 1" = 10' (SEE NOTE ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.)

CONSTRUCTION/BD REVISIONS

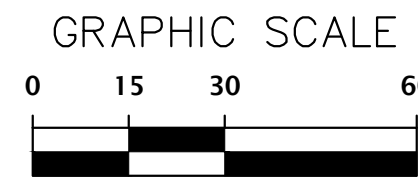
DATE/TITLE: 2/11/21 - CITY OF HIGH SPRINGS, FDP, SWWD

DESIGNER: JMS	CLIENT: CEE YUE ESTATE
DESIGNER: JMS	PROJECT: SPRINGFIELD
QUALITY CONTROL: CT	SHEET TITLE: LANDSCAPE NOTES AND DETAILS
PROJECT NUMBER: 18-0273	

SHEET NO.:
LS-1



TAX PARCEL # :
01440-012-000
OWNER:
REGHETTI DORTHY LIFE ESTATE



CHW Professional Consultants		11801 Research Drive Alicia, Florida 32615 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA LC28000564	
SCALE: 1"=30'		VERIFY SCALE BASED ON SCALE OF ORIGINAL DRAWING 0"=1" MAY BE USED FOR THIS SHEET, ADJUST SCALES ACCORDINGLY.	
DATE: 2/11/21		CITY OF HIGH SPRINGS, FLORIDA	
CLIENT: GEE YUE ESTATE		PROJECT: SPRINGFIELD	
DESIGNER: JMS		QUALITY CONTROL: CT	
PROJECT NUMBER: 18-0273		SHEET TITLE: LANDSCAPE PLAN	
SHEET NO: LS-2			

BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST,
ALACHUA COUNTY, FLORIDA

GRAPHIC SCALE

0 75 150 300

1" = 150'

0 75 150 300

1" = 150'

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1" = 150'

0 75 150 300

1" = 150'

DESCRIPTION: (OFFICIAL RECORDS BOOK 4521, PAGES 276 - 278)

THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION FOUR (4), TOWNSHIP EIGHT (8) SOUTH, RANGE SEVENTEEN (17) EAST, ALACHUA COUNTY, FLORIDA; LESS RIGHT OF WAY FOR COUNTY ROAD NO. 340;

ALSO LESS AND EXCEPT:

A TRACT OF LAND SITUATED IN THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA; SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT AN IRON PIPE AT THE NORTHWEST CORNER OF THE AFOREMENTIONED SOUTHWEST 1/4 OF SECTION 4 FOR A POINT OF REFERENCE AND RUN N. 89 DEGREES 35 MINUTES 59 SECONDS E., ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 1308.54 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF SAID SOUTHWEST 1/4; THENCE RUN S. 03 DEGREES 27 MINUTES 28 SECONDS E., ALONG THE WEST LINE OF SAID EAST 1/2, A DISTANCE OF 39.88 FEET TO A STEEL ROD AND CAP ON THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 340 (100 FOOT RIGHT OF WAY); THENCE RUN N. 89 DEGREES 52 MINUTES 30 SECONDS E., ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 291.47 FEET TO A STEEL ROD AND CAP; THENCE RUN S. 00 DEGREES 54 MINUTES 22 SECONDS E., A DISTANCE OF 745.37 FEET TO A STEEL ROD AND CAP; THENCE RUN S. 89 DEGREES 44 MINUTES 59 SECONDS W., A DISTANCE OF 292.91 FEET TO A STEEL ROD AND CAP; THENCE RUN N. 00 DEGREES 47 MINUTES 42 SECONDS W., A DISTANCE OF 745.99 FEET TO THE TRUE POINT OF BEGINNING.

AND ALSO LESS AND EXCEPT:

A PORTION OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT AN IRON PIPE AT THE NORTHWEST CORNER OF THE AFOREMENTIONED SOUTHWEST 1/4 OF SECTION 4 AND RUN THENCE NORTH 89 DEGREES 35 MINUTES 59 SECONDS EAST, ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4, 1308.54 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF SAID SOUTHWEST 1/4; THENCE CONTINUE NORTH 89 DEGREES 35 MINUTES 59 SECONDS EAST, ALONG SAID NORTH LINE 1308.54 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4; THENCE SOUTH 03 DEGREES 29 MINUTES 19 SECONDS EAST, ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 45.95 FEET TO A SET 1/2 INCH REBAR AND CAP "PLS 4789" ON THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 340 - N.W. 182ND AVENUE (100' RIGHT-OF-WAY) AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 03 DEGREES 29 MINUTES 19 SECONDS EAST ALONG SAID EAST LINE 1590.74 FEET TO A SET 1/2 INCH REBAR AND CAP "PLS 4789"; THENCE SOUTH 89 DEGREES 52 MINUTES 30 SECONDS WEST, 695.28 FEET TO A SET 1/2 INCH REBAR AND CAP "PLS 4789"; THENCE NORTH 00 DEGREES 54 MINUTES 22 SECONDS WEST, 1588.15 FEET TO A FOUND 1/2 INCH REBAR AND CAP "LB 6547" ON THE SOUTH RIGHT-OF-WAY LINE OF THE AFOREMENTIONED COUNTY ROAD NO. 340; THENCE NORTH 89 DEGREES 52 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 623.60 FEET TO THE POINT OF BEGINNING.

FLOOD ZONE:

THIS PROPERTY IS DETERMINED TO BE IN NO SPECIAL FLOOD HAZARD AREA" AS INTERPOLATED FROM FLOOD INSURANCE RATE MAP INDEX (F.I.R.M. PANEL 12001C0105D NOT PRINTED) DATED JUNE 16, 2006.

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" WEST FOR THE EAST LINE OF THE SUBJECT PARCEL, SAID BEARING BEING IDENTICAL TO THE PLAT OF CINNAMON HILLS ESTATES - PHASE II AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS DERIVED FROM FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK POINT NAME 2603001C1 WITH A PUBLISHED ELEVATION OF 68.34' (NAVD 88).
- THIS SURVEY CONSISTS OF TEN (10) SHEETS AND IS NOT COMPLETE WITHOUT EACH SHEET. SEE SHEET ONE (1) FOR BOUNDARY INFORMATION. SEE SHEETS TWO (2) THROUGH NINE (9) FOR DETAILED TOPOGRAPHIC INFORMATION. SEE SHEET TEN (10) FOR TREE TABLE CHART.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE LAYERS IN THE SUPPLIED DIGITAL FILE.

LEGEND:

- = BENCHMARK
- = FOUND 4"x4" CONCRETE MONUMENT (MARKED AS NOTED)
- = FOUND IRON PIPE NO IDENTIFICATION (SIZE AS NOTED)
- = FOUND 1/2" IRON ROD NO IDENTIFICATION
- = FOUND 1/2" STEEL REBAR & CAP (MARKED AS NOTED)
- = FOUND AXLE NO IDENTIFICATION
- = SET 50'S STEEL REBAR AND CAP MARKED "CHW INC LB 5075"
- = METAL POWER POLE
- = ELECTRIC BOX
- = GUY ANCHOR
- = MAILBOX
- = SIGN
- = TREE (DESIGNATION NUMBER, SIZE AND TYPE AS NOTED)
- = TELEPHONE PEDESTAL
- = WELL
- = WOODEN POWER POLE
- = WATER VALVE
- = ROADWAY PAVEMENT MARKINGS
- = ASPHALT SURFACE
- = CONCRETE SURFACE
- = DIRT SURFACE
- = OVERHEAD WIRE
- = FENCE (SIZE AND TYPE AS NOTED)
- = CONTOUR LINE

- (D) = DATA BASED ON DEED OF RECORD (O.R.B. 4521, PAGES 276 - 278)
- (P) = DATA BASED ON PLAT OF RECORD (PLAT BOOK 23, PAGE 61)
- (M) = DATA BASED ON FIELD MEASUREMENTS
- RW = RIGHT OF WAY
- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
- NAVD = NORTH AMERICAN VERTICAL DATUM
- F.I.R.M. = FLOOD INSURANCE RATE MAP
- X 76.5 = SPOT ELEVATION (PERVIOUS SURFACE)
- X 76.75 = SPOT ELEVATION (IMPERVIOUS SURFACE)
- INV = INVERT
- RCP = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- LO = LIVE OAK
- LAO = LAUREL OAK
- CB = CHINA BERRY
- MH = MOCKERNUT HICKORY
- CP = CAMPHOR
- BO = BLUFF OAK
- PH = PIGNUT HICKORY
- CA = CAMELIA
- DW = DOGWOOD
- SRO = SOUTHERN RED OAK
- BC = BLACK CHERRY
- HB = HACKBERRY

11001 Research Drive
Alachua, Florida 32015
(352) 331-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

SCALE
1" = 150'

REVISIONS
DATE
BY
DESCRIPTION

REVISIONS
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























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DESCRIPTION

1. BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" WEST FOR THE EAST LINE OF THE SUBJECT PARCEL. SAID BEARING BEING IDENTICAL TO THE PLAT OF CINNAMHILL ESTATES - PHASE II AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
5. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
6. FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- 7.
8. IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL. IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
9. VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK POINT NAME 2693001C1 WITH A PUBLISHED ELEVATION OF 86.34' (NAVD 88).
10. THIS SURVEY CONSISTS OF TEN (10) SHEETS AND IS NOT COMPLETE WITHOUT EACH SHEET. SEE SHEET ONE (1) FOR BOUNDARY INFORMATION. SEE SHEETS TWO (2) THROUGH NINE (9) FOR DETAILED TOPOGRAPHIC INFORMATION. SEE SHEET TEN (10) FOR TREE TABLE CHART.
11. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE S-VNODE LAYERS IN THE SUPPLIED DIGITAL FILE.

LEGEND:

-  = BENCHMARK
-  = FOUND 4"x4" CONCRETE MONUMENT (MARKED AS NOTED)
-  = FOUND IRON PIPE NO IDENTIFICATION (SIZE AS NOTED)
-  = FOUND 1/2" IRON ROD NO IDENTIFICATION
-  = FOUND 1/2" STEEL REBAR & CAP (MARKED AS NOTED)
-  = FOUND AXLE NO IDENTIFICATION
-  = SET 3/8" STEEL REBAR AND CAP MARKED "CHW INC LB 5075"
-  = METAL POWER POLE
-  = ELECTRIC BOX
-  = GUY ANCHOR
-  = MAILBOX
-  = SIGN
-  = TREE (DESIGNATION NUMBER, SIZE AND TYPE AS NOTED)
-  = TELEPHONE PEDESTAL
-  = WELL
-  = WOODEN POWER POLE
-  = WATER VALVE
-  = ROADWAY PAVEMENT MARKINGS
-  = ASPHALT SURFACE
-  = CONCRETE SURFACE
-  = DIRT SURFACE
-  = OVERHEAD WIRE
-  = FENCE (SIZE AND TYPE AS NOTED)
-  = CONTOUR LINE
- (D) = DATA BASED ON DEED OF RECORD (O.R.B. 4521, PAGES 2 & 3)
- (P) = DATA BASED ON PLAT OF RECORD (PLAT BOOK 23, PAGE 1)
- (M) = DATA BASED ON FIELD MEASUREMENTS
- RW = RIGHT OF WAY
- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY

NAVD = NORTH AMERICAN VERTICAL DATUM
 F.I.R.M. = FLOOD INSURANCE RATE MAP
 X 76.5 = SPOT ELEVATION (PERVIOUS SURFACE)
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 PH = PIGNUT HICKORY
 CA = CAMELIA
 DW = DOGWOOD
 SRO = SOUTHERN RED OAK
 BC = BLACK CHERRY
 HB = HACKBERRY


THIS PROPERTY IS DETERMINED TO BE IN
"NO SPECIAL FLOOD HAZARD AREA" AS
INTERPOLATED FROM FLOOD INSURANCE RATE
MAP INDEX (F.I.R.M. PANEL 12001C0105D NOT
PRINTED) DATED JUNE 16, 2006.

A horizontal timeline with tick marks at 0, 15, and 30. The segment between 0 and 15 is shaded black. The segment between 15 and 30 is white.



11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com

est. 1988 **FLORIDA**
CA-5075



SCALE: 1" = 30'

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING

1"

IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

SEE SHEET ONE OF TEN

SURVEY DATE:	11/19/20109
REVISION DATE:	07/21/2021
PROJECT NUMBER:	18-0273

TECHNICIAN: KWM
CREW CHIEF: JWJ
CHECKED BY: AHH
FIELD BOOK & 504 100 5

AARON H. HICKMAN

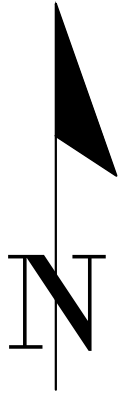
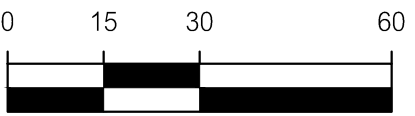
SEE SHEET ONE OF TEN

This map prepared by:

SHEET NO.:
2 OF 10

BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST,
ALACHUA COUNTY, FLORIDA

GRAPHIC SCALE



SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" WEST FOR THE EAST LINE OF THE SUBJECT PARCEL, SAID BEARING BEING IDENTICAL TO THE PLAT OF CINNAMON HILLS ESTATES - PHASE II AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
5. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
6. FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
7. IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
8. VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK POINT NAME 2603001C1 WITH A PUBLISHED ELEVATION OF 68.34' (NAVD 88).
9. THIS SURVEY CONSISTS OF TEN (10) SHEETS AND IS NOT COMPLETE WITHOUT EACH SHEET. SEE SHEET ONE (1) FOR BOUNDARY INFORMATION. SEE SHEETS TWO (2) THROUGH NINE (9) FOR DETAILED TOPOGRAPHIC INFORMATION. SEE SHEET TEN (10) FOR TREE TABLE CHART.
10. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE LAYERS IN THE SUPPLIED DIGITAL FILE.

FLOOD ZONE:

THIS PROPERTY IS DETERMINED TO BE IN
"NO SPECIAL FLOOD HAZARD AREA" AS
INTERPOLATED FROM FLOOD INSURANCE RATE
MAP INDEX (F.I.R.M. PANEL 12001C0105D NOT
PRINTED) DATED JUNE 16, 2006.

LEGEND:

- = BENCHMARK
 - = FOUND 4"x4" CONCRETE MONUMENT (MARKED AS NOTED)
 - = FOUND IRON PIPE NO IDENTIFICATION (SIZE AS NOTED)
 - = FOUND 1/2" IRON ROD NO IDENTIFICATION
 - = FOUND 1/2" STEEL REBAR & CAP (MARKED AS NOTED)
 - = FOUND AXLE NO IDENTIFICATION
 - = SET 5/8" STEEL REBAR AND CAP MARKED "CHW INC LB 5075"
 - = METAL POWER POLE
 - = ELECTRIC BOX
 - = GUY ANCHOR
 - = MAILBOX
 - = SIGN
 - = TREE (DESIGNATION NUMBER, SIZE AND TYPE AS NOTED)
 - = TELEPHONE PEDESTAL
 - = WELL
 - = WOODEN POWER POLE
 - = WATER VALVE
 - = ROADWAY PAVEMENT MARKINGS
 - = ASPHALT SURFACE
 - = CONCRETE SURFACE
 - = DIRT SURFACE
 - = OVERHEAD WIRE
 - = FENCE (SIZE AND TYPE AS NOTED)
 - = CONTOUR LINE
- (D) = DATA BASED ON DEED OF RECORD (O.R.B. 4521, PAGES 276 - 278)
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NAVD = NORTH AMERICAN VERTICAL DATUM
F.I.R.M. = FLOOD INSURANCE RATE MAP
X 76.5 = SPOT ELEVATION (PREVIOUS SURFACE)
X 76.75 = SPOT ELEVATION (IMPERVIOUS SURFACE)
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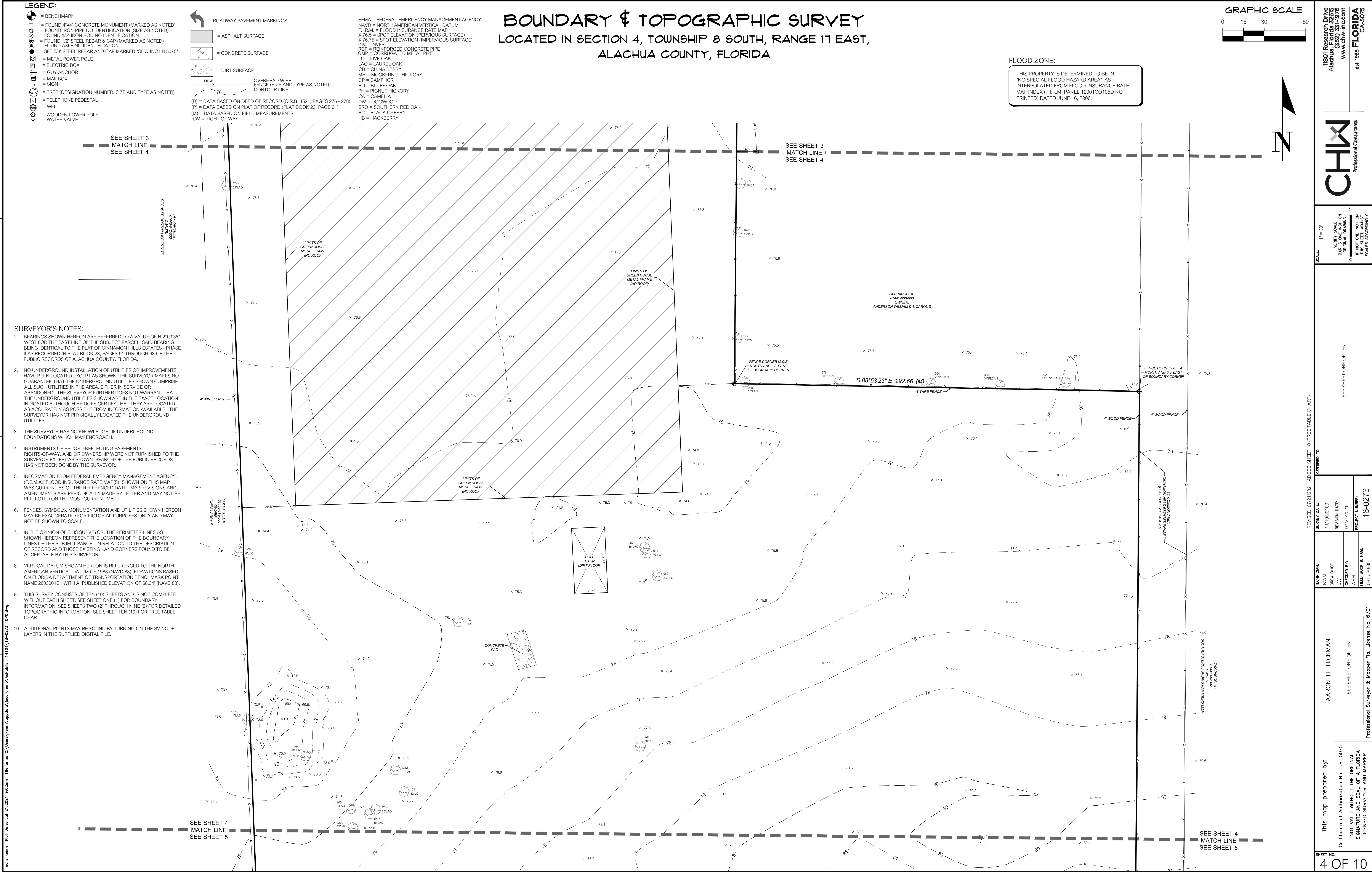
REVISED 07/21/2021, ADDED SHEET 10, (TREE TABLE CHART)

CERTIFIED TO:

REVISION	DATE	BY	REASON
1	11/19/2019	JW	REVISION DATE
2	07/21/2021	AHH	REVISION DATE
3	07/21/2021	AHH	REVISION DATE
4	07/21/2021	AHH	REVISION DATE
5	07/21/2021	AHH	REVISION DATE
6	07/21/2021	AHH	REVISION DATE
7	07/21/2021	AHH	REVISION DATE
8	07/21/2021	AHH	REVISION DATE
9	07/21/2021	AHH	REVISION DATE
10	07/21/2021	AHH	REVISION DATE

This map prepared by:
AARON H. HICKMAN
Certificate of Authorization No. LB. 5075
NOT VALID WITHOUT THE ORIGINAL
SIGNATURE AND SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER
Professional Surveyor & Mapper Fla. License No. 6791

SHEET NO.:
3 OF 9



BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST,
ALACHUA COUNTY, FLORIDA

FLOOD ZONE:

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MAP INDEX (F.I.R.M. PANEL 12001C0105D NOT
PRINTED) DATED JUNE 16, 2006.

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- ⊕ = MAILBOX
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- = WATER VALVE
- = ROADWAY PAVEMENT MARKINGS

- ASPHALT SURFACE
- CONCRETE SURFACE
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GRAPHIC SCALE
0 15 30 60



REVISIONS: 01/21/2021, ADDED SHEET 10, (TREE TABLE CHART)

SHEET DATE: 11/19/2019
REVISION DATE: 07/21/2021
PROJECT NUMBER: 18-0273

DESIGNED BY: JWH
CHECKED BY: AHH
FIELD BOOK & PAGE: 581 / 30-35

THIS MAP PREPARED BY: AARON H. HICKMAN
SEE SHEET ONE OF TEN

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SIGNATURE AND SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

SHEET NO.: 5 OF 10

Professional Seal

Professional Seal

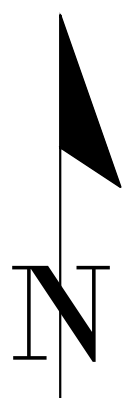
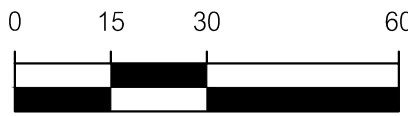
Professional Seal

Professional Seal

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GRAPHIC SCALE



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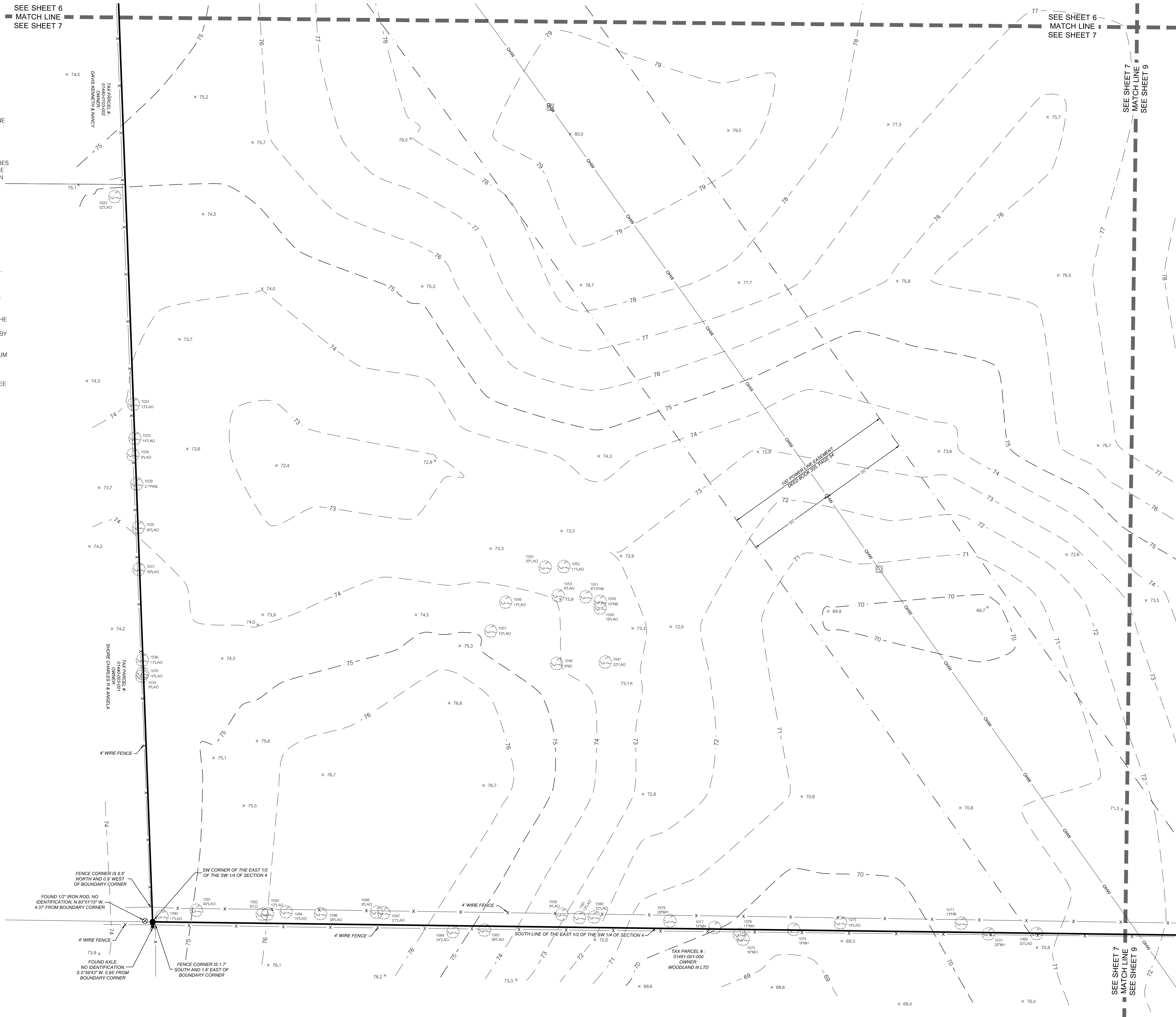
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BOUNDARY & TOPOGRAPHIC SURVEY LOCATED IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST, ALACHUA COUNTY, FLORIDA

FLOOD ZONE:

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MAP INDEX (F.I.R.M. PANEL 12001C0105D NOT
PRINTED) DATED JUNE 16, 2006.



REVISED 07/21/2021, ADDED SHEET 10, (TREE TABLE CHART)

CONTINUED TO

REVISION	DATE	BY	REASON
1	11/19/2019	JW	REVISION DATE
2	07/21/2021	AHH	PROJECT NUMBER
3	07/21/2021	AHH	FIELD BOOK & PAGE

REVISION	DATE	BY	REASON
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3	07/21/2021	AHH	FIELD BOOK & PAGE

7 OF 10

11001 Research Drive
Alachua, Florida 32015
(352) 331-1976
www.chw-inc.com
est. 1988
Professional Consultants
CA-5075

CHW
Professional Consultants

1" = 30'

SEE SHEET ONE OF TEN

18-0273

Professional Surveyor & Mapper Fla. License No. 6791

This map prepared by:
AARON H. HICKMAN
Certificate of Authorization No. LB. 5075
NOT VALID WITHOUT THE ORIGINAL
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LICENSED SURVEYOR AND MAPPER

[illegible]

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VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING



















0 1"







IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

11/15	REVISIONS
07/02	REVISIONS
PROJECT	PROJECT
CREW CHIEF:	CREW CHIEF:
JW	JW
CHECKED BY:	CHECKED BY:
AHH	AHH
FIELD BOOK & PAGE:	FIELD BOOK & PAGE:
504, 100, 05	504, 100, 05

1000

3 OF 10

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HB = HACKBERRY

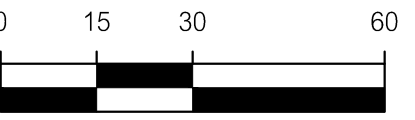
1. BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" W/ES FOR THE EAST LINE OF THE SUBJECT PARCEL, SAID BEARING BEING IDENTICAL TO THE PLAT OF CANNONHAM HILL ESTATES - PHASE I AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COME IN ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN WILL NOT AFFECT THE SURVEYED PROPERTY, NOR DOES THE SURVEYOR CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. INSTRUMENTS OR RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN. RESEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
5. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCE DATE. MAP REVISIONS AND AMENDMENTS ARE LOGICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
6. FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
7. IN THE OPINION OF THIS SURVEYOR, THE PERMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL. IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE ENDING LINES CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
8. VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK POINT NAME 2630301C11 WITH A SURVEYED ELEVATION OF 68.34' (NAVD 88).
9. THIS SURVEY COMBINED WITH TEN (10) SHEETS AND IS NOT COMPLETE WITHOUT EACH SHEET. SEE SHEET ONE (1) FOR BOUNDARY IDENTIFICATION. SEE SHEET TWO (2) FOR DETAILED TOPOGRAPHIC INFORMATION. SEE SHEET TEN (10) FOR TREE PLANT CHART.
10. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE LAYERS IN THE SUPPLIED DIGITAL FILE.

FLOOD ZONE:
THIS PROPERTY IS DETERMINED TO BE IN
"NO SPECIAL FLOOD HAZARD AREA" AS
INTERPOLATED FROM FLOOD INSURANCE RATE
MAP INDEX (F.I.R.M. PANEL 12001C0105D NOT
PRINTED) DATED JUNE 16, 2006.

BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST,
ALACHUA COUNTY, FLORIDA

GRAPHIC SCALE



SEE SHEET 8
MATCH LINE
SEE SHEET 9

SEE SHEET 8
MATCH LINE
SEE SHEET 9

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" WEST FOR THE EAST LINE OF THE SUBJECT PARCEL, SAID BEARING BEING IDENTICAL TO THE PLAT OF CINNAMON HILLS ESTATES - PHASE II AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
5. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
6. FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
7. IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
8. VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK POINT NAME 2603001C1 WITH A PUBLISHED ELEVATION OF 68.34' (NAVD 88).
9. THIS SURVEY CONSISTS OF TEN (10) SHEETS AND IS NOT COMPLETE WITHOUT EACH SHEET. SEE SHEET ONE (1) FOR BOUNDARY INFORMATION. SEE SHEETS TWO (2) THROUGH NINE (9) FOR DETAILED TOPOGRAPHIC INFORMATION. SEE SHEET TEN (10) FOR TREE TABLE CHART.
10. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE LAYERS IN THE SUPPLIED DIGITAL FILE.

LEGEND:

- = BENCHMARK
 - = FOUND 4"x4" CONCRETE MONUMENT (MARKED AS NOTED)
 - = FOUND IRON PIPE NO IDENTIFICATION (SIZE AS NOTED)
 - = FOUND 1/2" IRON ROD NO IDENTIFICATION
 - = FOUND 1/2" STEEL REBAR & CAP (MARKED AS NOTED)
 - = FOUND AXLE NO IDENTIFICATION
 - = SET 5/8" STEEL REBAR AND CAP MARKED "CHW INC LB 5075"
 - = METAL POWER POLE
 - = ELECTRIC BOX
 - = GUY ANCHOR
 - = MAILBOX
 - = SIGN
 - = TREE (DESIGNATION NUMBER, SIZE AND TYPE AS NOTED)
 - = TELEPHONE PEDESTAL
 - = WELL
 - = WOODEN POWER POLE
 - = WATER VALVE
 - = ROADWAY PAVEMENT MARKINGS
 - = ASPHALT SURFACE
 - = CONCRETE SURFACE
 - = DIRT SURFACE
 - = OVERHEAD WIRE
 - = FENCE (SIZE AND TYPE AS NOTED)
 - = CONTOUR LINE
- (D) = DATA BASED ON DEED OF RECORD (O.R.B. 4521, PAGES 276 - 278)
(P) = DATA BASED ON PLAT OF RECORD (PLAT BOOK 23, PAGE 61)
(M) = DATA BASED ON FIELD MEASUREMENTS
RW = RIGHT OF WAY
FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
NAVD = NORTH AMERICAN VERTICAL DATUM
F.I.R.M. = FLOOD INSURANCE RATE MAP
X 76.5 = SPOT ELEVATION (PERVIOUS SURFACE)
X 76.75 = SPOT ELEVATION (IMPERVIOUS SURFACE)
INV = INVERT
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
LO = LIVE OAK
LAO = LAUREL OAK
CB = CHINA BERRY
MH = MOCKERNUT HICKORY
CP = CAMPHOR
BO = BLUFF OAK
PH = PIGNUT HICKORY
CA = CAMELIA
DW = DOGWOOD
SRO = SOUTHERN RED OAK
BC = BLACK CHERRY
HB = HACKBERRY

SITE BENCHMARK
FOUND 4"x4" CONCRETE MONUMENT
STAMPED "7676.5 3794"
ELEVATION = 63.35' (NAVD 88)

11001 Research Drive
Alachua, Florida 32915
(352) 331-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

SCALE
1" = 30'
VERIFY SCALE
BASED ON THE
ORIGINAL DRAWING
0
DO NOT USE FOR ANY
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

SEE SHEET ONE OF TEN

REVISION DATE: 07/21/2021
REVISION BY: JWW
CHECKED BY: AHH
PROJECT NUMBER: 18-0273
FIELD BOOK & PAGE: 581 / 30-35

AARON H. HICKMAN

This map prepared by:
Certificate of Authorization No. LB. 5075
NOT VALID WITHOUT THE ORIGINAL
SIGNATURE AND SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

SHEET NO.:
9 OF 10

BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST,
ALACHUA COUNTY, FLORIDA

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" WEST FOR THE EAST LINE OF THE SUBJECT PARCEL. SAID BEARING BEING IDENTICAL TO THE PLAT OF CINNAMON HILLS ESTATES - PHASE II AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
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- THIS SURVEY CONSISTS OF TEN (10) SHEETS AND IS NOT COMPLETE WITHOUT EACH SHEET. SEE SHEET ONE (1) FOR BOUNDARY INFORMATION. SEE SHEETS TWO (2) THROUGH NINE (9) FOR DETAILED TOPOGRAPHIC INFORMATION. SEE SHEET TEN (10) FOR TREE TABLE CHART.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE LAYERS IN THE SUPPLIED DIGITAL FILE.

TREE TABLE

DESIGNATION NUMBER	SIZE AND COMMON NAME	SCIENTIFIC NAME
228	56" LIVE OAK	QUERCUS VIRGINIANA
257	35" LIVE OAK	QUERCUS VIRGINIANA
623	47" SOUTHERN RED OAK	QUERCUS FALCATA
708	23" 28" LAUREL OAK	QUERCUS LAURIFOLIA
719	10" LAUREL OAK	QUERCUS LAURIFOLIA
720	12" LAUREL OAK	QUERCUS LAURIFOLIA
960	33" LAUREL OAK	QUERCUS LAURIFOLIA
961	24" LAUREL OAK	QUERCUS LAURIFOLIA
962	18" LAUREL OAK	QUERCUS LAURIFOLIA
968	59" LIVE OAK	QUERCUS VIRGINIANA
969	25" LAUREL OAK	QUERCUS LAURIFOLIA
972	16" DOGWOOD	CORNUS
976	30" PECAN	CARYA ILLINOINENSIS
978	12" PEAR	PYRUS
979	16" CAMELIA	CAMELIA
992	24" 13" PECAN	CARYA ILLINOINENSIS
993	31" PECAN	CARYA ILLINOINENSIS
994	25" PECAN	CARYA ILLINOINENSIS
1012	13" CHINABERRY	MELIA AZEDARACH
1020	52" LAUREL OAK	QUERCUS LAURIFOLIA
1024	13" LAUREL OAK	QUERCUS LAURIFOLIA
1025	14" LAUREL OAK	QUERCUS LAURIFOLIA
1026	9" LAUREL OAK	QUERCUS LAURIFOLIA
1029	21" PINE	PINUS
1030	30" LAUREL OAK	QUERCUS LAURIFOLIA
1031	39" LAUREL OAK	QUERCUS LAURIFOLIA
1034	9" LAUREL OAK	QUERCUS LAURIFOLIA
1035	10" LAUREL OAK	QUERCUS LAURIFOLIA
1036	11" LAUREL OAK	QUERCUS LAURIFOLIA
1047	22" LAUREL OAK	QUERCUS LAURIFOLIA
1048	8" BLACK CHERRY	PRUNUS SEROTINA
1049	16" LAUREL OAK	QUERCUS LAURIFOLIA
1050	10" HACKBERRY	CELTIS OCCIDENTALIS
1051	9" 13" HACKBERRY	CELTIS OCCIDENTALIS
1052	11" LAUREL OAK	QUERCUS LAURIFOLIA
1053	8" LAUREL OAK	QUERCUS LAURIFOLIA
1055	20" LAUREL OAK	QUERCUS LAURIFOLIA
1056	14" LAUREL OAK	QUERCUS LAURIFOLIA
1057	15" LAUREL OAK	QUERCUS LAURIFOLIA
1069	32" LAUREL OAK	QUERCUS LAURIFOLIA
1070	20" MOCKERNUT HICKORY	CARYA TOMENTOSA
1071	13" HACKBERRY	CELTIS OCCIDENTALIS
1073	19" LAUREL OAK	QUERCUS LAURIFOLIA
1074	19" MOCKERNUT HICKORY	CARYA TOMENTOSA
1075	16" MOCKERNUT HICKORY	CARYA TOMENTOSA
1076	11" MOCKERNUT HICKORY	CARYA TOMENTOSA
1077	14" MOCKERNUT HICKORY	CARYA TOMENTOSA
1078	29" MOCKERNUT HICKORY	CARYA TOMENTOSA
1080	12" LAUREL OAK	QUERCUS LAURIFOLIA
1081	13" LAUREL OAK	QUERCUS LAURIFOLIA
1082	9" LAUREL OAK	QUERCUS LAURIFOLIA
1083	36" LAUREL OAK	QUERCUS LAURIFOLIA
1084	24" LAUREL OAK	QUERCUS LAURIFOLIA
1090	17" LAUREL OAK	QUERCUS LAURIFOLIA
1091	40" LAUREL OAK	QUERCUS LAURIFOLIA
1092	9" LIVE OAK	QUERCUS VIRGINIANA
1093	12" LAUREL OAK	QUERCUS LAURIFOLIA
1094	10" LAUREL OAK	QUERCUS LAURIFOLIA
1096	38" LAUREL OAK	QUERCUS LAURIFOLIA
1097	21" LAUREL OAK	QUERCUS LAURIFOLIA
1098	9" LAUREL OAK	QUERCUS LAURIFOLIA
1110	12" LAUREL OAK	QUERCUS LAURIFOLIA

TREE TABLE

DESIGNATION NUMBER	SIZE AND COMMON NAME	SCIENTIFIC NAME
1112	8" 8" 9" LAUREL OAK	QUERCUS LAURIFOLIA
1119	16" 55" LIVE OAK	QUERCUS VIRGINIANA
1122	29" LIVE OAK	QUERCUS VIRGINIANA
1123	13" LAUREL OAK	QUERCUS LAURIFOLIA
1132	34" LAUREL OAK	QUERCUS LAURIFOLIA
1137	10" HACKBERRY	CELTIS OCCIDENTALIS
1138	15" LAUREL OAK	QUERCUS LAURIFOLIA
1140	8" CAMPHOR	CINNAMOMUM CAMPHORA
1142	33" LAUREL OAK	QUERCUS LAURIFOLIA
1146	27" LIVE OAK	QUERCUS VIRGINIANA
1148	40" LAUREL OAK	QUERCUS LAURIFOLIA
1159	46" LAUREL OAK DEAD	QUERCUS LAURIFOLIA
1172	11" BLUFF OAK	QUERCUS AUSTRINA
1175	11" LAUREL OAK	QUERCUS LAURIFOLIA
1194	31" LAUREL OAK	QUERCUS LAURIFOLIA
1205	13" LAUREL OAK	QUERCUS LAURIFOLIA
1206	25" LAUREL OAK	QUERCUS LAURIFOLIA
1207	16" LAUREL OAK	QUERCUS LAURIFOLIA
1209	13" LAUREL OAK	QUERCUS LAURIFOLIA
1211	32" LIVE OAK	QUERCUS VIRGINIANA
1212	27" LAUREL OAK	QUERCUS LAURIFOLIA
1225	30" LAUREL OAK	QUERCUS LAURIFOLIA
1227	11" 16" LAUREL OAK	QUERCUS LAURIFOLIA
1229	21" LAUREL OAK	QUERCUS LAURIFOLIA
1232	8" LAUREL OAK	QUERCUS LAURIFOLIA
1235	12" 14" LAUREL OAK	QUERCUS LAURIFOLIA
1239	12" LAUREL OAK	QUERCUS LAURIFOLIA
1242	14" LAUREL OAK	QUERCUS LAURIFOLIA
1243	25" LAUREL OAK	QUERCUS LAURIFOLIA
1245	12" BLACK CHERRY	PRUNUS SEROTINA
1250	36" LAUREL OAK	QUERCUS LAURIFOLIA
1259	36" LAUREL OAK	QUERCUS LAURIFOLIA
1262	22" LAUREL OAK	QUERCUS LAURIFOLIA
1263	15" LAUREL OAK	QUERCUS LAURIFOLIA
1264	22" LAUREL OAK	QUERCUS LAURIFOLIA
1265	34" LAUREL OAK	QUERCUS LAURIFOLIA
1266	12" LAUREL OAK	QUERCUS LAURIFOLIA
1267	20" LAUREL OAK	QUERCUS LAURIFOLIA
1268	26" LAUREL OAK	QUERCUS LAURIFOLIA
1269	22" LIVE OAK	QUERCUS VIRGINIANA
1270	16" LIVE OAK	QUERCUS VIRGINIANA
1271	24" LAUREL OAK	QUERCUS LAURIFOLIA
1272	28" LAUREL OAK	QUERCUS LAURIFOLIA
1273	15" HACKBERRY	CELTIS OCCIDENTALIS
1274	53" LIVE OAK	QUERCUS VIRGINIANA
1275	33" LAUREL OAK	QUERCUS LAURIFOLIA
1276	32" LAUREL OAK	QUERCUS LAURIFOLIA
1277	9" HACKBERRY	CELTIS OCCIDENTALIS
1278	19" LAUREL OAK	QUERCUS LAURIFOLIA
1279	30" LIVE OAK	QUERCUS VIRGINIANA
1280	32" LAUREL OAK	QUERCUS LAURIFOLIA
1281	24" LIVE OAK	QUERCUS VIRGINIANA
1282	26" LAUREL OAK	QUERCUS LAURIFOLIA
1283	8" CHINABERRY	MELIA AZEDARACH
1284	21" CHINABERRY	MELIA AZEDARACH
1285	24" LAUREL OAK	QUERCUS LAURIFOLIA
1286	13" HACKBERRY	CELTIS OCCIDENTALIS
1365	22" LAUREL OAK	QUERCUS LAURIFOLIA
1366	28" LAUREL OAK	QUERCUS LAURIFOLIA
1367	15" LAUREL OAK	QUERCUS LAURIFOLIA
1368	19" LAUREL OAK	QUERCUS LAURIFOLIA
1369	16" LAUREL OAK	QUERCUS LAURIFOLIA

TREE TABLE

DESIGNATION NUMBER	SIZE AND COMMON NAME	SCIENTIFIC NAME
1370	12" LAUREL OAK	QUERCUS LAURIFOLIA
1371	17" LAUREL OAK	QUERCUS LAURIFOLIA
1372	17" LAUREL OAK	QUERCUS LAURIFOLIA
1373	17" LAUREL OAK	QUERCUS LAURIFOLIA
1374	11" 23" LAUREL OAK	QUERCUS LAURIFOLIA
1375	16" LAUREL OAK	QUERCUS LAURIFOLIA
1376	30" LAUREL OAK	QUERCUS LAURIFOLIA
1377	11" 31" LAUREL OAK	QUERCUS LAURIFOLIA
1378	36" LAUREL OAK DEAD	QUERCUS LAURIFOLIA
1379	14" 29" LAUREL OAK	QUERCUS LAURIFOLIA
1380	30" LAUREL OAK	QUERCUS LAURIFOLIA
1381	26" 30" LAUREL OAK	QUERCUS LAURIFOLIA
1382	31" LAUREL OAK	QUERCUS LAURIFOLIA
1383	31" LAUREL OAK	QUERCUS LAURIFOLIA
1384	17" LAUREL OAK	QUERCUS LAURIFOLIA
1385	24" LAUREL OAK	QUERCUS LAURIFOLIA
1386	24" LAUREL OAK	QUERCUS LAURIFOLIA
1387	24" LAUREL OAK	QUERCUS LAURIFOLIA
1388	18" LAUREL OAK	QUERCUS LAURIFOLIA
1389	22" LAUREL OAK	QUERCUS LAURIFOLIA
1390	22" LAUREL OAK	QUERCUS LAURIFOLIA
1391	18" LAUREL OAK	QUERCUS LAURIFOLIA
1392	13" LAUREL OAK	QUERCUS LAURIFOLIA
1393	20" LAUREL OAK	QUERCUS LAURIFOLIA
1394	10" LIVE OAK	QUERCUS VIRGINIANA
1395	10" LAUREL OAK	QUERCUS LAURIFOLIA
1396	24" LAUREL OAK	QUERCUS LAURIFOLIA
1397	21" LAUREL OAK	QUERCUS LAURIFOLIA
1398	16" LAUREL OAK	QUERCUS LAURIFOLIA
1399	38" LAUREL OAK	QUERCUS LAURIFOLIA
1556	19" LAUREL OAK	QUERCUS LAURIFOLIA
1557	21" LAUREL OAK	QUERCUS LAURIFOLIA
1558	18" LAUREL OAK	QUERCUS LAURIFOLIA
1559	24" LAUREL OAK	QUERCUS LAURIFOLIA
1560	13" LAUREL OAK	QUERCUS LAURIFOLIA
1561	19" 28" LAUREL OAK	QUERCUS LAURIFOLIA
1562	43" LIVE OAK	QUERCUS VIRGINIANA
1563	21" LIVE OAK	QUERCUS VIRGINIANA
1564	21" LAUREL OAK	QUERCUS LAURIFOLIA
1565	12" CHINABERRY	MELIA AZEDARACH
1566	32" LAUREL OAK	QUERCUS LAURIFOLIA
1567	21" LAUREL OAK	QUERCUS LAURIFOLIA
1568	8" LAUREL OAK	QUERCUS LAURIFOLIA
1569	8" CAMPHOR	CINNAMOMUM CAMPHORA
1570	9" CHINABERRY	MELIA AZEDARACH
1571	11" HACKBERRY	CELTIS OCCIDENTALIS
1572	9" HACKBERRY	CELTIS OCCIDENTALIS
1573	12" CHINABERRY	MELIA AZEDARACH
1578	39" LAUREL OAK	QUERCUS LAURIFOLIA
1579	29" LIVE OAK	QUERCUS VIRGINIANA
1583	16" MOCKERNUT HICKORY	CARYA TOMENTOSA
1584	11" PIGNUT HICKORY	CARYA GLABRA
1594	24" LIVE OAK	QUERCUS VIRGINIANA
1595	13" LIVE OAK	QUERCUS VIRGINIANA
1596	12" LAUREL OAK	QUERCUS LAURIFOLIA
1598	48" LAUREL OAK	QUERCUS LAURIFOLIA
1614	19" MOCKERNUT HICKORY	CARYA TOMENTOSA
1615	12" TALLOW	TRIADICA SEBIFERA
1618	9" MOCKERNUT HICKORY	CARYA TOMENTOSA
1621	26" MOCKERNUT HICKORY	CARYA TOMENTOSA
1622	15" LAUREL OAK	QUERCUS LAURIFOLIA

1
2
3
4
A
B
C
D
Tech: Name Plot Date: Jul 21, 2021 9:02am Filename: C:\Users\verm\appdata\local\temp\VerPalishu_1410A\18-0273 1090.dwg

11001 Research Drive
Alachua, Florida 32015
(352) 331-1976
www.chw-inc.com
est. 1988
FLORIDA
CA-5075

CHW
Professional Consultants

VERM SCALE ON
ORIGINAL DRAWING
0
1" = 40' SEE HICKMAN
THIS SHEET ADJUST
SCALES ACCORDINGLY.

SCALE: N/A

REVISED: 07/21/2021, ADDED SHEET 10, (TREE TABLE CHART)

DATE: 11/19/2019
REVISION DATE: 07/21/2021
PROJECT NUMBER: 18-0273

REVISION: 1
BY: JWH
CHECKED BY: AHH
FIELD BOOK & PAGE: 581 / 30-35

THIS MAP PREPARED BY:
AARON H. HICKMAN
Certificate of Authorization No. LB. 5075
NOT VALID WITHOUT THE ORIGINAL
SIGNATURE AND SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER
Professional Surveyor & Mapper Fla. License No. 6791

SHEET NO.:
10 OF 10

SPRINGFIELD SUBDIVISION

SITUATED IN THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST
CITY OF HIGHSPRINGS, ALACHUA COUNTY, FLORIDA



11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com
est. 1988 **FLORIDA**
CA-5075

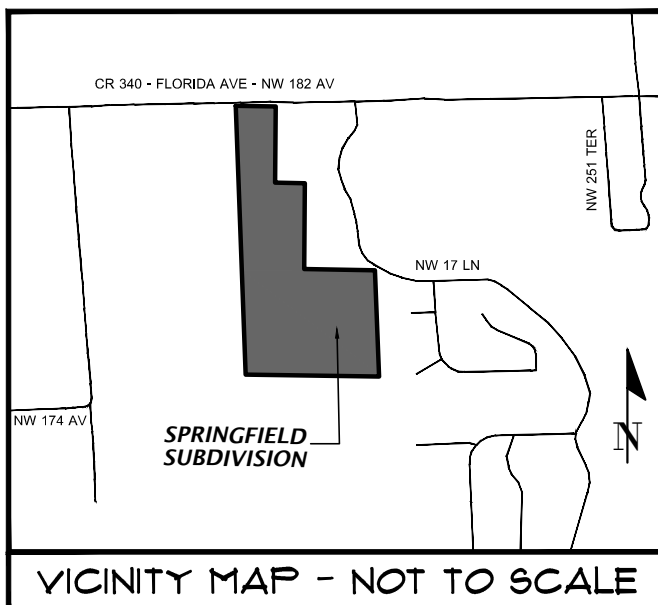
PLAT BOOK __, PAGE __
SHEET ONE OF THREE

LEGAL DESCRIPTION:

A TRACT OF LAND SITUATED IN THE EAST HALF OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION FOUR (4), TOWNSHIP EIGHT (8) SOUTH, RANGE SEVENTEEN (17) EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE THE NORTHWEST CORNER OF THE AFOREMENTIONED SOUTHWEST QUARTER (SW 1/4) OF SECTION 4; THENCE SOUTH 89 DEGREES 04 MINUTES 02 SECONDS EAST, ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER (SW 1/4), A DISTANCE OF 1308.54 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF SAID SOUTHWEST QUARTER (SW 1/4); THENCE, DEPARTING SAID NORTH LINE OF SAID SOUTHWEST QUARTER (SW 1/4), SOUTH 02 DEGREES 07 MINUTES 34 SECONDS EAST, ALONG THE WEST LINE OF SAID EAST 1/2 A DISTANCE OF 39.68 FEET TO THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 340 - N.W. 182ND AVENUE (100' R/W) RIGHT OF WAY LINE AND TO THE POINT OF BEGINNING; THENCE SOUTH 89°49'07" EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 394.21 FEET TO THE NORTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1999, PAGE 2580 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE, DEPARTING SAID SOUTH RIGHT OF WAY LINE, SOUTH 02°32'44" WEST, ALONG THE WEST BOUNDARY LINE OF SAID LANDS, 745.94 FEET TO THE SOUTHWEST CORNER OF SAID LANDS; THENCE SOUTH 88°53'23" EAST, ALONG THE SOUTH LINE OF SAID LANDS, A DISTANCE OF 292.66 FEET TO THE SOUTHEAST CORNER OF SAID LANDS, SAID CORNER BEING ON THE WEST BOUNDARY LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4566, PAGE 374 OF AFOREMENTIONED PUBLIC RECORDS; THENCE SOUTH 00°25'10" WEST, ALONG SAID WEST BOUNDARY LINE AND ALONG THE WEST BOUNDARY LINE OF CINNAMON HILLS ESTATES, PHASE II, AS RECORDED IN PLAT BOOK "22", PAGE 61, OF AFOREMENTIONED PUBLIC RECORDS, A DISTANCE OF 842.64 FEET; THENCE SOUTH 88°47'16" EAST, ALONG SAID WEST BOUNDARY LINE OF CINNAMON HILLS ESTATES, PHASE II, A DISTANCE OF 695.10 TO THE EAST LINE OF AFOREMENTIONED SOUTHWEST QUARTER (SW 1/4) OF SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST; THENCE SOUTH 02°39'39" EAST, ALONG SAID EAST LINE AND ALONG SAID WEST BOUNDARY LINE, A DISTANCE OF 1042.46 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER (SW 1/4); THENCE, DEPARTING SAID WEST BOUNDARY LINE, NORTH 89°15'40" WEST, ALONG THE SOUTH LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER (SW 1/4), A DISTANCE OF 1309.73 FEET TO THE SOUTHWEST CORNER OF THE SAID SOUTHWEST QUARTER (SW 1/4); THENCE NORTH 02°07'34" WEST, ALONG THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHWEST QUARTER (SW 1/4), A DISTANCE OF 2643.68 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND BEING 50.15 ACRES, MORE OR LESS.



SURVEYOR'S NOTE:

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 2°09'38" WEST FOR THE EAST LINE OF THE SUBJECT PARCEL, SAID BEARING BEING IDENTICAL TO THE PLAT OF CINNAMON HILLS ESTATES - PHASE II AS RECORDED IN PLAT BOOK 23, PAGES 61 THROUGH 63 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
- THE ERROR OF CLOSURE FOR THE BOUNDARY OF THIS PLAT DOES NOT EXCEED 1":10,000'.
- VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS DERIVED FROM FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK POINT NAME 2603001C1 WITH A PUBLISHED ELEVATION OF 68.34' (NAVD 88).
- ALL LOT CORNERS AND PERMANENT CONTROL POINTS SHALL BE SET PER 177.091(9) OF THE FLORIDA STATUTES.
- COMMON AREAS SHOWN HEREON AND HEREIN CONTAIN A TOTAL OF ±501,376 SQUARE FEET (±11.51 ACRES).
- STREET NAMES SHOWN HEREON WERE FURNISHED BY ALACHUA COUNTY'S ENHANCED 911 OFFICE.
- ALL PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.
- THE COMMON AREA & DRAINAGE EASEMENTS AND RECREATION PARK SITE AS SHOWN HEREON WILL BE CONVEYED TO THE SPRINGFIELD SUBDIVISION HOMEOWNERS ASSOCIATION AND ARE IDENTIFIED FOR MAINTENANCE AND OPERATION IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
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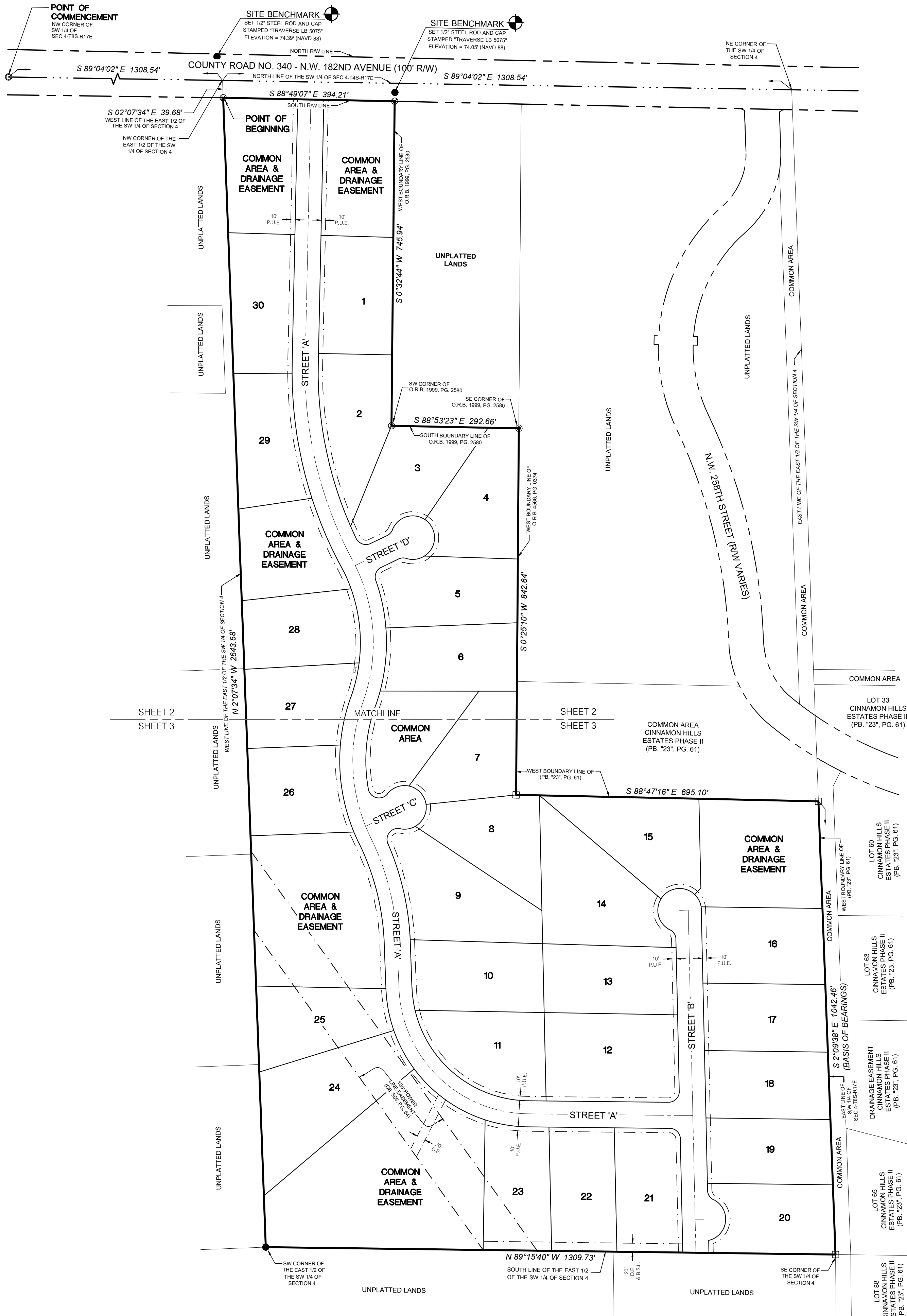
LEGEND:

FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M. = FLOOD INSURANCE RATE MAP
RW = RIGHT OF WAY
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TYP = TYPICAL
● = SET 5/8" STEEL ROD & CAP (MARKED CHW FRM LB 5075)
▲ = SET NAIL AND DISK (MARKED CHW POP LB 5075)
○ = FOUND 1/2" STEEL ROD & CAP (MARKED LB 6547)
□ = FOUND 4"x4" CONCRETE MONUMENT (MARKED LS 3784, UNLESS NOTED)
⊗ = FOUND 1/2" IRON ROD (NO ID.)
⊙ = BENCHMARK

THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 105 OF 640, COMMUNITY PANEL NO. 120669 0290 D, EFFECTIVE DATE: JUNE 16, 2006.

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

ALL PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.



OWNER'S CERTIFICATION AND DEDICATION

GEE YUE WANG ESTATES DOES HEREBY CERTIFY THAT IT IS THE OWNER OF "SPRINGFIELD SUBDIVISION", AS DESCRIBED HEREIN AND DOES HEREBY DEDICATE THE STREET RIGHTS-OF-WAY TO THE PUBLIC; AND DOES HEREBY DEDICATE THE PUBLIC UTILITY EASEMENTS TO THE USE OF THE PUBLIC FOR THE PURPOSE OF UTILITY INSTALLATION AND MAINTENANCE; AND DOES HEREBY DEDICATE THE USE OF DRAINAGE EASEMENTS TO THE PUBLIC FOR THE RIGHT TO DISCHARGE STORMWATER; MAINTENANCE OF THE DRAINAGE EASEMENTS WILL BE THE SOLE RESPONSIBILITY OF THE GEE YUE WANG ESTATES; AND DOES HEREBY DEDICATE THE USE OF COMMON AREA(S) TO THE PUBLIC FOR PROPER MUNICIPAL SERVICES; AND DOES HEREBY DEDICATE TO THE PUBLIC THE SIDEWALK EASEMENTS FOR PEDESTRIAN ACCESS, THE MAINTENANCE OF SAID SIDEWALKS BEING THE RESPONSIBILITY OF THE SPRINGFIELD NEIGHBORHOOD ASSOCIATION.

WITNESS _____
GEE YUE WANG ESTATES
WITNESS _____

ACKNOWLEDGEMENT STATE OF FLORIDA-COUNTY OF ALACHUA

I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, GEE YUE WANG KNOWN TO ME TO BE THE PERSON HEREIN DESCRIBED AND ACKNOWLEDGED THAT HE EXECUTED THIS INSTRUMENT AS HIS FREE ACT AND DEED, WITH FULL AUTHORITY TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____ A.D. 2021

NOTARY PUBLIC-STATE OF FLORIDA

COMMISSION EXPIRES: _____

COMMISSION NO. : _____

CERTIFICATION AND APPROVAL FOR ALACHUA COUNTY, FLORIDA

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THIS PLAT CONFORMS TO THE REQUIREMENTS OF THE CITY OF HIGH SPRINGS ORDINANCES AND REGULATIONS AS FOLLOWS:

SURVEYING REQUIREMENTS:	DATE	PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NUMBER
PLANNING & ZONING BOARD	DATE	CITY MANAGER
FORM AND LEGALITY:	DATE	CITY ATTORNEY
CITY OF HIGH SPRINGS, FLORIDA	DATE	MAYOR/COMMISSIONER
		CITY MANAGER - ATTEST

RECEIVED AND FILED FOR RECORD ON THIS ____ DAY OF _____ A.D. 2021

CLERK OF THE CIRCUIT COURT DEPUTY CLERK

SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY THAT THIS PLAT ENTITLED "SPRINGFIELD SUBDIVISION" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE OF THE DESCRIBED LANDS, UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, AND THAT THIS PLAT AND SURVEY COMPLIES WITH ALL REQUIREMENTS AS SET FORTH IN CHAPTER 177, PART 1- PLATTING OF THE FLORIDA STATUTES.

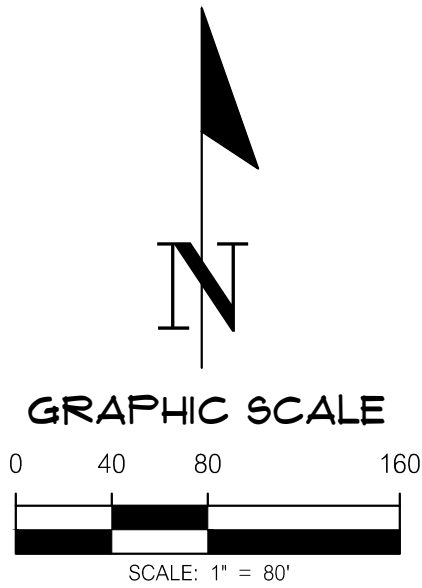
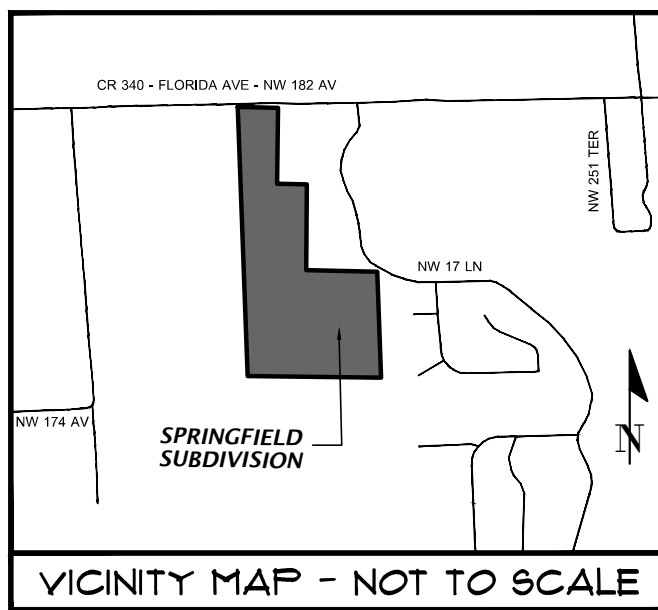
DATE _____ MARTIN G. DARDIS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NUMBER 5097

SPRINGFIELD SUBDIVISION

SITUATED IN THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 4, TOWNSHIP 8 SOUTH, RANGE 17 EAST
CITY OF HIGHSPRINGS, ALACHUA COUNTY, FLORIDA

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CURVE DATA TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	470.93'	915.00'	29°29'21"	465.75'	S 13°31'24" E
C2	322.31'	400.00'	46°10'04"	313.66'	S 3°16'50" R
C3	298.14'	370.00'	46°10'04"	290.14'	S 3°16'50" E
C4	498.74'	945.00'	30°14'19"	492.97'	S 13°51'51" E
C5	415.03'	885.00'	26°52'10"	411.24'	S 12°12'49" E
C6	39.32'	25.00'	90°06'39"	35.39'	S 70°42'14" E
C7	18.69'	25.00'	42°50'00"	18.26'	N 42°49'26" E
C8	231.84'	50.00'	265°40'01"	73.33'	S 25°45'33" E
C9	18.69'	25.00'	42°50'00"	18.26'	S 85°39'27" W
C10	36.47'	25.00'	83°35'34"	33.24'	S 22°26'40" W
C11	293.86'	430.00'	39°09'20"	288.17'	S 0°13'32" W
C12	23.26'	945.00'	1°24'37"	23.26'	S 0°33'00" W
C13	292.21'	945.00'	17°43'00"	291.04'	S 9°00'48" E

CURVE DATA TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C14	384.41'	885.00'	24°53'14"	381.40'	S 11°13'21" E
C15	183.27'	945.00'	11°06'42"	182.98'	S 23°25'39" E
C16	30.62'	885.00'	1°58'56"	30.62'	S 24°39'26" E
C17	89.94'	50.00'	103°03'48"	78.29'	S 72°56'19" W
C18	98.58'	50.00'	112°57'42"	83.37'	N 0°57'03" E
C19	43.32'	50.00'	49°38'33"	41.98'	N 82°15'10" E
C20	43.87'	370.00'	6°47'34"	43.84'	N 22°58'05" W
C21	172.92'	370.00'	26°46'36"	171.35'	N 6°11'00" W
C22	111.28'	430.00'	14°49'38"	110.97'	N 11°56'19" W
C23	81.36'	370.00'	12°35'54"	81.19'	N 13°30'15" E
C24	146.44'	430.00'	19°30'44"	145.73'	N 5°13'52" E
C25	36.14'	430.00'	4°48'58"	36.13'	N 17°23'43" E

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S.F. = SQUARE FEET

TYP = TYPICAL

● = SET 5/8" STEEL ROD & CAP (MARKED CHW PRM LB 5075)

▲ = SET NAIL AND DISK (MARKED CHW PCP LB 5075)

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□ = FOUND 4"x4" CONCRETE MONUMENT (MARKED LS 3784, UNLESS NOTED)

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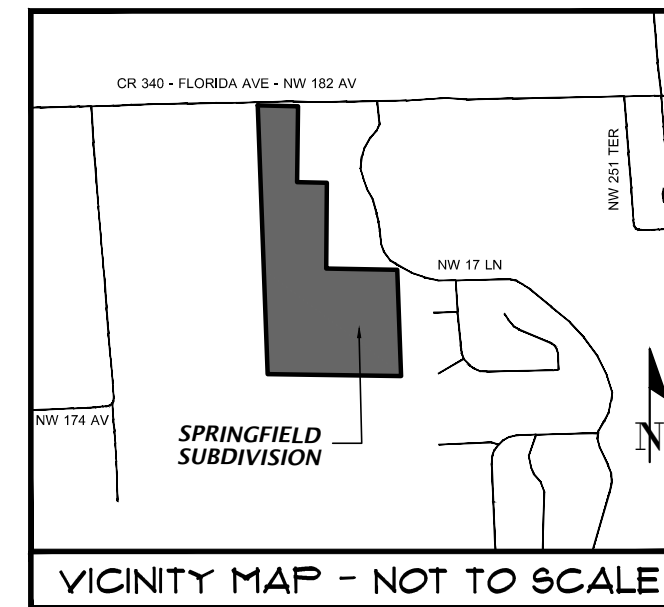
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LINE DATA TABLE		
LINE	DIRECTION	LENGTH
L1	N 88°44'01" E	20.00'
L2	S 1°15'59" E	28.62'
L3	N 80°00'00" W	19.99'
L4	S 1°15'59" E	77.00'
L5 (R)	S 43°44'01" W	20.71'
L6	S 1°15'59" E	16.15'
L7	S 1°15'59" E	19.26'

CURVE DATA TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C26	293.00'	400.00'	41°58'10"	286.50'
C27	28.06'	400.00'	4°10'07"	28.05'
C28	251.52'	600.00'	24°01'07"	249.68'
C29	456.69'	300.00'	87°13'18"	413.85'
C30	345.14'	430.00'	45°59'17"	335.95'
C31	193.30'	370.00'	29°56'02"	191.11'
C32	57.21'	25.00'	131°07'24"	45.52'
C33	211.97'	50.00'	242°54'13"	85.31'
C34	54.57'	25.00'	125°03'19"	44.36'
C35	238.95'	570.00'	24°01'07"	237.20'
C36	233.54'	630.00'	21°14'22"	232.20'
C37	502.36'	330.00'	87°13'18"	455.24'
C38	411.02'	270.00'	87°13'18"	372.47'
C39	38.45'	25.00'	88°07'17"	34.77'
C40	40.09'	25.00'	91°52'43"	35.93'
C41	27.13'	25.00'	62°10'55"	25.82'
C42	211.34'	50.00'	242°10'55"	85.63'
C43	27.13'	25.00'	62°10'17"	25.82'
C44	122.71'	50.00'	140°37'12"	94.15'

CURVE DATA TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C45	112.66'	430.00'	15°00'42"	112.34'
C46	204.30'	430.00'	27°13'17"	202.38'
C47	54.61'	50.00'	62°48'31"	52.11'
C48	61.40'	50.00'	70°21'34"	57.61'
C49	59.61'	50.00'	68°18'33"	56.14'
C50	36.15'	50.00'	41°25'35"	35.37'
C51	28.18'	430.00'	3°45'18"	28.17'
C52	5.97'	630.00'	0°32'35"	5.97'
C53	97.88'	330.00'	16°59'42"	97.53'
C54	52.34'	270.00'	11°06'28"	52.26'
C55	100.39'	330.00'	17°25'46"	100.00'
C56	358.68'	270.00'	76°06'51"	332.88'
C57	204.25'	330.00'	35°27'47"	201.01'
C58	99.84'	330.00'	17°20'03"	99.46'
C59	32.38'	50.00'	37°06'20"	31.82'
C60	89.04'	50.00'	102°02'04"	77.73'
C61	83.03'	50.00'	95°08'51"	73.81'
C62	227.57'	630.00'	20°41'47"	226.33'
C63	6.89'	50.00'	7°53'40"	6.88'

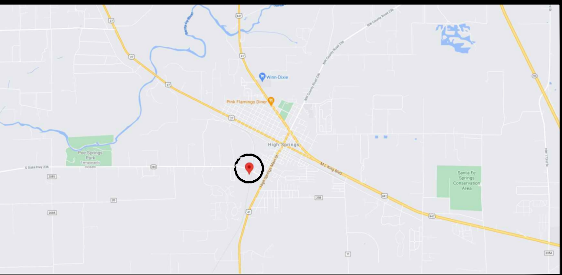
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 105 OF 640, COMMUNITY PANEL NO. 120669 0290 D, EFFECTIVE DATE: JUNE 16, 2006.

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVISION AND DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

ALL PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.

LEGEND:

- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.I.R.M. = FLOOD INSURANCE RATE MAP
- R/W = RIGHT OF WAY
- O.R.B. = OFFICIAL RECORDS BOOK
- P.B. = PLAT BOOK
- P.G. = PAGE
- (R) = RADIAL
- P.U.E. = PUBLIC UTILITY EASEMENT
- B.S.L. = BUILDING SETBACK LINES
- D.E. = DRAINAGE EASEMENT
- MIN = MINIMUM
- F.F.E. = FINISHED FLOOR ELEVATION
- S.F. = SQUARE FEET
- TYP = TYPICAL
- = SET 5/8" STEEL ROD & CAP (MARKED CHW PRM LB 5075)
- ▲ = SET NAIL AND DISK (MARKED CHW PCP LB 5075)
- ⊙ = FOUND 1/2" STEEL ROD & CAP (MARKED LB 6547)
- ⊠ = FOUND 474" CONCRETE MONUMENT (MARKED LS 3784, UNLESS NOTED)
- ⊞ = FOUND 1/2" IRON ROD (NO ID.)
- ⊕ = BENCHMARK



EXISTING SITE PLAN

LOT 2

NW 244TH ST HIGH SPRINGS, FL 32643

PARCEL #:01389-002-000

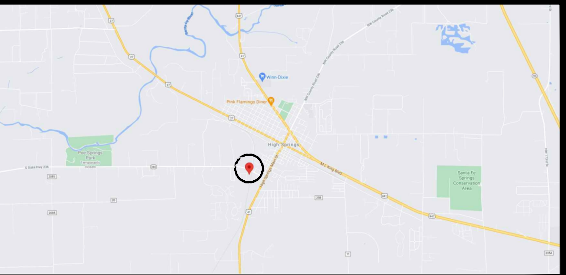
AREA:45,082.50 sqft (1.03 acres)



MySitePlans.com
Site Plans When You Need Them

SCALE: 1":50'
DATE: JULY 2.021

REVISION #:	SHEET #:
1	1



VICINITY MAP

PROPOSED SITE PLAN
LOT 2
NW 244TH ST HIGH SPRINGS, FL 32643
PARCEL #:01389-002-000
AREA:45,082.50 sqft (1.03 acres)

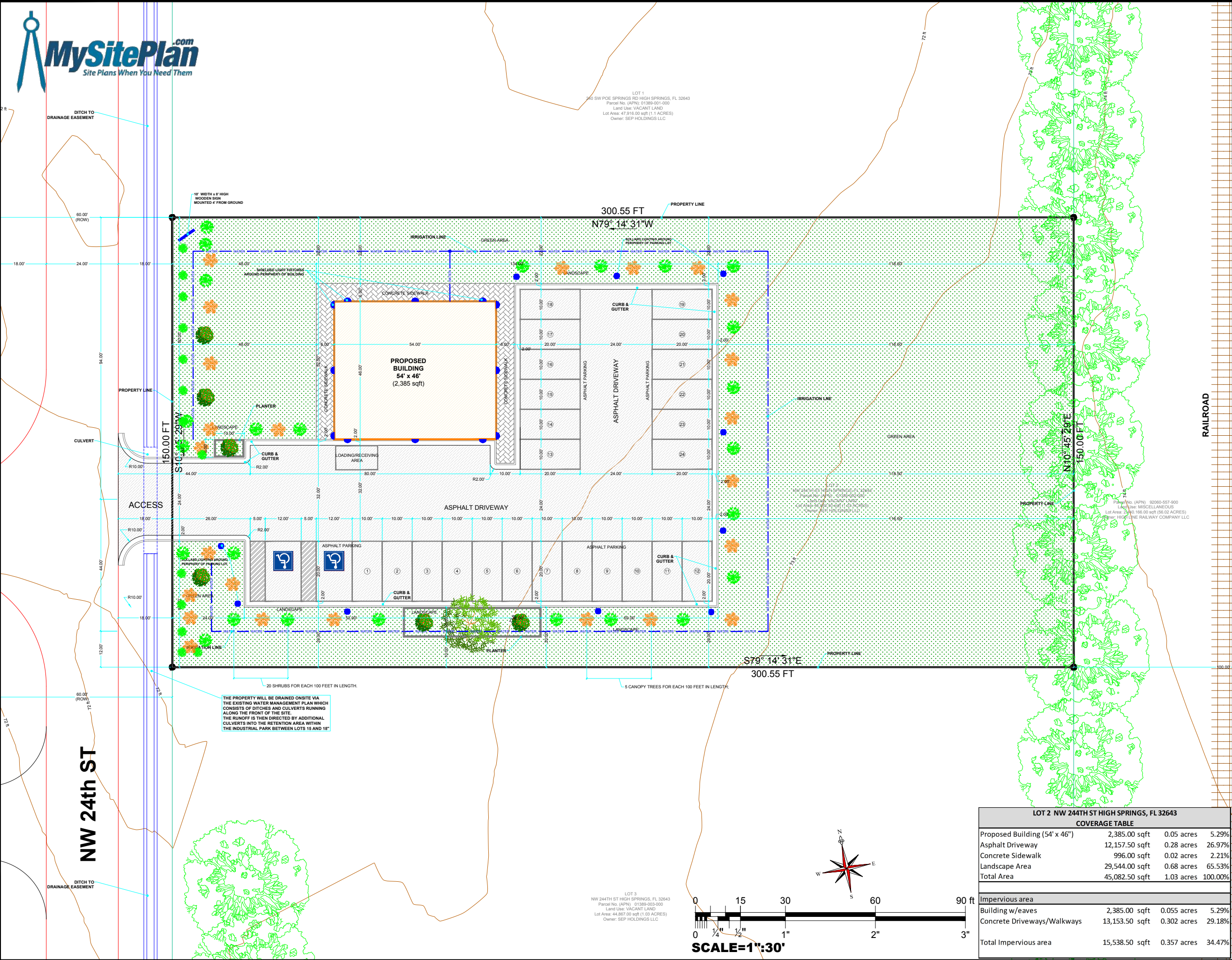
LOT 2 NW 244TH ST HIGH SPRINGS, FL 32643
PARCEL #:01389-002-000
AREA:45,082.50 sqft (1.03 acres)

LEGAL INFORMATION:HIGH SPRINGS INDUSTRIAL PARK PB 25
PG 74 LOT 2 OR 3289/1217 & OR 4343/2384
SUBDIVISION: HIGH SPRINGS INDUSTRIAL PARK
LEGAL LOT: 2 LEGAL BLOCK: -
ZONING: -
LAND USE CATEGORY: VACANT LAND
LAND USE DESCRIPTION: INDUSTRIAL
OWNER NAME: SEP HOLDINGS LLC
OWNER ADDRESS: 14207 NW RD 45 HIGH SPRINGS, FL 32643

DESIGNED BY:

REVISION #:	SHEET #:
1	2

SCALE:1"=30'
DATE: JULY 2,021



LOT 2 NW 244TH ST HIGH SPRINGS, FL 32643			
COVERAGE TABLE			
Proposed Building (54' x 46')	2,385.00 sqft	0.05 acres	5.29%
Asphalt Driveway	12,157.50 sqft	0.28 acres	26.97%
Concrete Sidewalk	996.00 sqft	0.02 acres	2.21%
Landscape Area	29,544.00 sqft	0.68 acres	65.53%
Total Area	45,082.50 sqft	1.03 acres	100.00%
Impervious area			
Building w/eaves	2,385.00 sqft	0.055 acres	5.29%
Concrete Driveways/Walkways	13,153.50 sqft	0.302 acres	29.18%
Total Impervious area	15,538.50 sqft	0.357 acres	34.47%

23666 NW 185th Road
High Springs, Florida 32643



Telephone: (386) 454-7322
Facsimile: (386) 454-2126
Web: www.highsprings.us

APPLICATION FOR CONDITIONAL USE ("C") – PLAN BOARD & COMMISSION

DATE: 7/28/21 APPLICATION # _____

NOTE: This form provides information to support an application of Conditional Use Permit pursuant to Articles 2, 7 and 11 of the High Springs Land Development Code. **THIS IS NOT A PERMIT. DO NOT COMMENCE CONSTRUCTION.**

NUMBER OF ACRES: 1.03
FILING FEE: _____

911 ADDRESS OF SUBJECT PROPERTY: _____, High Springs, FL 32643

TAX PARCEL # 01389-002-000; PLATBOOK 25, PG 74;

OWNER OF RECORD: SEP HOLDINGS, LLC;

LEGAL DESCRIPTION: (Attach copy of complete legal description, deed, existing survey or measured plot plan depicting location of existing and proposed improvements with reasonable accuracy.)

CURRENT ZONING (Circle One) R-1; R-1A; R-2; R-3; C-1; C-2; C-3; C/SP; BC; IND

LAND USE CLASSIFICATION: Current _____; Requested _____ (LDC Section 16.06(5)).

DETAILED DESCRIPTION OF PROPOSED USE(S):

SEE ATTACHED DOCUMENTS

APPLICANT'S ACKNOWLEDGEMENT: I HAVE READ THE FOREGOING AND UNDERSTAND THAT I WILL BE NOTIFIED TO APPEAR AND PRESENT MY APPLICATION TO THE CITY OF HIGH SPRINGS PLAN BOARD/CITY COMMISSION. I FURTHER ACKNOWLEDGE THAT IF MY REQUEST IS GRANTED, I MAY BE REQUIRED TO SUBMIT A DETAILED SITE AND DEVELOPMENT PLAN, CONSTRUCTION PLANS, AND OBTAIN ALL NECESSARY BUILDING PERMITS FOR ANY PROPOSED IMPROVEMENTS TO THE PROPERTY.*

[Signature] / 22 LESUE P. LYNN / LUKE LYNN
(Applicant's Signature) (Applicant's Printed Name)

2259 NE 120th LOOP, BRANFORD SAME
(Applicant's Street Address) 32008 (Mailing Address, if different)

Phone Numbers: Home 407-967-2080 Work 407-967-2080; Cell 407-967-2080
IF APPLICATION IS MADE BY OWNER'S AGENT, ATTACH OWNER'S WRITTEN CONSENT, ADDRESS AND PHONE NUMBER.

FOR ZONING OFFICIAL'S USE

COMPLIES WITH COMPREHENSIVE PLAN? YES / NO PLAN BOARD APPROVED? YES / NO
COMPLIES WITH CURRENT ZONING? YES / NO CITY COMM. APPROVED? YES / NO
SITE AND DEVELOPMENT PLAN REQUIRED? YES / NO

SRWMD PERMIT DATE _____; CERTIFICATE # _____;
HEALTH DEPT PERMIT DATE _____; CERTIFICATE # _____;
BUILDING PERMIT DATE _____; # _____;

CONDITIONAL USE PERMIT – City Use Only

PERMITTING THE USE OF THE ABOVE DESCRIBED PROPERTY AS (A) _____, PURSUANT TO SECTION 16.06(5), "TABLE OF PERMITTED USES, "USES DESCRIPTION _____, OF THE HIGH SPRINGS LAND DEVELOPMENT CODE. SAID USE SHALL NOT BE COMMENCED UNTIL ALL NECESSARY BUILDING PERMITS, CERTIFICATES OF OCCUPANCY, OCCUPATIONAL LICENSES, AND INSPECTIONS ARE ISSUED AND/OR CONDUCTED. THIS PERMIT SHALL EXPIRE 12 MONTHS AFTER DATE, IF THE APPROVED USE IS NOT PROPERLY COMMENCED WITHIN SAID PERIOD.

ISSUED THIS _____ DAY OF _____,

(MUNICIPAL SEAL)

ZONING ADMINISTRATOR

23666 NW 185th Road
High Springs, Florida 32643



Telephone: (386) 454-7322
Facsimile: (386) 454-2126
Web: www.highsprings.us

APPLICATION FOR CONDITIONAL USE ("C") – PLAN BOARD & COMMISSION

DATE: 5-19-2021

APPLICATION # _____

NOTE: This form provides information to support an application of Conditional Use Permit pursuant to Articles 2, 7 and 11 of the High Springs Land Development Code. **THIS IS NOT A PERMIT. DO NOT COMMENCE CONSTRUCTION.**

NUMBER OF ACRES: 2.13
FILING FEE: _____

911 ADDRESS OF SUBJECT PROPERTY: _____, High Springs, FL 32643

TAX PARCEL # 01389-001-000 and 01389-002-000; PLATBOOK 25, PG 74;

OWNER OF RECORD: SEP HOLDINGS, LLC;

LEGAL DESCRIPTION: (Attach copy of complete legal description, deed, existing survey or measured plot plan depicting location of existing and proposed improvements with reasonable accuracy.)

CURRENT ZONING (Circle One) R-1; R-1A; R-2; R-3; C-1; C-2; C-3; C/SP; BC; IND

LAND USE CLASSIFICATION: Current _____; Requested _____ (LDC Section 16.06(5)).

DETAILED DESCRIPTION OF PROPOSED USE(S):

SEE ATTACHED DOCUMENTS

APPLICANT'S ACKNOWLEDGEMENT: I HAVE READ THE FOREGOING AND UNDERSTAND THAT I WILL BE NOTIFIED TO APPEAR AND PRESENT MY APPLICATION TO THE CITY OF HIGH SPRINGS PLAN BOARD/CITY COMMISSION. I FURTHER ACKNOWLEDGE THAT IF MY REQUEST IS GRANTED, I MAY BE REQUIRED TO SUBMIT A DETAILED SITE AND DEVELOPMENT PLAN, CONSTRUCTION PLANS, AND OBTAIN ALL NECESSARY BUILDING PERMITS FOR ANY PROPOSED IMPROVEMENTS TO THE PROPERTY.*

Leslie Lynn
(Applicant's Signature)

LESUE LYNN / LUKE LYNN
(Applicant's Printed Name)

2259 NE 120th LOOP, BRANFORD
(Applicant's Street Address) 32008

2259 NE 120th LOOP, BRANFORD
(Mailing Address, if different) 32008

Phone Numbers: Home 407-967-2080; Work 407-967-2080; Cell 407-967-2080

IF APPLICATION IS MADE BY OWNER'S AGENT, ATTACH OWNER'S WRITTEN CONSENT, ADDRESS AND PHONE NUMBER.

FOR ZONING OFFICIAL'S USE

COMPLIES WITH COMPREHENSIVE PLAN?	YES / NO	PLAN BOARD APPROVED?	YES / NO
COMPLIES WITH CURRENT ZONING?	YES / NO	CITY COMM. APPROVED?	YES / NO
SITE AND DEVELOPMENT PLAN REQUIRED?	YES / NO		

SRWMD PERMIT	DATE _____	CERTIFICATE # _____
HEALTH DEPT PERMIT	DATE _____	CERTIFICATE # _____
BUILDING PERMIT	DATE _____	# _____

To: City of High Springs

Re: Parcel # 01389-001-000 Lot 1 High Springs Industrial Park together
with Lot 2 Parcel # 01389-002-000

As the owner of the parcels identified above, I authorize Luke and Leslie Lynn to submit building plans and request information needed for approval.

Please contact my Real Estate Agent, Joan Sroka at 352-514-1258 with any questions.

Respectfully,

Seth G Simmons

05/19/2021 11:33 AM
EDT

Seth G. Simmons

President / Mngr SEP Holdings LLC

RiverRise **brewing co.**

craft beer - gourmet coffee - grub

Planning Presentation
May 2021

Executive Summary

The *River Rise Brewing Company* proposed concept is a craft beer brew pub delivering high quality beer and other brewed products accompanied by gourmet coffee, specialty beverages and food delivered via food truck. All products produced at the brewery will be consumed at the brewery. There will be no outside distribution of product. This makes the the local environmental impact of the brewery very small.

The name, *River Rise Brewing Company*, was chosen not just because it represents the unique geology of the the Santa Fe river but also for its representation of how the brewery intends to *raise awareness* of the river as a precious resource and it's need to be protected and preserved. Additionally, *River Rise Brewing Company* looks to *elevate and celebrate* the beauty around us, particularly our beautiful river and springs.

The brewery seeks to become a valuable resource to the surrounding community. The owner's appreciation of the local beauty and rich history will be encapsulated and reflected in both the physical form of the business and it's philosophies. Through its environmentally friendly practices, it's conservation efforts and it's strong connection to the community, the brewery will play a central role in the local efforts to preserve and protect our precious resources. Everyone who visits will experience the essence of the river, the surrounding springs and the uniqueness of this special place on earth we call home. *River Rise Brewing Company* will create a "sense of place" reflecting the local "river culture." Those who have experienced this culture always long to return to it.

River Rise Brewing Company's strong brand identity will attract locals and tourists alike, and connect them to our environment, educate them about its uniqueness and raise awareness of it's need for strong stewardship. The brewery will offer a place for community gathering, fellowship, celebration and collaboration in an warm, accepting and comfortable atmosphere. Everyone will feel welcome there and all will be invited to unite in a central and purposeful mission of preservation and appreciation for our local jewel, the Santa Fe River.

Compliance

1. The location is in the High Springs Industrial Park which consist of commercial and industrial businesses. The building will be of similar steel construction to other buildings in the park. Since it will be developing two of the several vacant lots in the park it will enhance the property values in the park and the surrounding commercial properties.
2. The location is surrounded by commercial properties both in the park and across the street. The building will be of new, but like, construction to other buildings in the area. (see attached satellite photo)
3. The property's entrance will be from the side street (NW 244th Street) off the main road (CR340) creating safe ingress and egress to and from the location. With the parcels totaling more than 2 acres there will be plenty of parking onsite. (see attached plat map)
4. The property is level and well drained and is completely cleared and ready for building. As stated above, the size of property allows for more than adequate parking, will be easy to access from the main road via the side street and have a loading area well within the property at the back of the building.
5. The property has a line of trees on the east side of the property and borders the abandoned railroad as a buffer. By virtue of its size it will not present any interference with the enjoyment of surrounding properties which consist of commercial/industrial properties and vacant land. (see attached satellite photo)
6. The zoning of the property is consistent with its proposed use. There is no change in zoning required.
7. Outside lighting of the property will be of low wattage and be mostly aesthetic to enhance the buildings architecture, landscaping and ambiance on the outside deck area. Otherwise, only lighting needed for safety will be installed. Signage will have ample distance from the setbacks so as not to interfere with any visibility needed to safely access or depart from the property.
8. There is nothing about the property, the use thereof or its location that could adversely affect the surrounding community area. Additionally the proposed hours/days of operation of the business are converse to those of the existing businesses in the park and surrounding area so there will be no interference with their normal course of business.

Satellite View of Property



Brand Positioning Statement

River Rise Brewing Company is craft brewery that offers award-winning beer in a fun, comfortable space that is a reflection of the Santa Fe River culture that surrounds it. The brewery seeks to raise awareness of the need for strong stewardship of this unique environment by all who enjoy it by serving as a resource center to educate, elevate and involve. *River Rise Brewing Company*, by virtue of its practices and community involvement, plays a central role in the local conservation efforts to preserve and protect our precious, local resources.

Brand Point of Difference

- Strong, local, *definitive* branding creates a “sense of place” people can easily connect into.
- A brand that has a distinct personality attracting a broad demographic with a common interest.
- Not just a brewery, but a resource center for those who want to learn about the river. Think visuals, literature, ambassadors, eco-tours, organized conservation efforts, etc.
- The brewery will serve as an anchor point in the community; a place to meet, gather, learn and organize.

Brand Personality

To describe the personality of a brand you must imagine the brand as a person and how it would walk, talk and interact with others...

Authentic River Rise Brewing Company and its mission are genuine. Everyone who visits senses it's sincere nature and dedication. Everyone knows they can depend on River Rise Brewing company to provide a river-centric, informed, conscientious experience accompanied by great beer and fellowship.

Friendly The brewery is interested and responsive to its customers and has a sociable and outgoing personality. Everyone there, including employees, feels special and appreciated.

Fun-Loving River Rise Brewing Company knows how to have fun. From its lively staff to its innovative entertainment and events, the brewery is a fun place to hang out and visit with new and old friends.

Witty River Rise Brewery has a great sense of humor. Even just a quick glance at its beer names and t-shirts will have you chuckling. The brewery is always looking for ways to produce smiles through it's mature, intelligent humor.

Innovative The brewery is always looking for new and better ways to do things. Starting with it's state-of-the-art brewing process to its forward thinking entertainment and food and service models, visitors sense it's desire to bring new experiences, products and services to its guests.

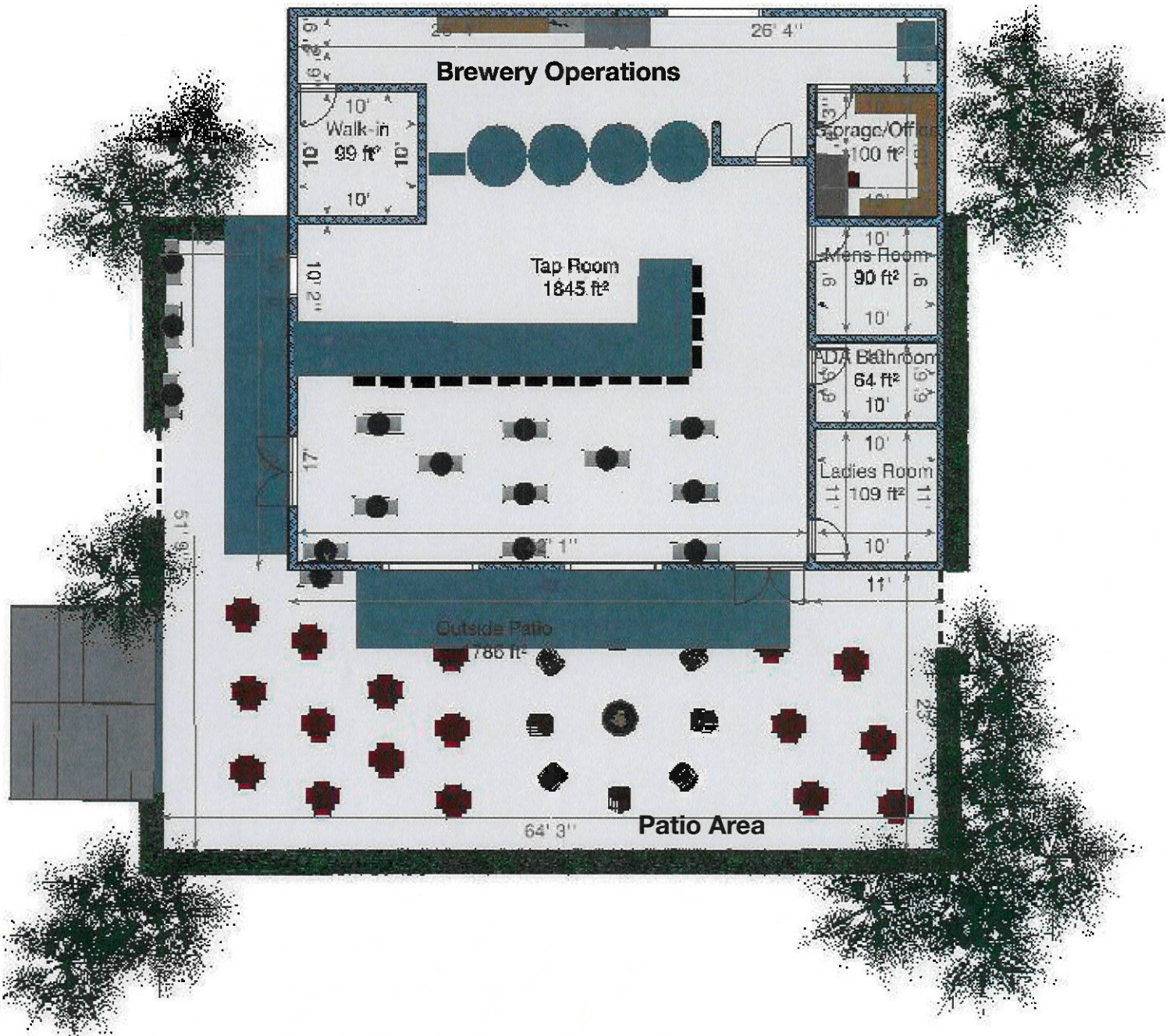
Comfortable River Rise Brewing Company provides a place for its guests to be comfortable and relaxed. The climate controlled spaces offer a cool respite from the hot Florida weather and every decision about its space is designed with the comfort of it's patrons in mind. It's welcoming atmosphere provides a pleasant space to sit back and enjoy a cold beer on a hot day.

Simple Nothing is complicated at River Rise Brewing Company. From the beer to the service to the atmosphere everything is easy to understand.

Unusual There is nothing like River Rise Brewing Company. It offers an experience to the locals and tourists alike that is different, extraordinary, remarkable and rare.

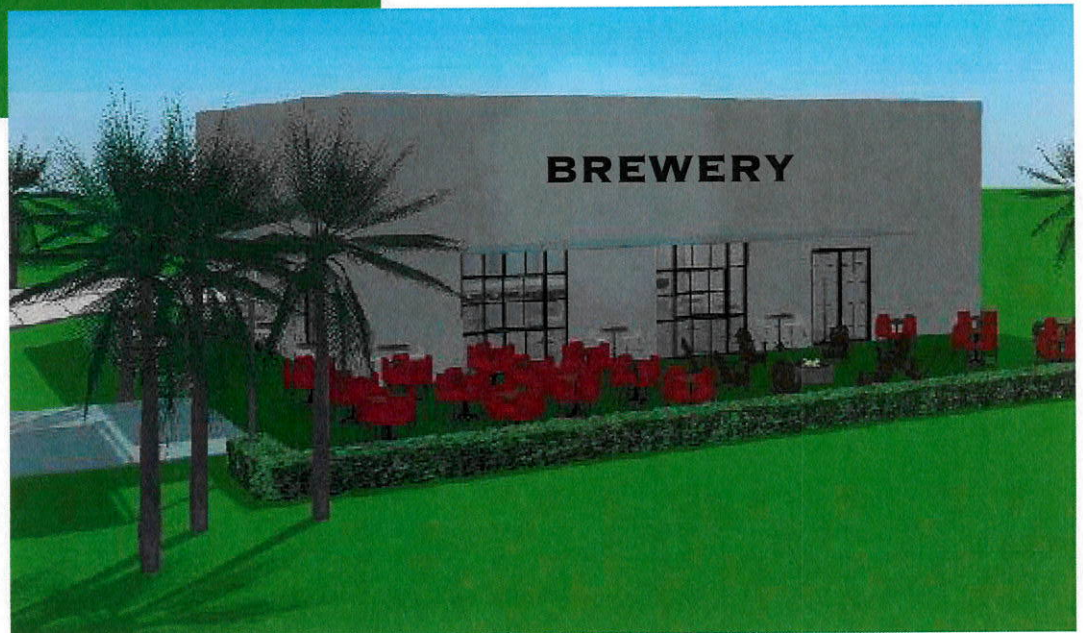
Conceptual Renderings

Floor Plan

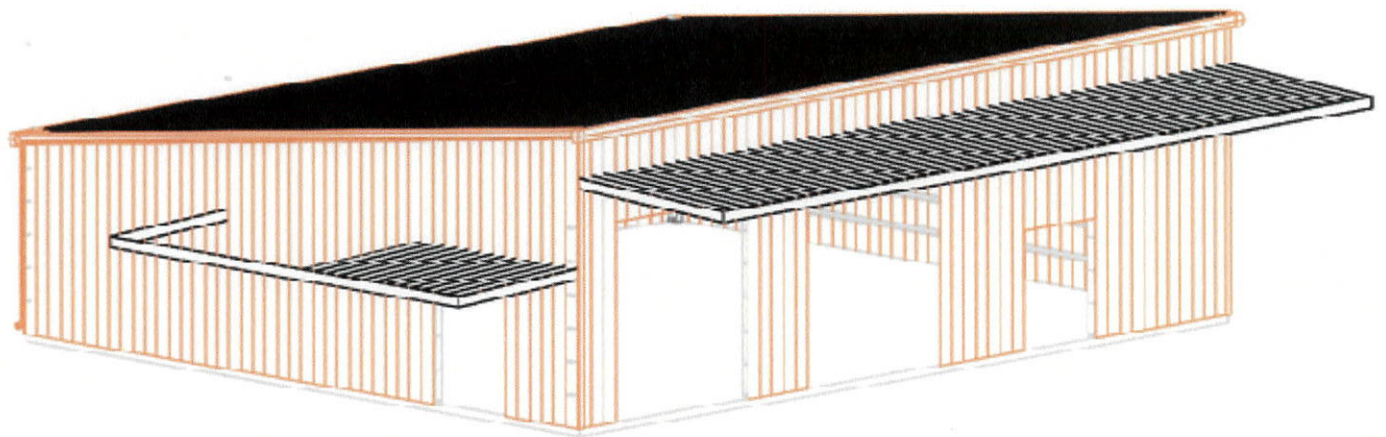


Conceptual Renderings

3D Elevations

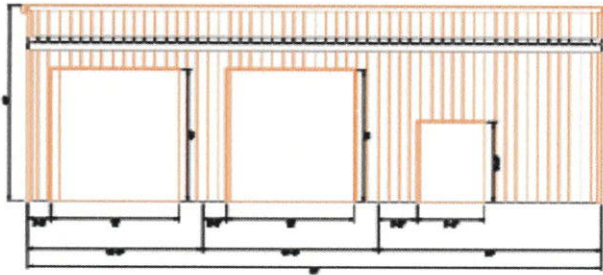


Preliminary Schematics

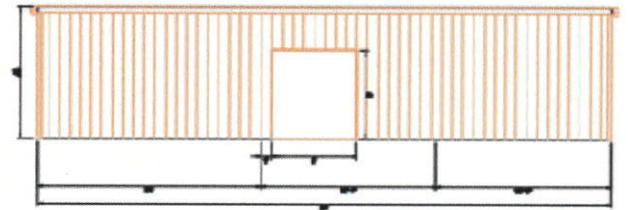


Preliminary Schematics

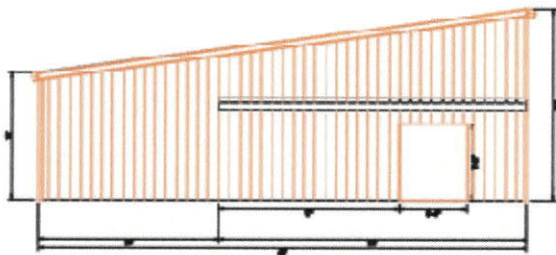
Front Wall



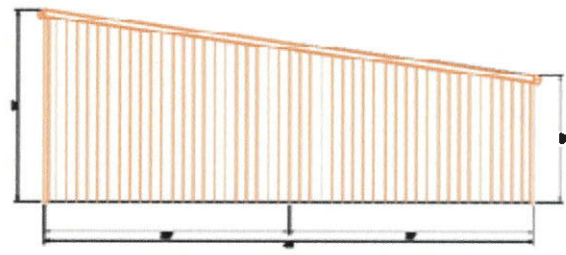
Back Wall



Left Wall



Right Wall



This drawing is for construction. This drawing is intended to provide general building information and is solely for sales presentation purposes. For clarity of presentation items depicted may be different from actual design and final drawings. In the event of conflict between this drawing and the purchase order, the purchase order shall prevail.

ARC-ITECTURAL - (A) 46x54x18

Community Outreach Strategy

- Heavy emphasis on social media to inform our community about the events happening at the brewery.
- Partnerships with and support of local conservation groups and their preservation efforts.
- Co-marketing with other local businesses to promote High Springs as a destination for shopping, dining and fun events.
- Sponsorship of local activities such as river clean-ups, festivals, kid-focused events etc.
- Support of local charities through sponsorship, promotional events and offering up the space for meetings, fund-raising events, etc.
- Unique “mini events” at the brewery to attract people to our community such as small festivals, music events, holiday-centric parties, Gator football parties, etc.

About the Owners

Leslie Lynn has 35 years of business experience, much of it working in a Fortune 500 environment. Her career has had a strong focus in the restaurant industry at a corporate level and she has extensive brand development, marketing, product development, supply chain and project management skills.

Leslie has served at the executive level of Darden Restaurants (Olive Garden, Red Lobster), Burger King Corporation, Yum Brands (Pizza Hut) and in private corporate consulting. She has led teams of consultants in the development of new and existing brands, concepts and related products. Since leaving corporate consulting, Leslie has worked as an independent consultant to new and existing hospitality businesses and as a free-lance writer for multiple hospitality publications.

Luke Lynn is a 30 year Airline Captain with American Airlines and began brewing beer as a hobby over 3 decades ago. Prior to his airline career he spent several years with the TGIFridays organization in the areas of bar management, new store openings and training.

Through his extensive travels, he has visited hundreds of breweries to observe their footprints, practices, branding and marketing, flavor profiles and equipment layouts. This project is the culmination of decades of passion, research and development. His travels have fine tuned a vision that he seeks to bring to life in this project.

Luke and Leslie have been members of the local community since 1994.

CITY OF HIGH SPRINGS
CONDITIONAL USE PERMIT PLAN CHECKLIST

APPLICATION NO. CUP 21-01 (SEP Holdings, LLC) Second Review

DATE August 11, 2021

The conditional use permit site plan required to be submitted by the requirements of the Land Development Code shall include the following elements from Section 11.09.02 of the Land Development Code:

- T 1. The site upon which the proposed conditional use is to be located has suitable drainage;
- T 2. The site upon which the proposed conditional use is to be located has ingress and egress;
- T 3. The site upon which the proposed conditional use is to be located has off street parking and loading areas;
- T 4. The site upon which the conditional use is to be located has or may have screening or buffering to prevent interference with the enjoyment of surrounding areas;
- T 5. The proposed site meets the applicable requirements of the zoning district in which it is located;
- T 6. Any existing or proposed signs or lighting will not adversely affect surrounding areas or vehicular traffic;



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2009 NW 67th Place, Gainesville, FL 32653-1603 • 352.955.2200

August 11, 2021

Ms. Ashley Stathatos
City Manager
City of High Springs
23718 West U.S. Highway 27
High Springs, FL 32643-2107

TRANSMITTED VIA ELECTRONIC MAIL ONLY
SIGNED ORIGINAL ON FILE

RE: Application No. CUP 21-01 (SEP Holdings, LLC)
Second Sufficiency Review Concerning a
Conditional Use Permit

Dear Ashley:

Please find enclosed a site plan checklist concerning the above referenced conditional use permit site plan.

The applicant has met all of the requirements as listed on the checklist and the application should be scheduled for review.

If you have any questions concerning this matter, please do not hesitate to contact Sandra Joseph, Senior Planner, at 352.955.2200, ext. 111.

Sincerely,

Scott R. Koons, AICP
Executive Director

SRK/sj

Enclosure

xc: Jenny L. Parham, City Clerk
S. Scott Walker, Esq., City Attorney
Dralynn Swick, Secretary to the City Manager
Kristyn Adkins, Planning Assistant

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